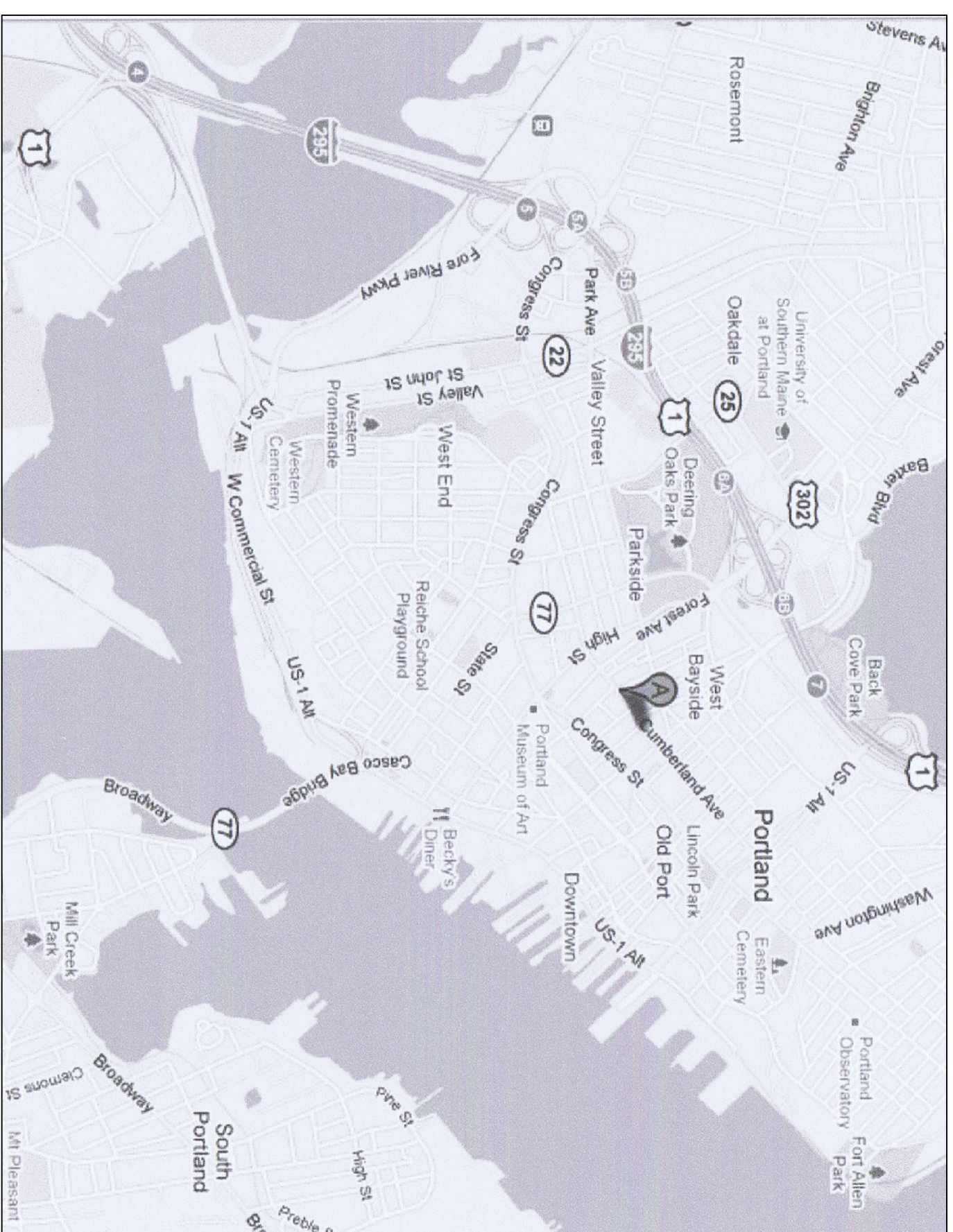


SHALOM HOUSE

385 CUMBERLAND AVENUE

PORTLAND, MAINE



LOCATION PLAN
NO SCALE



INDEX OF DRAWINGS

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---	Survey
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ST-2	Floor Framing & Demo. Plans - Third & Fourth Floors
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OWNER
SHALOM HOUSE, INC.
106 GILMAN STREET
PORTLAND, MAINE 04102

ARCHITECT
SHELDS ARCHITECTURE
216 RANGE ROAD
CUMBERLAND, MAINE 04201

PROJECT DESCRIPTION
THE PROJECT CONSISTS OF THE RENOVATION OF AN EXISTING 8 UNIT, 5 STORY (INCLUDING BASEMENT), WOOD FRAMED APARTMENT BUILDING. A STAIR TOWER, REPLACING AN EXISTING EXTERIOR METAL FIRE ESCAPE, WILL BE CONSTRUCTED AT THE REAR OF BUILDING PROVIDING A SECOND MEANS OF EGRESS.

SQUARE FOOTAGES
THE SQUARE FOOTAGES OF THE 5 STORIES ARE AS FOLLOWS:
BASEMENT - 1212 SF
FIRST FLOOR - 1448 SF
SECOND FLOOR - 1440 SF
THIRD FLOOR - 1486 SF
FOURTH FLOOR - 1445 SF
TOTAL SQUARE FEET - 7031 SF.

LIFE SAFETY
THE BUILDING WILL BE FULL SPRINKLED PER NFPA 13R AND HAVE TWO EGRESS STAIRS, EACH PROTECTED BY 2 HOUR RATED CONSTRUCTION. EGRESS WINDOWS ARE NOT REQUIRED. THE BUILDING WILL HAVE A FIRE ALARM SYSTEM.

CODE ANALYSIS - NFPA 2006

SECTION 31 - EXISTING APARTMENT BUILDING OCCUPANCY

MEANS OF EGRESS - TWO EGRESS STAIRS, EACH PROTECTED BY 2 HOUR RATED CONSTRUCTION.
NUMBER OF EXITS - TWO

EMERGENCY LIGHTING - REQUIRED.

EXIT SIGNS - REQUIRED.

SMOKE DETECTOR ALARMS - SINGLE STATION ALARMS REQUIRED IN EACH UNIT.
SYSTEM SMOKE ALARMS REQUIRED IN COMMON AREAS.

HEAT DETECTOR ALARMS - SYSTEM HEAT DETECTOR ALARMS REQUIRED IN EACH ROOM (EXCEPTING BATHROOM) OF EACH UNIT.

CARBON MONOXIDE ALARMS - REQUIRED IN EACH UNIT.
MANUAL PULL STATIONS - REQUIRED.

CODE ANALYSIS - IBC 2009, IBC EXISTING BUILDING CODE 2009.

AUTOMATIC SPRINKLER SYSTEM - PER NFPA 13R.

DWELLING UNIT SEPARATION - 1/2 HOUR.
CORRIDOR WALLS - 1/2 HOUR RATED CONSTRUCTION WITH 20 MINUTE SMOKE RESISTING DOORS.

EXITS - 2 HOUR RATED CONSTRUCTION WITH 90 MINUTE DOORS.

ZONING - CITY OF PORTLAND

B3 ZONE - DOWNTOWN BUSINESS ZONE

CODE ANALYSIS - IBC 2009, IBC EXISTING BUILDING CODE 2009.

USE & OCCUPANCY - RESIDENTIAL USE GROUP R-2

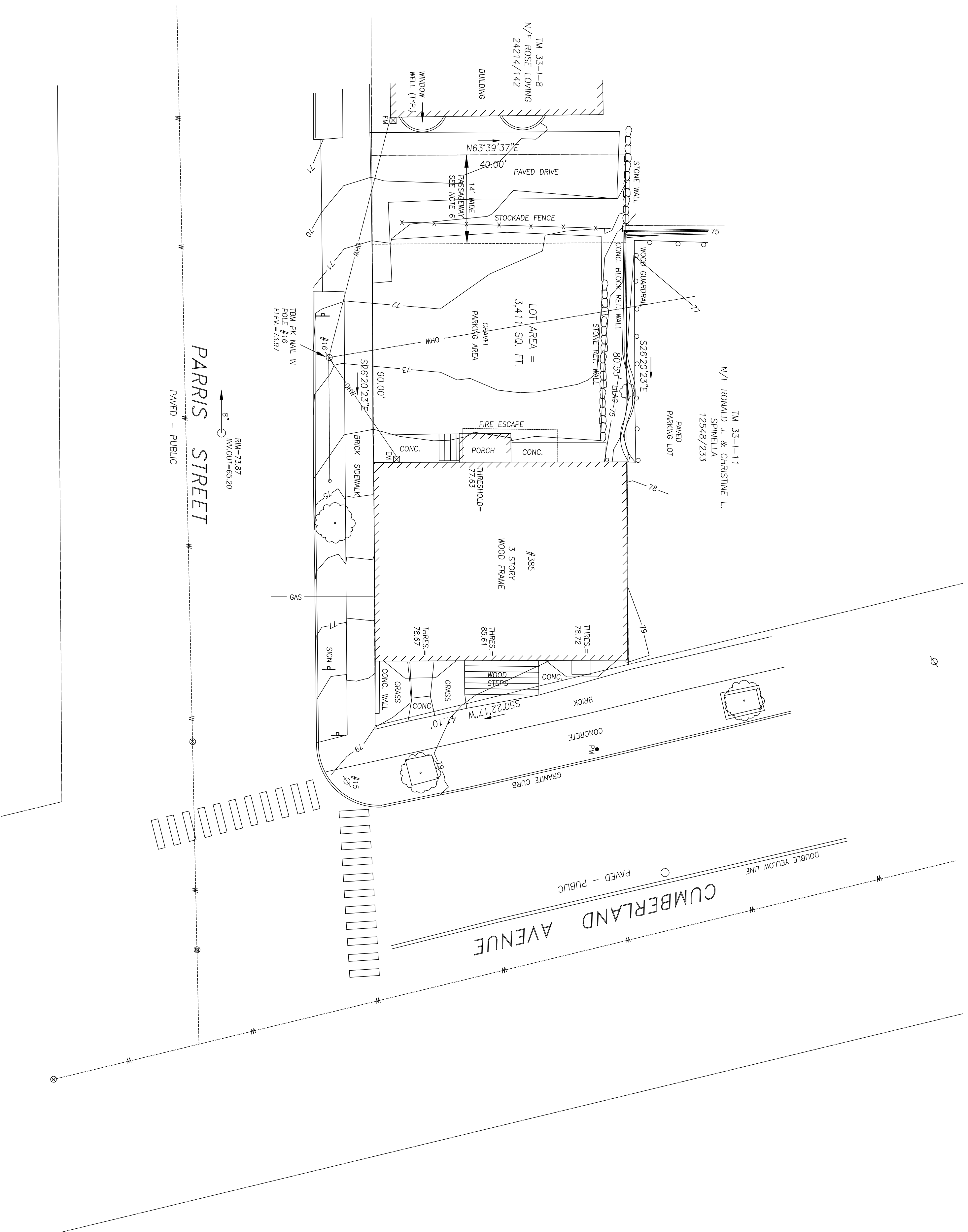
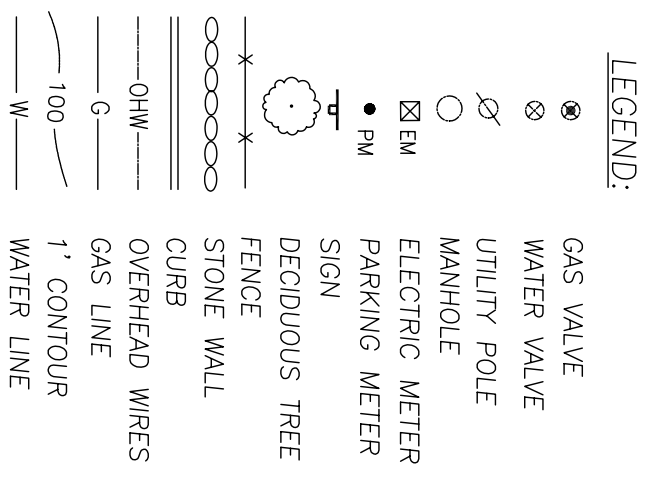
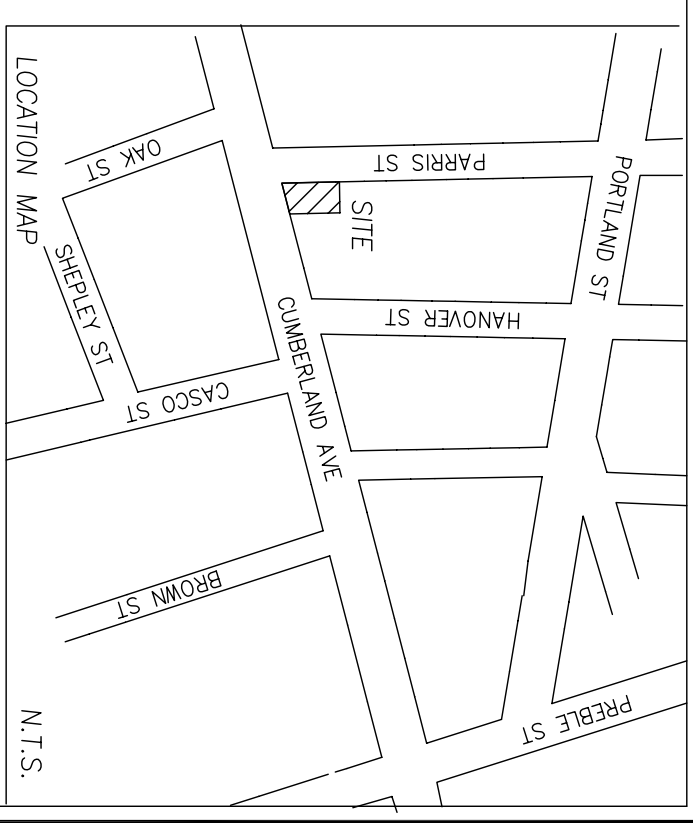
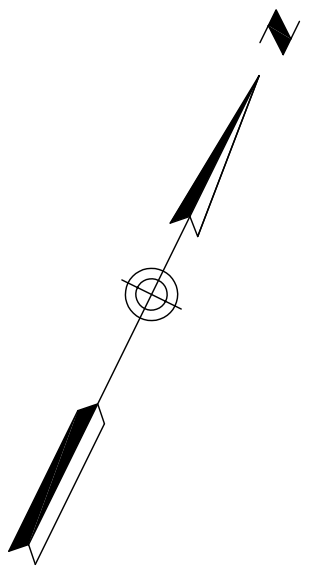
ACCESSIBILITY

IBC 2009 - TYPE "B" UNITS REQUIRED.

MAINE HOUSING - (1) TYPE "A" UNIT REQUIRED. UNIT 1 IS A TYPE A UNIT.

OWNER: _____	DATE: _____
ARCHITECT: _____	DATE: _____
CONTRACTOR: _____	DATE: _____
MAINE STATE HOUSING AUTH. : _____	DATE: _____

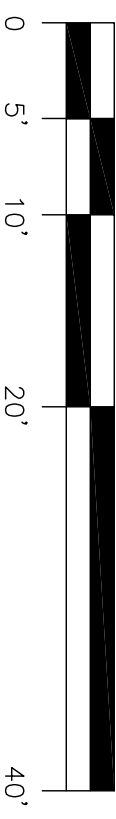
Construction Set
11/9/11



UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THESE UTILITIES. ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE. FROM THE INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UTILITIES IN THIS AREA. THE SURVEYOR HAS MADE THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION TO OSHA CONFIRMED SPACE REQUIREMENTS. ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

GRAPHIC SCALE



PLAN REFERENCES:

1. CONDOMINIUM PLAT "PARRIS TO PORTLAND CONDOMINIUM" 29 PARRIS STREET AND 58 PORTLAND STREET, PORTLAND, MAINE MADE FOR CLOUTIER TOOTHAKER ASSOCIATES, INC. DATED JAN. 12, 2006 BY OWEN HASKELL, INC.
2. CONDOMINIUM PLAT "HAWKES HOUSE CONDOMINIUM" #389 & #371 CUMBERLAND AVENUE AND #3 HANOVER STREET, PORTLAND, MAINE MADE FOR RECORD OWNER LEHRING FISH, LLC DATED MARCH 20, 2007 REVISED 02/10/11 BY OWEN HASKELL, INC.
3. CONDOMINIUM PLAT ON PARRIS STREET IN CITY OF PORTLAND DESIGNED FOR CRANDALL K. TOOTHAKER DATED APRIL 14, 2000 BY DESLAURERS & ASSOCIATES, INC. RECORDED IN PLAN BOOK 200 PAGE 233.

NOTES:

1. OWNER OF RECORD: SHALOW HOUSE, C.C.R.D. BOOK 28463 PAGE 301.
2. PARCEL IS SHOWN AS LOT 9 ON CITY OF PORTLAND ASSESSORS MAP 33 BLOCK 1.
3. PROPERTY IS LOCATED IN THE CITY OF PORTLAND B3C - DOWNTOWN BUSINESS ZONE WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:
MINIMUM LOT SIZE: NONE
MINIMUM FRONT YARD SETBACK: 15 FEET
MINIMUM SIDE YARD DIMENSIONS: NONE
MINIMUM LOT WIDTH: NONE
MAXIMUM LOT COVERAGE: 100%
4. ELEVATIONS ARE BASED ON CITY DATUM. BENCH MARK: MONUMENT NORTHWEST CORNER OF FOREST AVENUE AND CUMBERLAND AVENUE ELEVATION = 80.57'.
5. BEARINGS ARE BASED ON MAINE STATE PLANE COORDINATES MAINE WEST.
6. 14 FOOT WIDE PASSAGE WAY AS SHOWN ON PLAN REFERENCE 3. NO MENTION OF PASSAGEWAY IN RECENT DEEDS TO SURVEYED PREMISES. IT IS RECOMMENDED THAT A TITLE ATTORNEY BE CONSULTED ON THIS MATTER.

CERTIFICATE:

OWEN HASKELL, INC. CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND BELIEF. IT CONFORMS TO THE BOARD OF LICENSEE'S FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

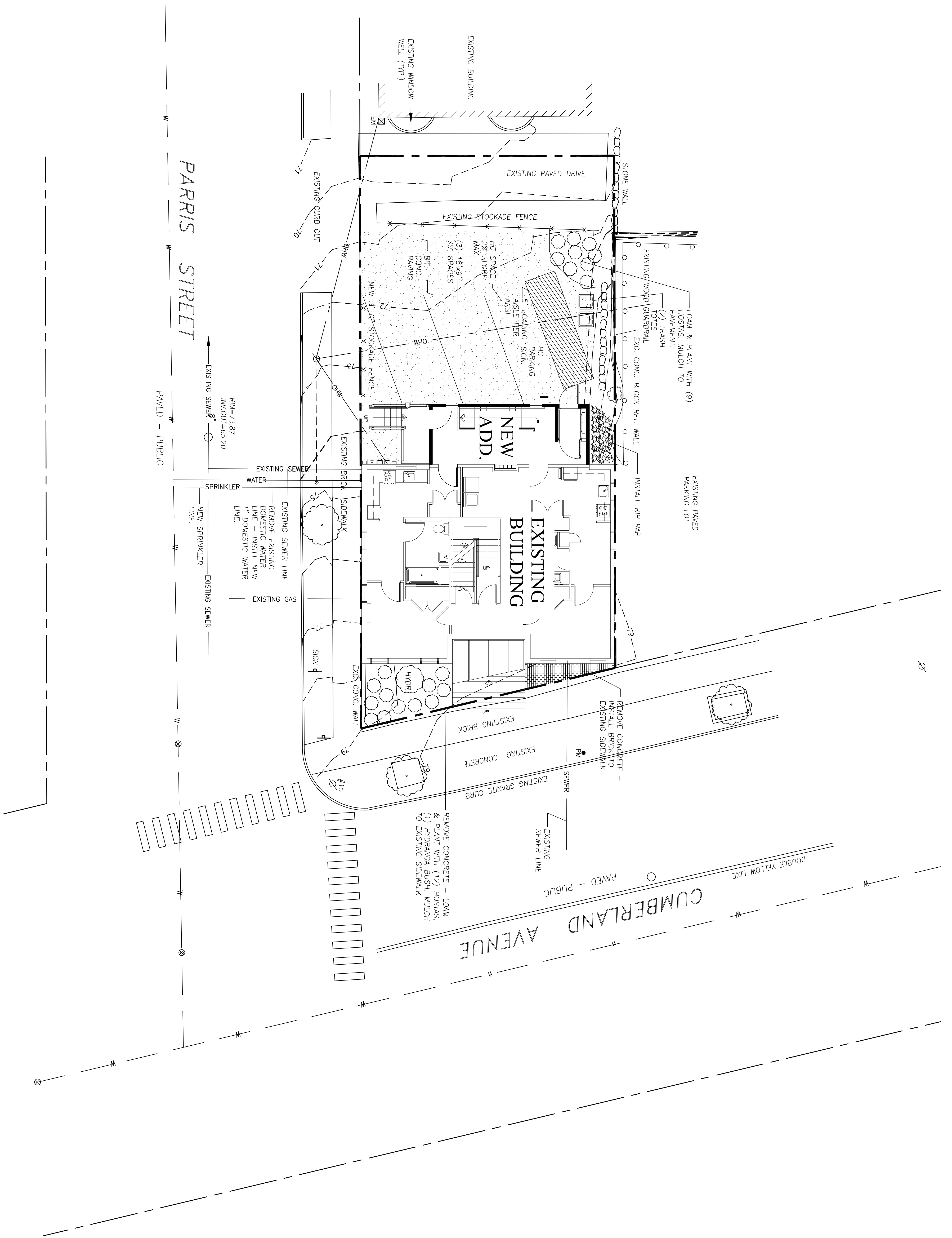
DATE _____ JOHN W. SWAN, PLS NO. 1038

BOUNDARY & TOPOGRAPHIC SURVEY

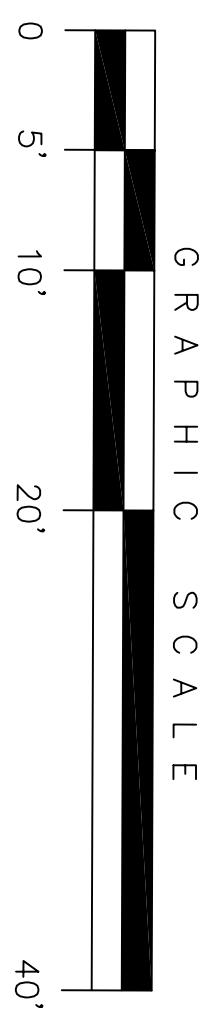
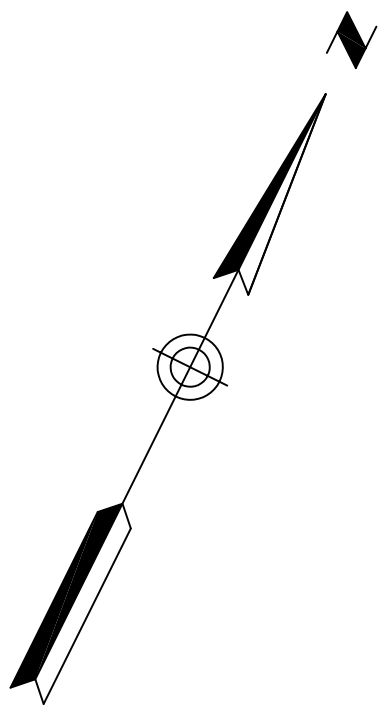
385 CUMBERLAND AVENUE, PORTLAND, MAINE
AT
SHALOW HOUSE
108 GILMAN STREET, PORTLAND, MAINE 04102

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, PALMOUTH, ME 04106 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

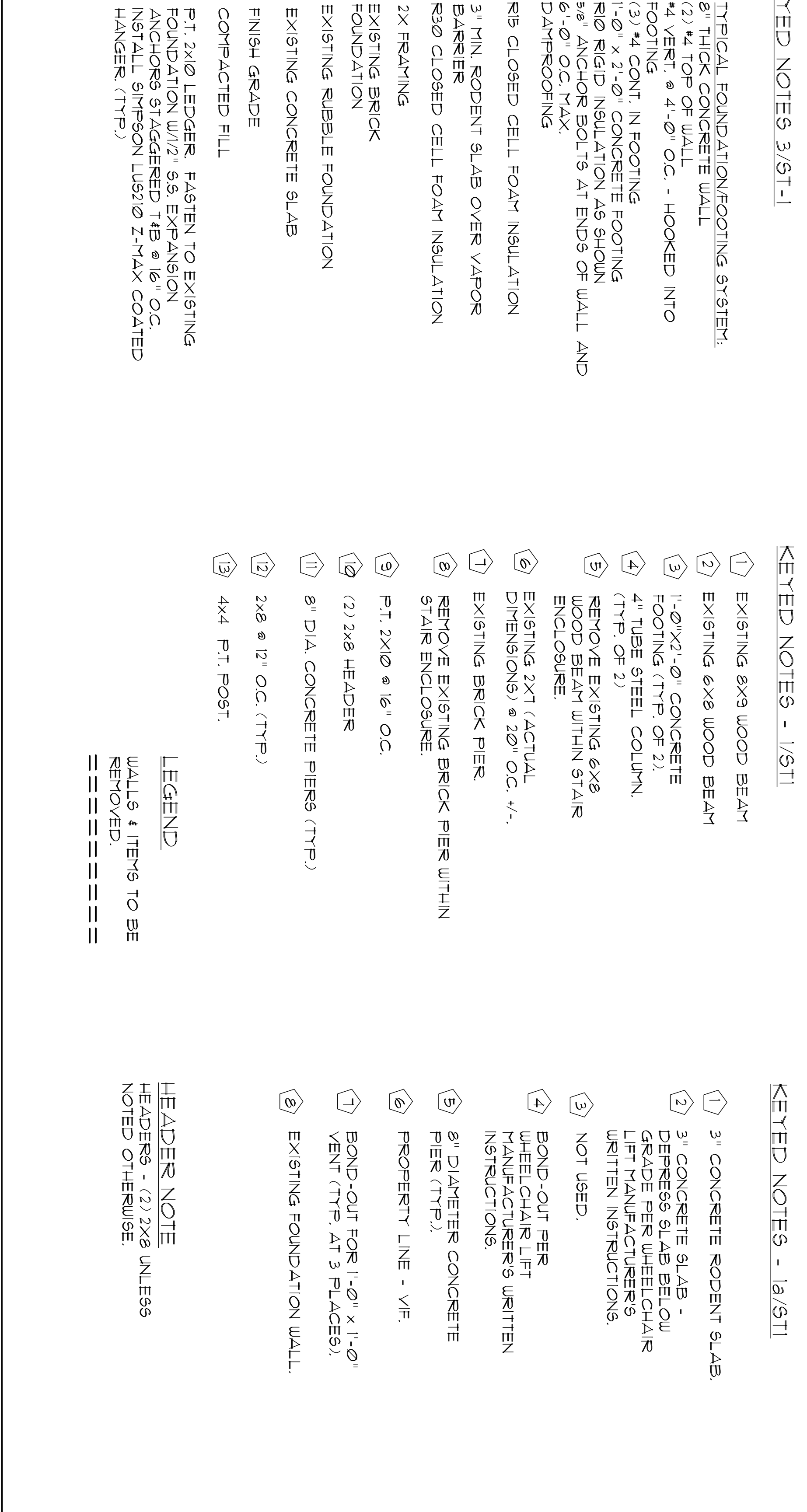
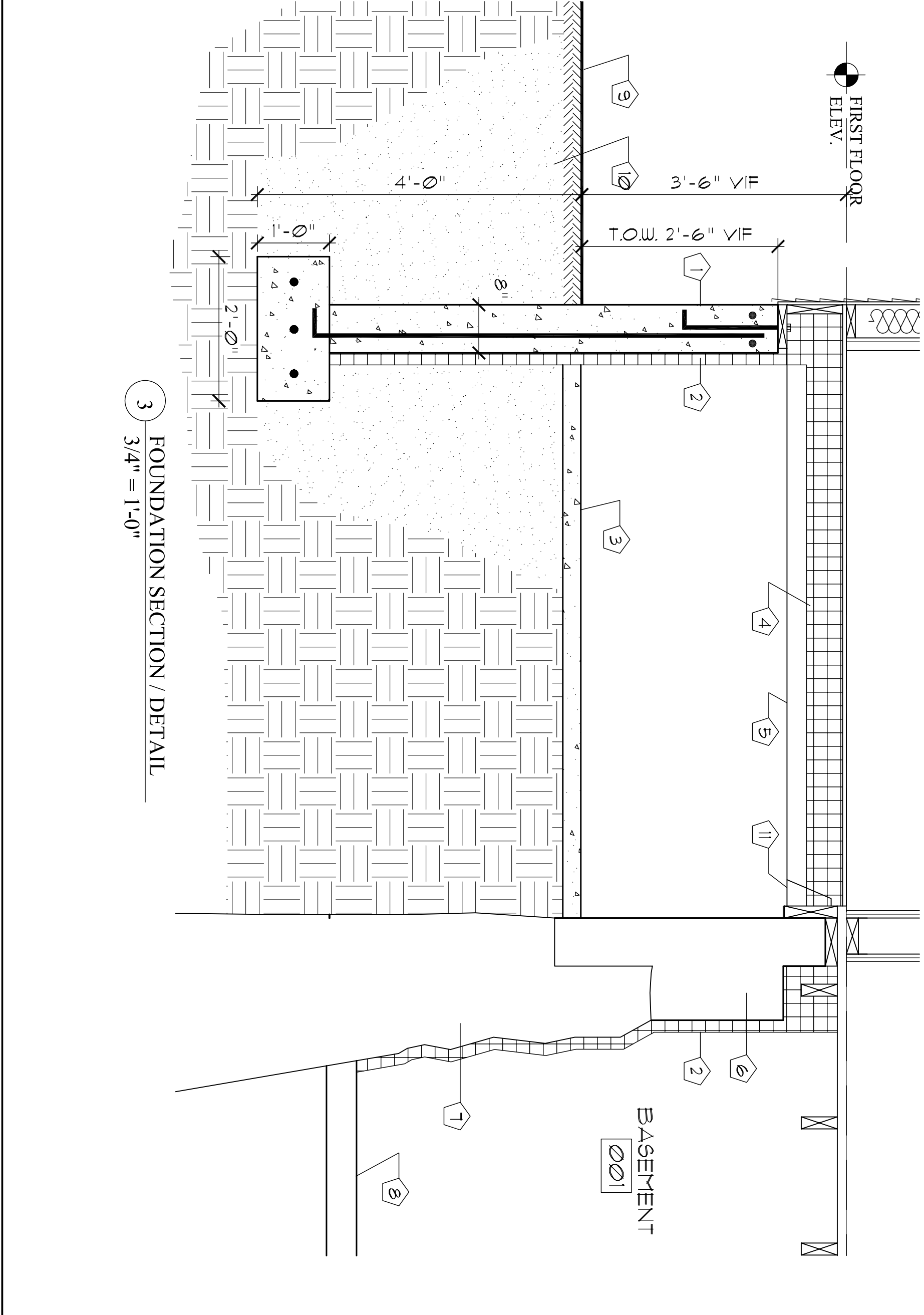
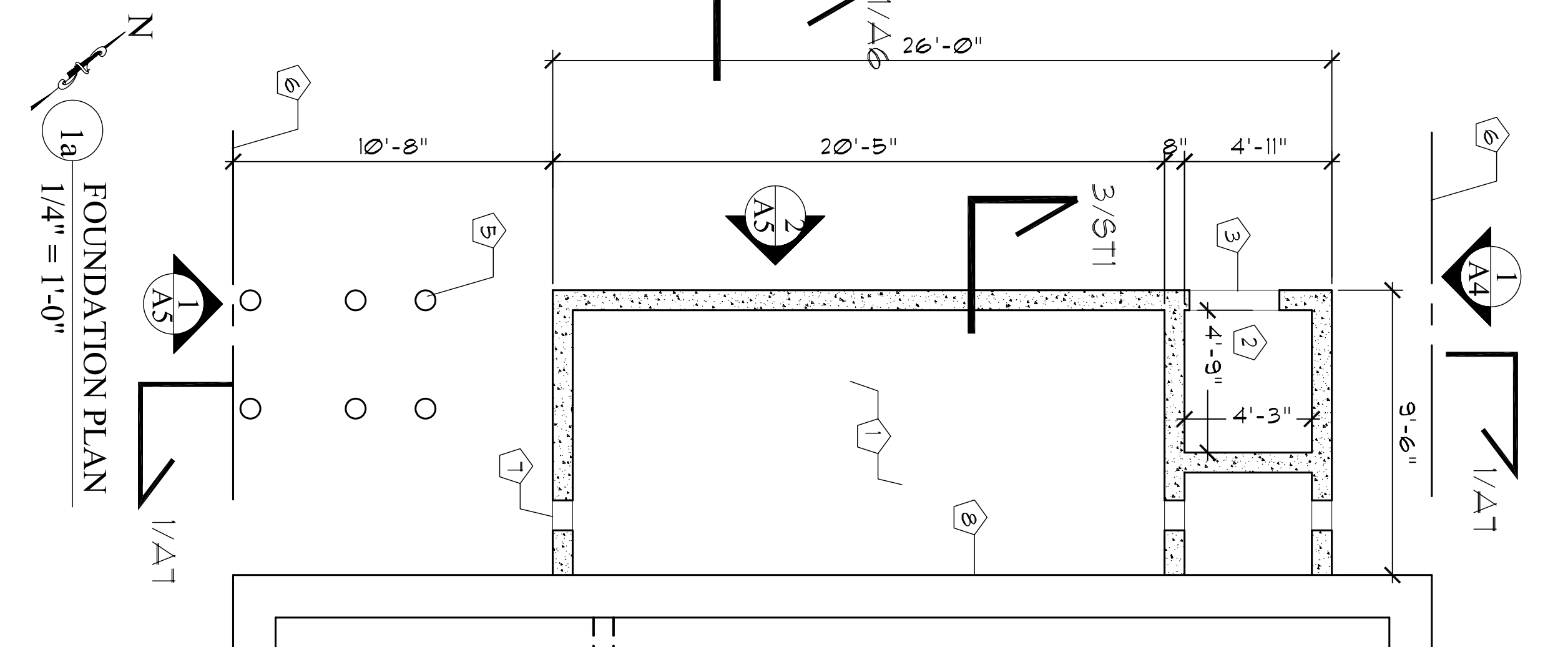
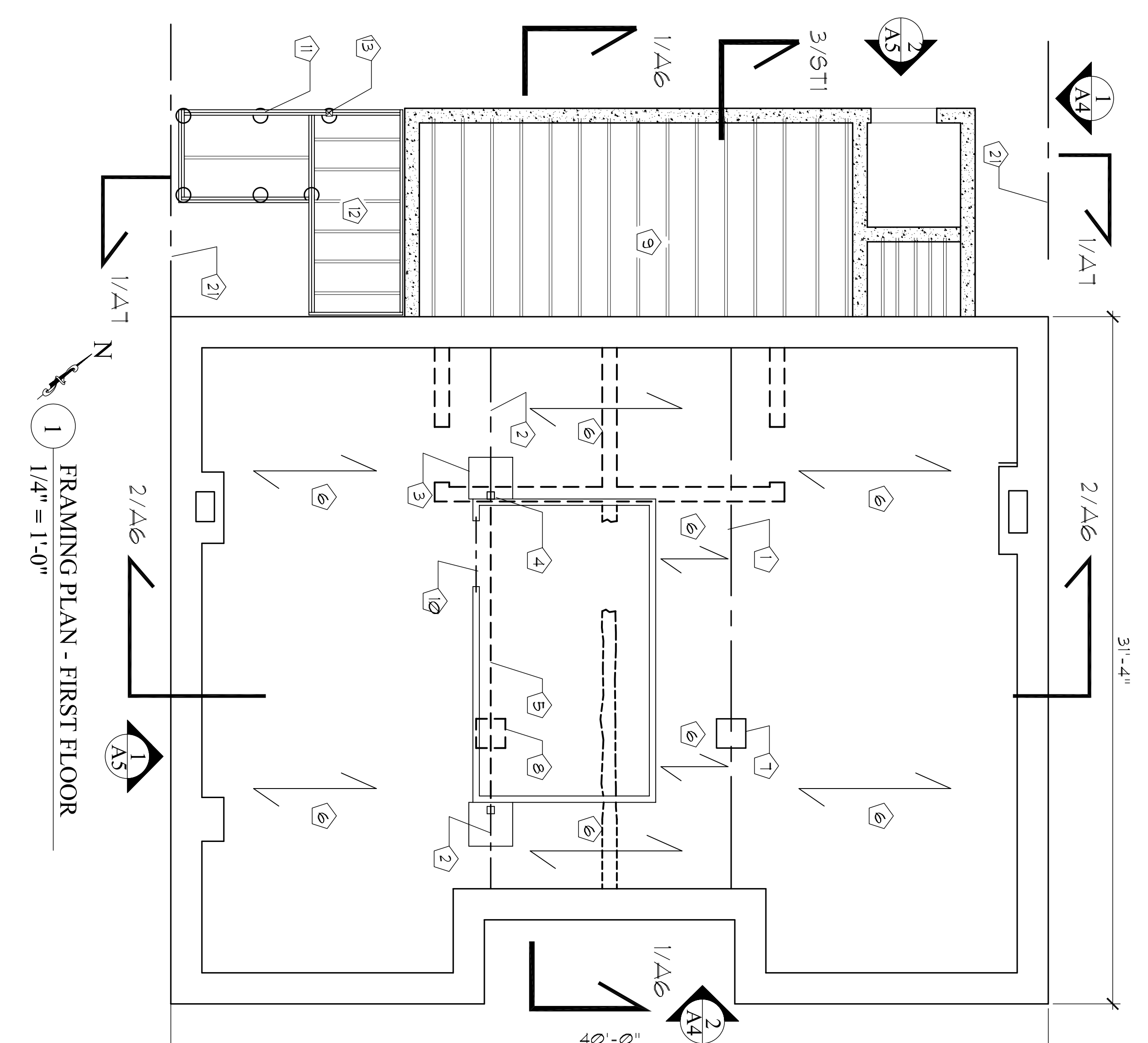
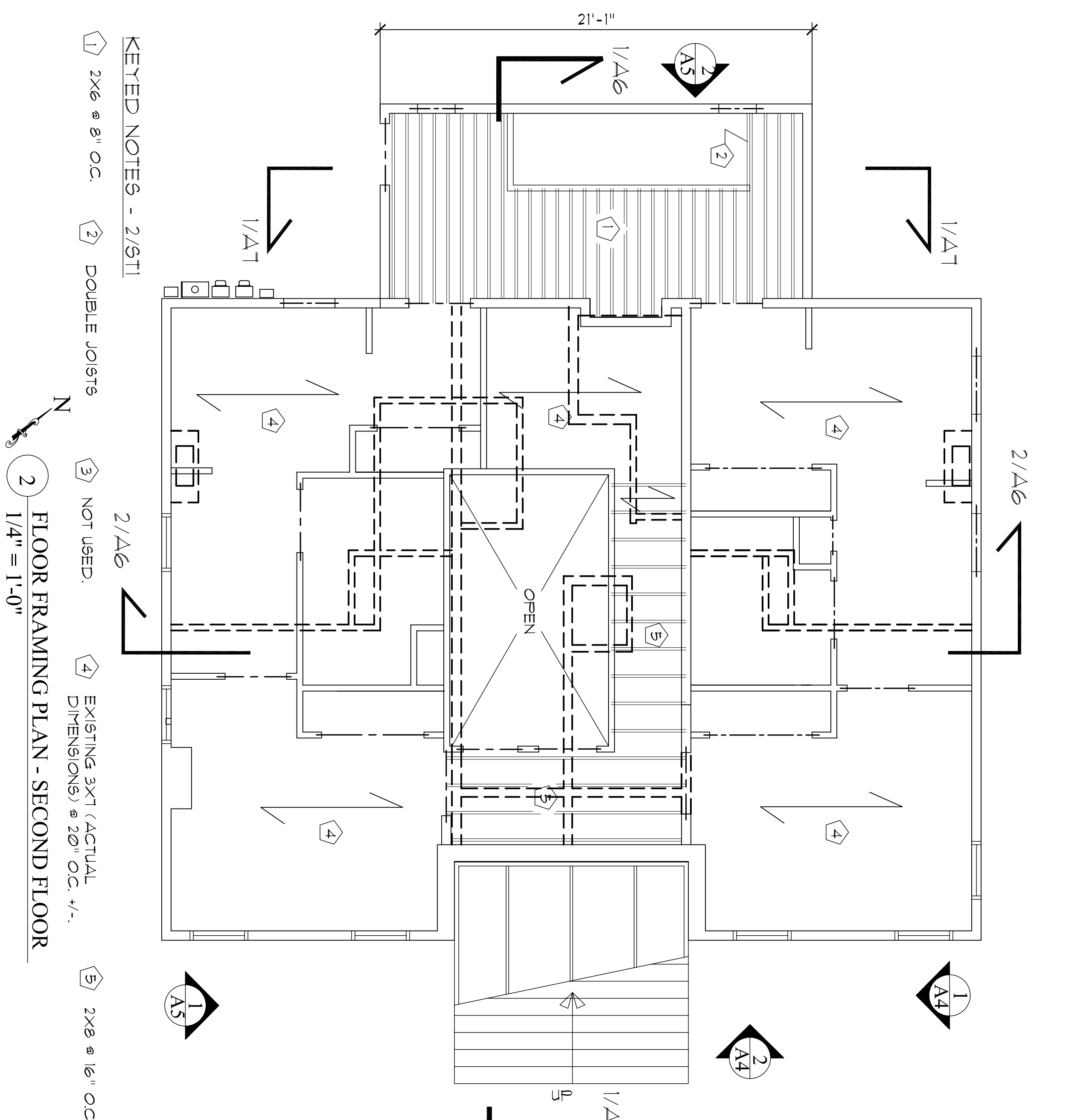
Drawn By	EB	Date		Job No.	
Trace By	JLW	MARCH 29, 2011		2011-020P	
Check By	JWS		Scale	Dwg. No.	
Book No.	1099		1" = 10'	1	



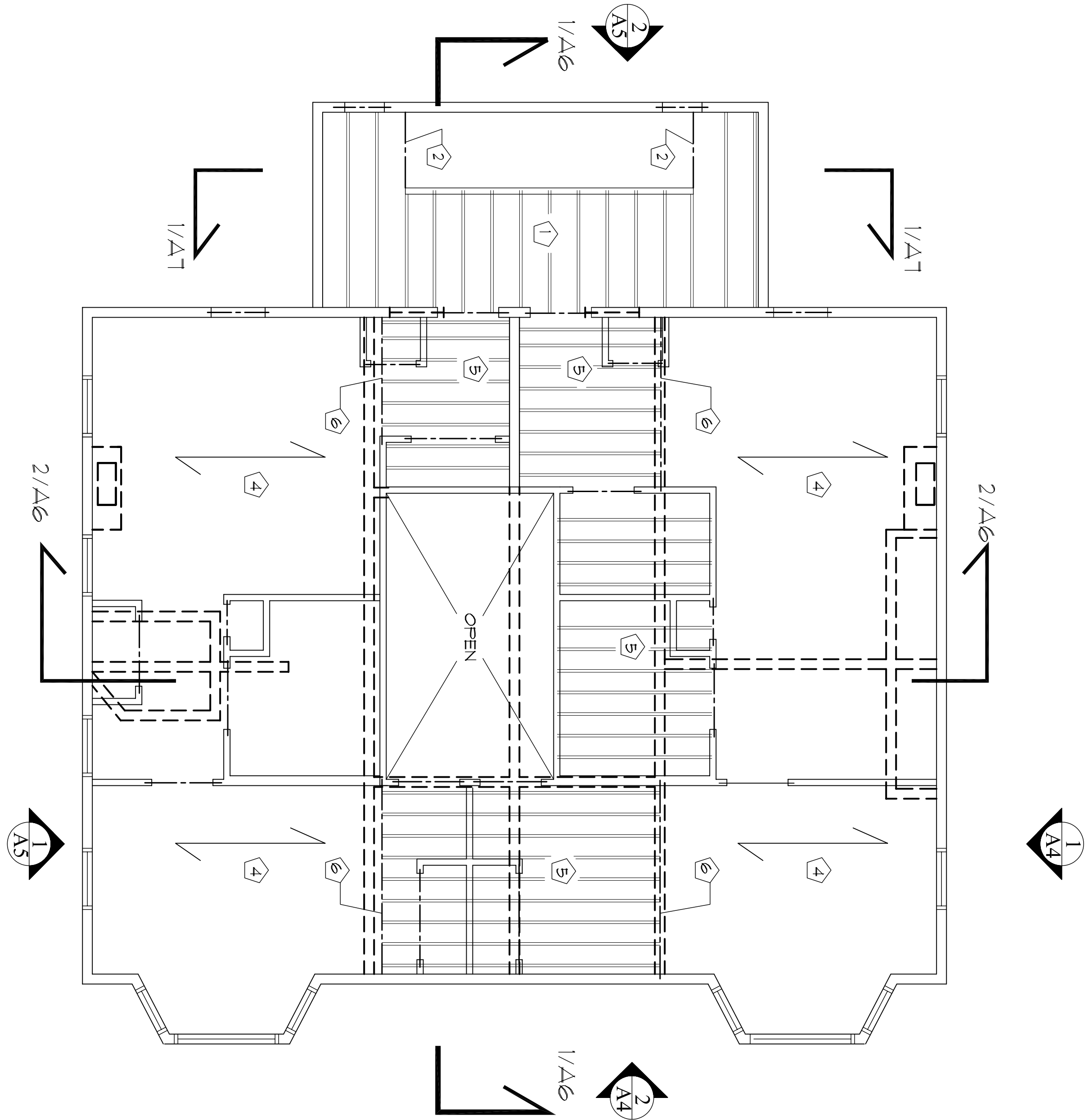
- LEGEND:**
- ⊗ GAS VALVE
 - ⊙ WATER VALVE
 - ⊕ UTILITY POLE
 - MANHOLE
 - ⊠ ELECTRIC METER
 - ⊡ PARKING METER
 - SIGN
 - DECIDUOUS TREE
 - FENCE
 - STONE WALL
 - CURB
 - OVERHEAD WIRES
 - GAS LINE
 - 1' CONTOUR
 - WATER LINE
 - PROPERTY LINE



S-1	SITE PLAN	Drawing	Date 12/07/11	Scale 1/8" = 1'-0"	Project:	SHIELDS ARCHITECTURE 216 Range Road, Cumberland, Maine (207) 776-8926
			City of Portland - Administrative Authorization Site Plan Application.		ADDITION & RENOVATION 385 CUMBERLAND AVENUE PORTLAND, MAINE	

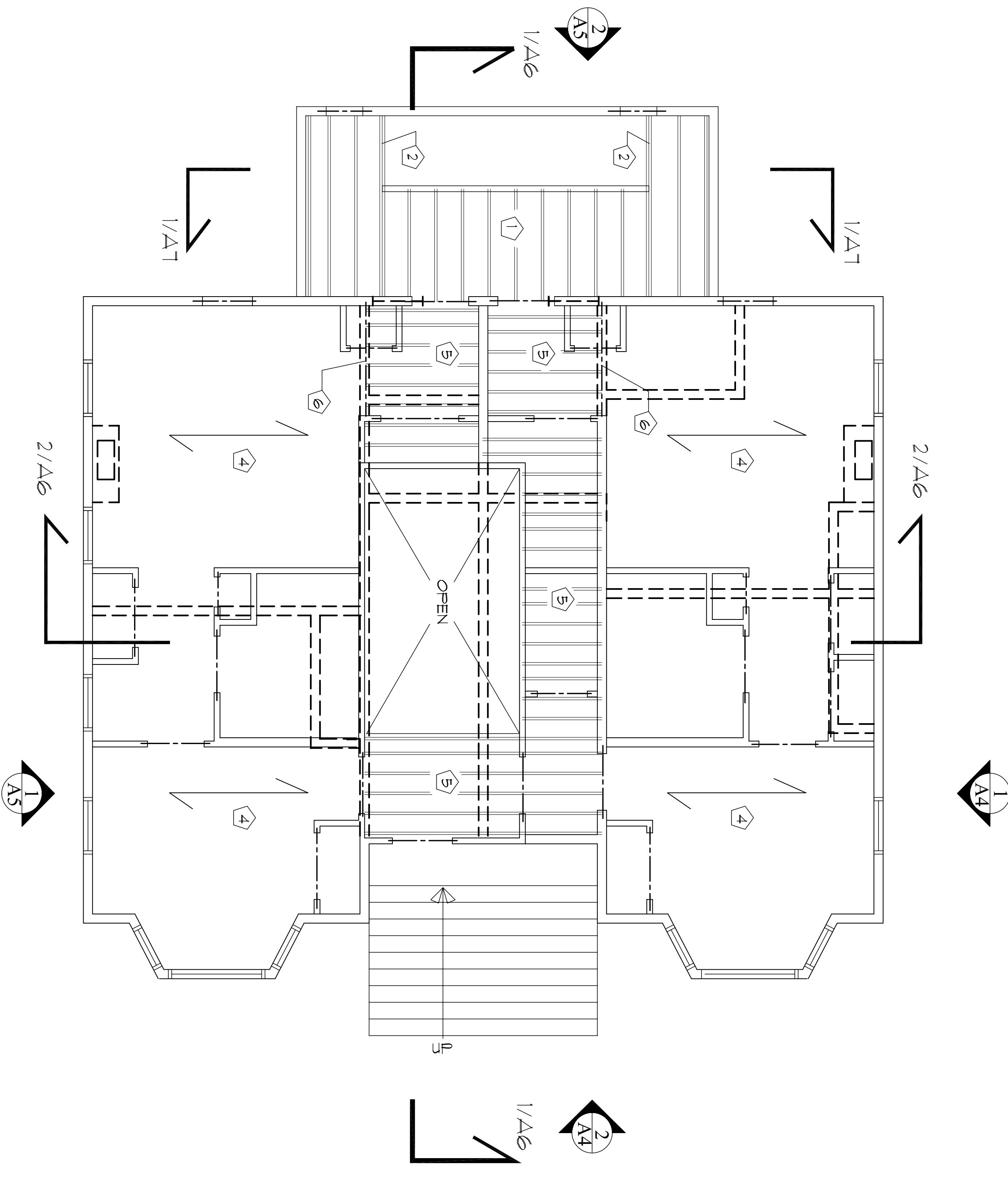


ST-1	Drawing FOUNDATION, FLOOR FRAMING & DEMO PLANS - FIRST & SECOND FLOORS FOUNDATION SECTION	Date 12/15/11	Scale As Noted	Project: ADDITION & RENOVATION 385 CUMBERLAND AVENUE PORTLAND, MAINE	SHIELDS ARCHITECTURE 216 Range Road, Cumberland, Maine (207) 776-8926



- KEYED NOTES**
- 1) 2x8 @ 16" O.C.
 - 2) DOUBLE JOISTS.
 - 3) NOT USED.
 - 4) EXISTING 3x1 (ACTUAL DIMENSIONS) @ 20" O.C. +/-.
 - 5) 2x8 @ 12" O.C.
 - 6) (3) 2x8 RECESSED INTO FLOOR FRAMING.

2 FLOOR FRAMING PLAN - FOURTH FLOOR
1/4" = 1'-0"

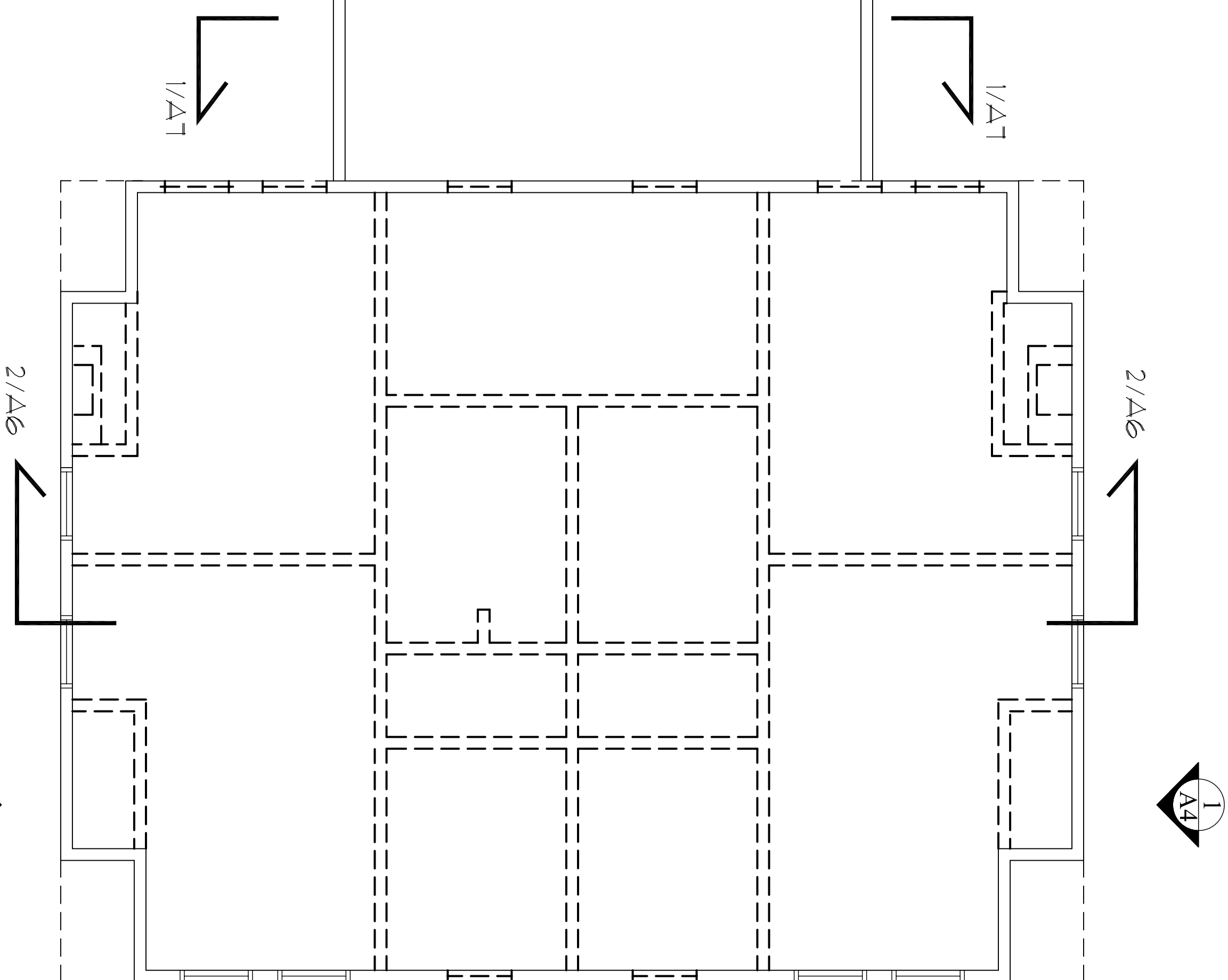
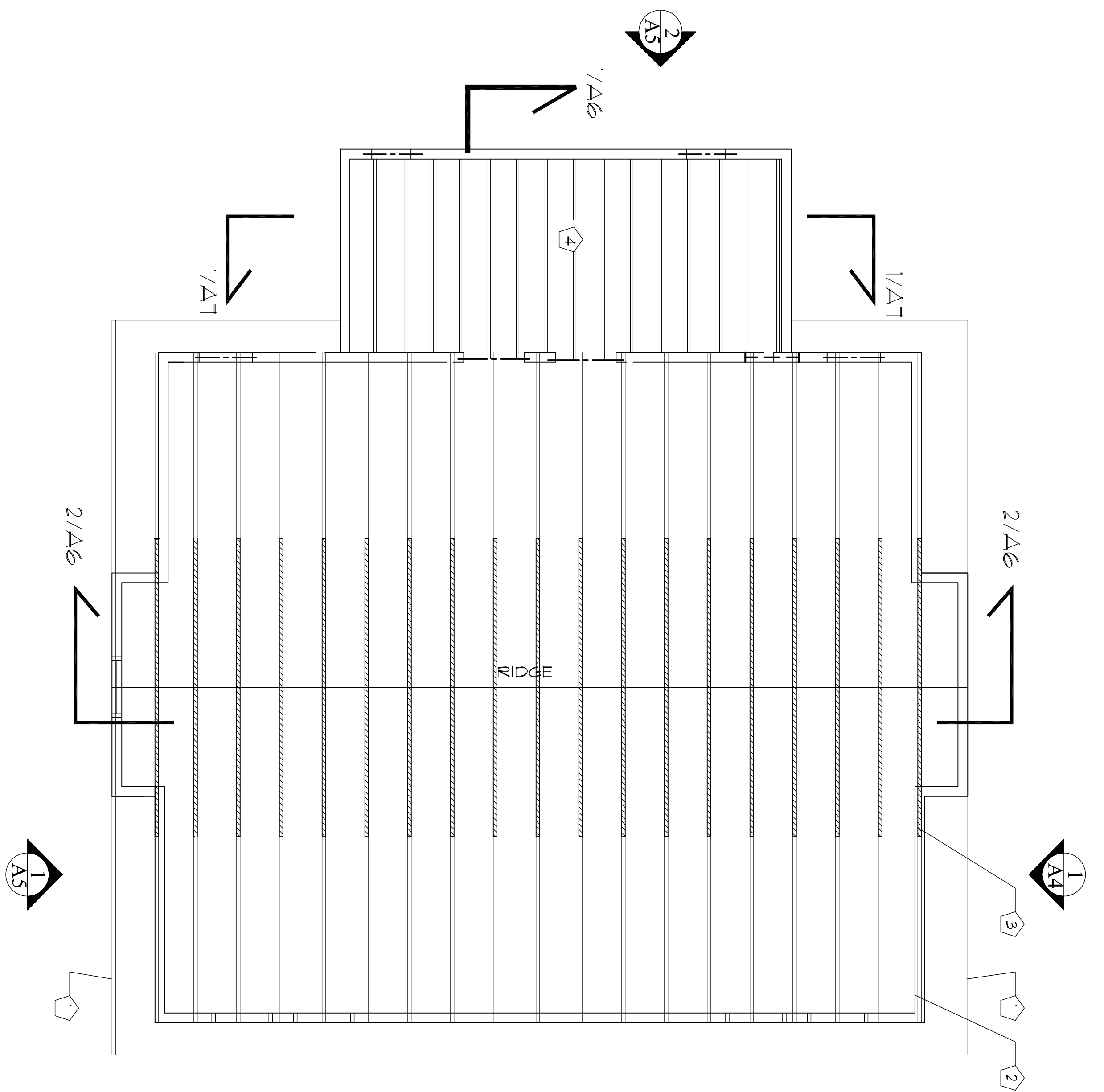


- KEYED NOTES**
- 1) 2x8 @ 16" O.C.
 - 2) DOUBLE JOISTS.
 - 3) NOT USED.
 - 4) EXISTING 3x1 (ACTUAL DIMENSIONS) @ 20" O.C. +/-.
 - 5) 2x8 @ 12" O.C.
 - 6) (3) 2x8 RECESSED INTO FLOOR FRAMING.

1 FLOOR FRAMING PLAN - THIRD FLOOR
1/4" = 1'-0"

LEGEND
 WALLS & ITEMS TO BE REMOVED.
 =====
HEADER NOTE
 HEADERS - (2) 2x8 UNLESS NOTED OTHERWISE.

ST-2	Drawing	Date 11/9/11	Scale 1/4" = 1'-0"	Project: ADDITION & RENOVATION 385 CUMBERLAND AVENUE PORTLAND, MAINE	SHIELDS ARCHITECTURE 216 Range Road, Cumberland, Maine (207) 776-8926
	FLOOR FRAMING & DEMO PLANS - THIRD & FOURTH FLOORS				



HEADER NOTE
HEADERS - (2) 2x8 UNLESS NOTED OTHERWISE.

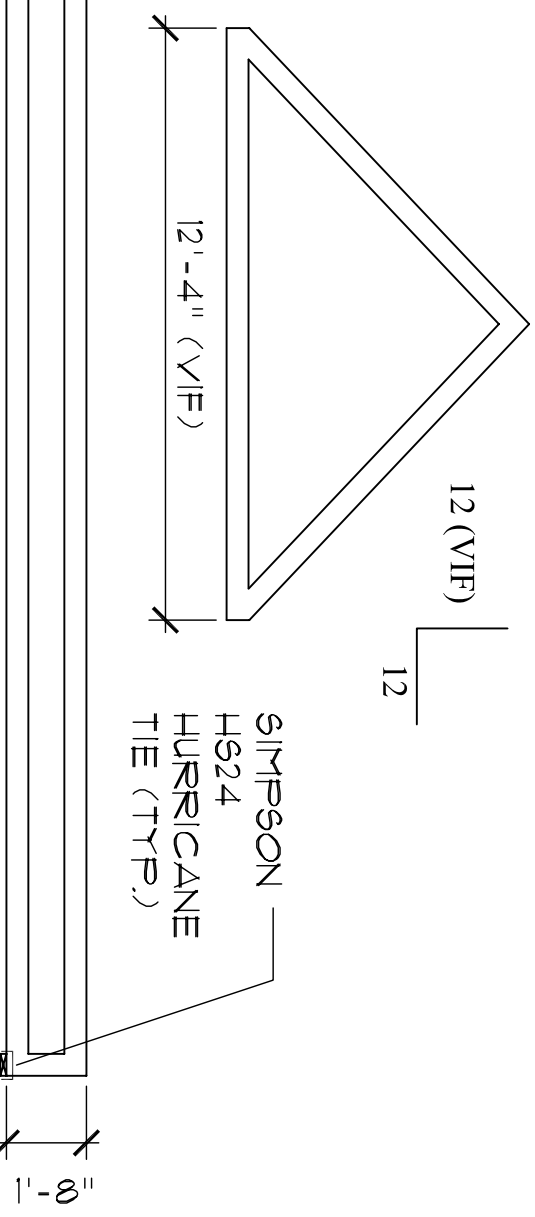
- KEYED NOTES
- ① EXISTING COMMON RAFTER
 - ② CLEAR SPAN FLAT TRUSSES (TYP.)
 - ③ FITCHED "PIGGY BACK" TRUSSES (TYP.)
 - ④ 2x8 @ 16" O.C.

2 ROOF FRAMING PLAN
1/4" = 1'-0"

LEGEND
WALLS & ITEMS TO BE REMOVED.

DEMOLITION NOTE:
FOURTH FLOOR DEMOLITION INCLUDES DEMOLITION OF CEILING FINISH & FRAMING, ROOF FRAMING & ROOFING AND ALL OTHER ITEMS REQUIRED FOR THE INSTALLATION OF THE TRUSS SYSTEM SHOWN IN 2 & 3/ST-3.

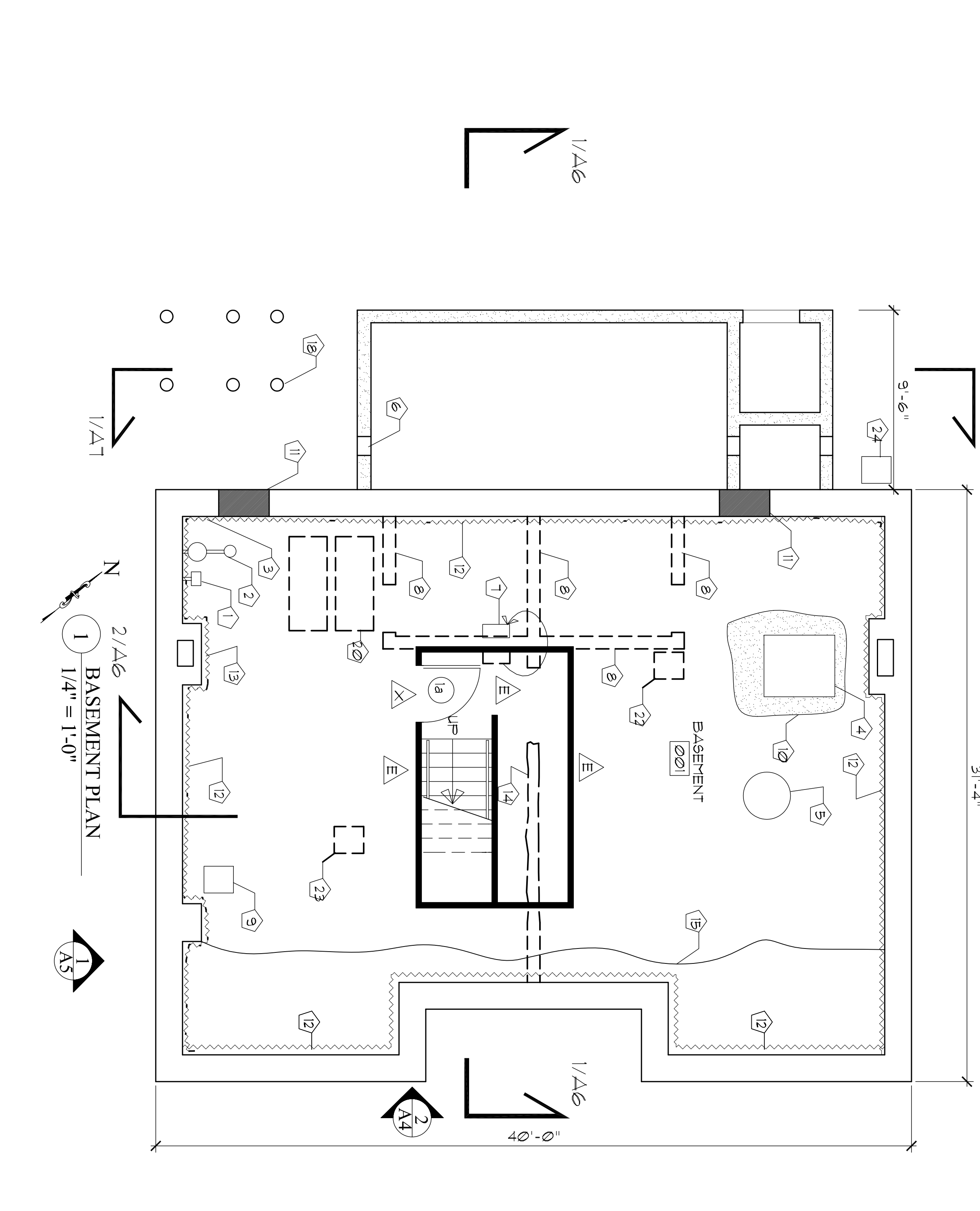
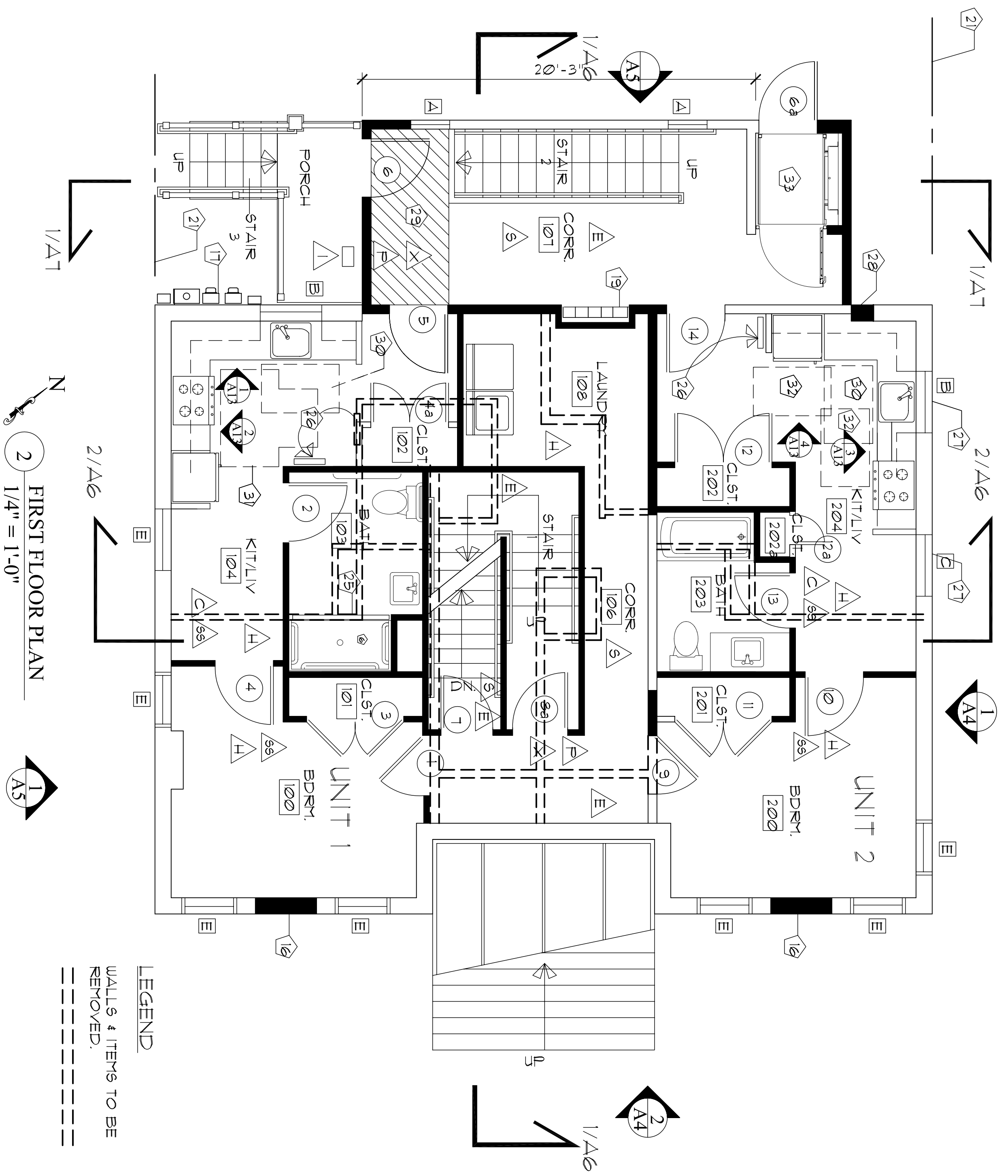
1 FOURTH FLOOR DEMO PLAN
1/4" = 1'-0"



TRUSS LOADING:
TOP CHORD
D.L. = 15 PSF
BALANCED SNOW LOAD = 46 PSF
UNBALANCED SNOW LOAD = 69 PSF
(NON-CONCURRENT WITH BALANCED SNOW)
BOTTOM CHORD
D.L. = 10 PSF

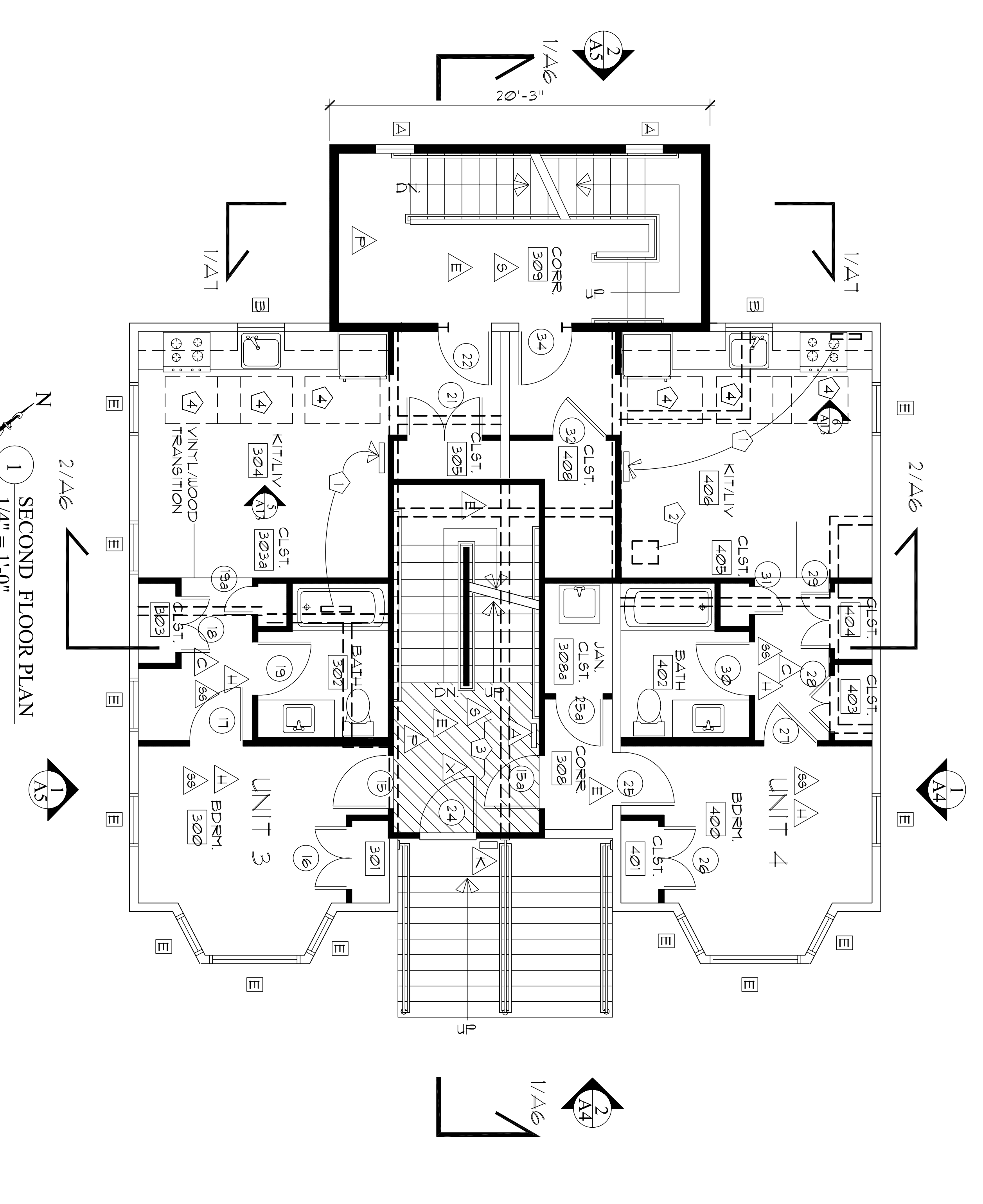
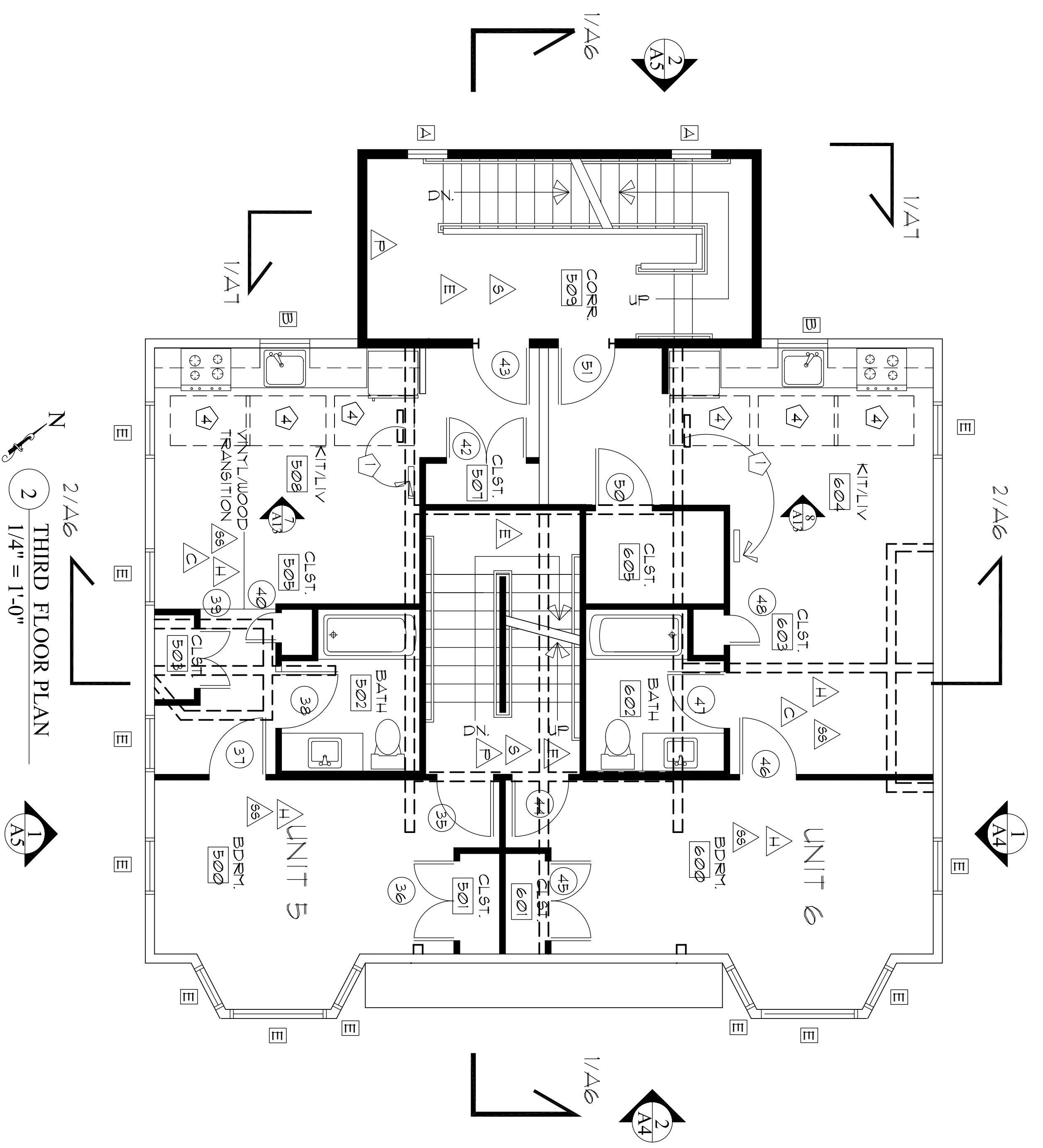
NOTE: CONNECTION BETWEEN FLAT AND PIGGY BACK TRUSSES BY TRUSS MANUFACTURER

3 TRUSS TYPES
1/4" = 1'-0"



GENERAL NOTE:
SEE DRAWINGS A-3a - A3c FOR WALL TYPES AND LAYOUT DIMENSIONS.

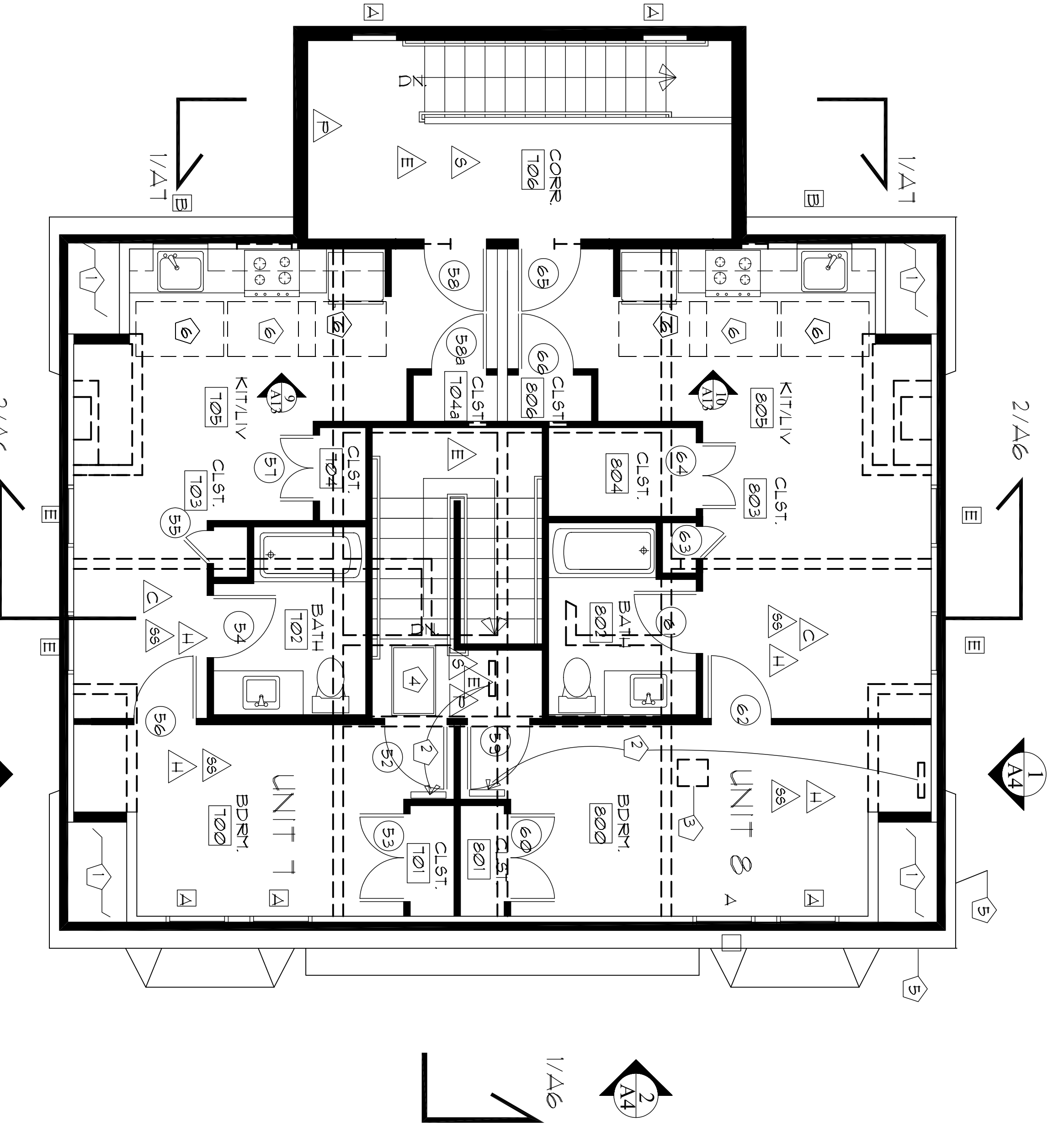
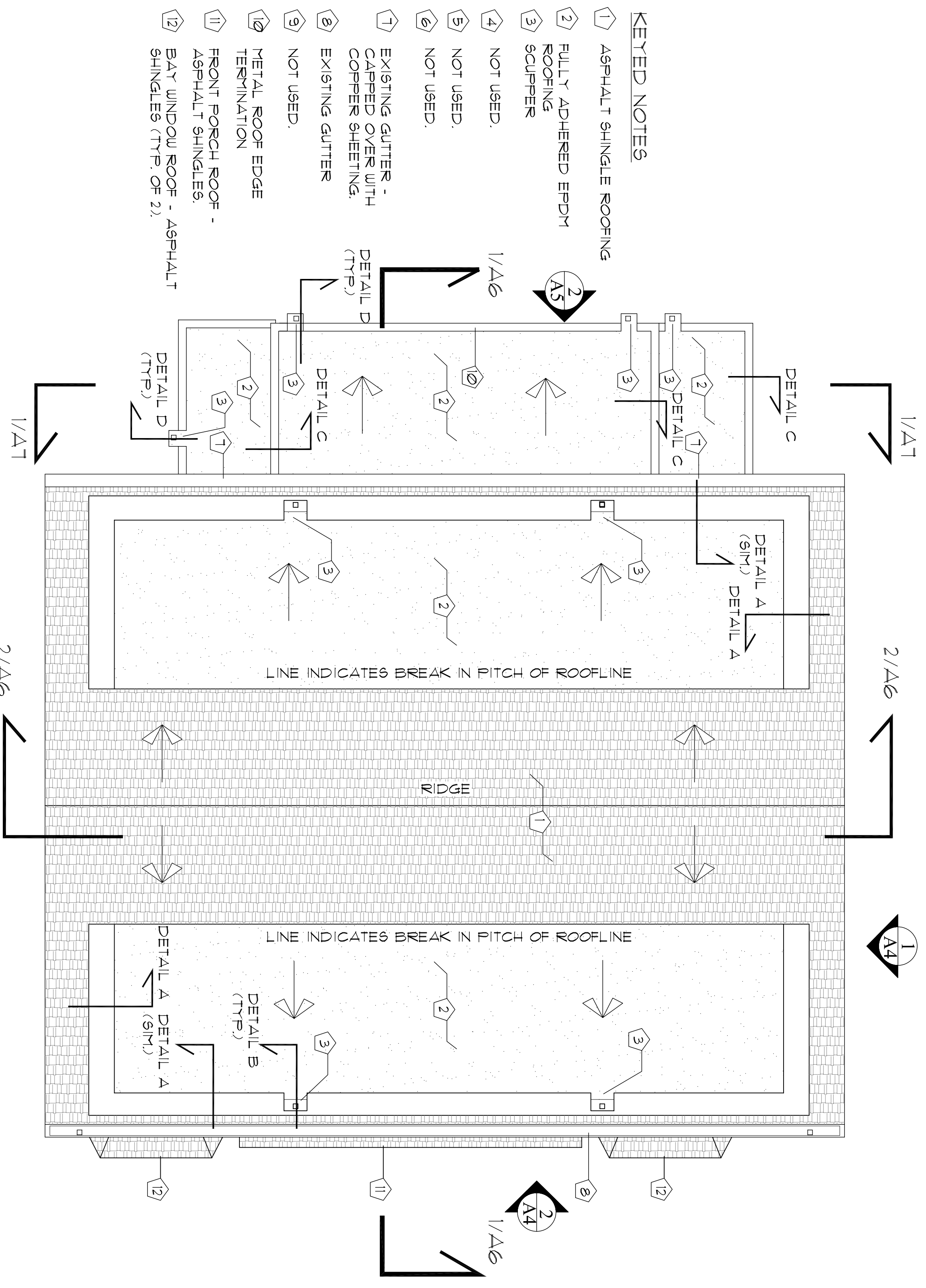
Drawing	Date	Scale	Project:	SHIELDS ARCHITECTURE 216 Range Road, Cumberland, Maine (207) 776-8926
	12/15/11	1/4" = 1'-0"		
BASEMENT, FIRST FLOOR PLANS				
A-1				



- LEGEND**
- EXISTING WALL
 - WALL / ITEM TO BE REMOVED
 - NEW WALL
 - EMERGENCY LIGHTING
 - PULL STATION
 - EXIT SIGN
 - ANNUNCIATOR PANEL
 - KNOX BOX
- NEW DOOR** ①
- NEW WINDOW** △
- EXISTING WINDOW TO REMAIN** ▽
- SINGLE STATION SMOKE DETECTOR - AUDIO/VISUAL** △
- SYSTEM SMOKE DETECTOR AUDIO/VISUAL** △
- SYSTEM HEAT DETECTOR AUDIO/VISUAL** △
- SINGLE STATION CARBON MONOXIDE DETECTOR - AUDIO/VISUAL** △

- GENERAL NOTE:**
SEE DRAWINGS A-3a - A3c FOR WALL TYPES AND LAYOUT DIMENSIONS.
- KEYED NOTE:**
① EXISTING UNIT ELECTRICAL PANEL - RELOCATE AS SHOWN. MOUNT PANEL SO ALL CONTROLS / SWITCHES ARE NO HIGHER THAN 48" AFF & NO LOWER THAN 15" AFF.
② EXISTING UNIT GAS METER - TO BE REMOVED.
③ WALK-OFF MAT AT BASE OF STAIRS - WALK-OFF MAT SHOWN HATCHED.
④ 30" x 48" CLEAR SPACE AT ALL APPLIANCES.

Drawing SECOND & THIRD FLOOR PLANS	Date 11/9/11	Scale 1/4" = 1'-0"	Project: ADDITION & RENOVATION 385 CUMBERLAND AVENUE PORTLAND, MAINE	SHIELDS ARCHITECTURE 216 Range Road, Cumberland, Maine (207) 776-8926
	A-2			

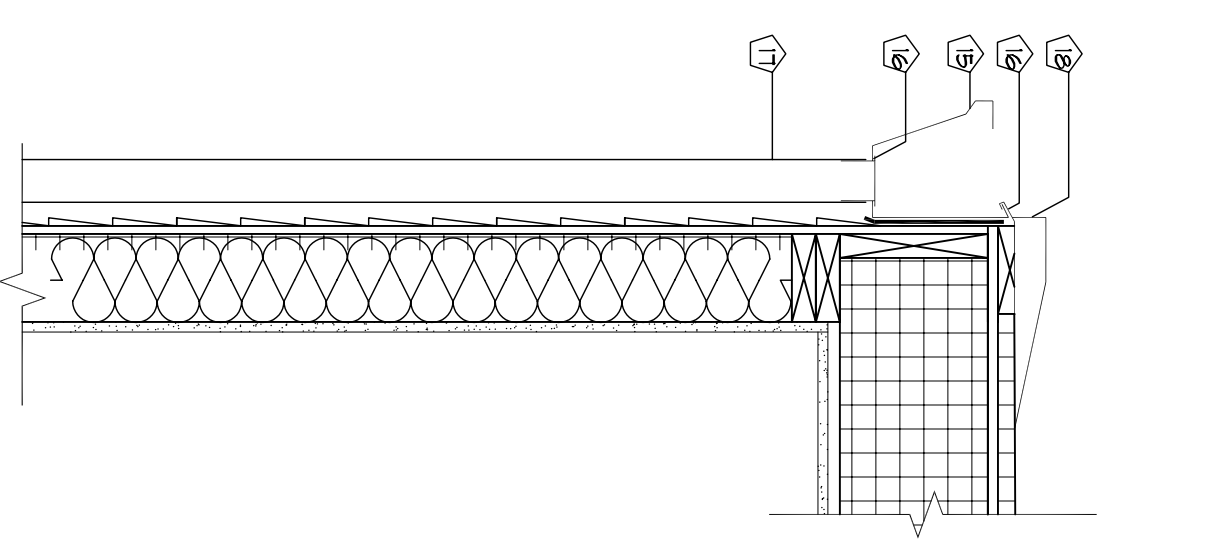
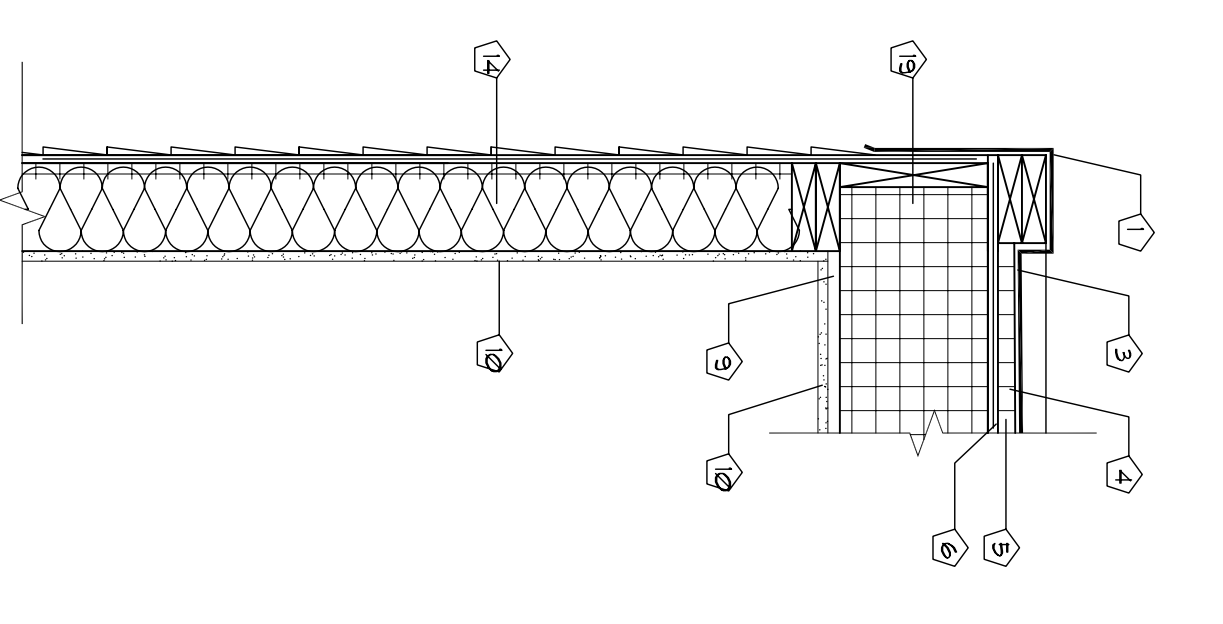
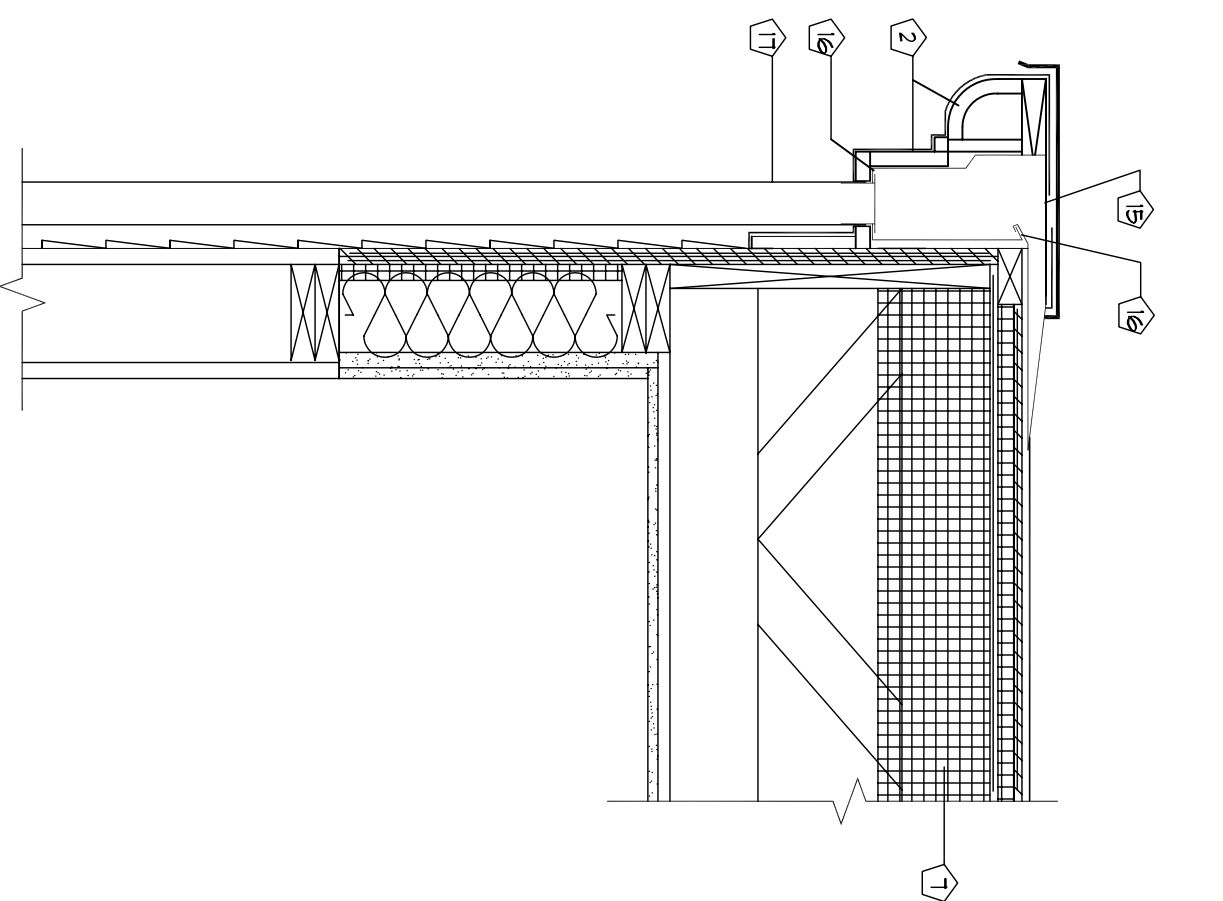
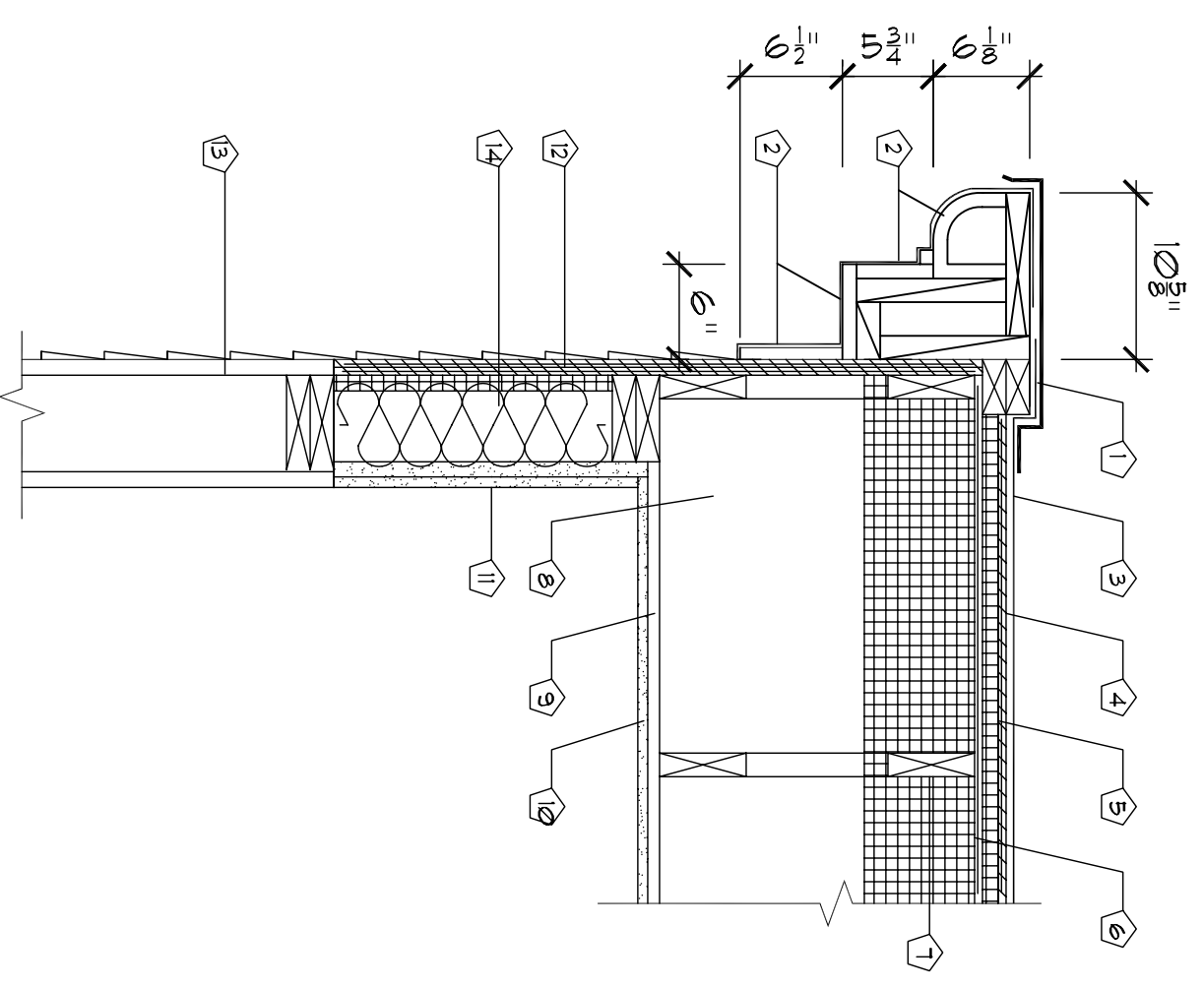


- KEYED NOTES**
- 1 ASPHALT SHINGLE ROOFING
 - 2 FULLY ADHERED EPDM ROOFING SCUPPER
 - 3 NOT USED.
 - 4 NOT USED.
 - 5 NOT USED.
 - 6 NOT USED.
 - 7 EXISTING GUTTER - CAPPED OVER WITH COPPER SHEETING.
 - 8 EXISTING GUTTER
 - 9 NOT USED.
 - 10 METAL ROOF EDGE TERMINATION
 - 11 FRONT PORCH ROOF - ASPHALT SHINGLES.
 - 12 BAY WINDOW ROOF - ASPHALT SHINGLES (TYP. OF 2).

2 ROOF PLAN
1/4" = 1'-0"

1 FOURTH FLOOR PLAN
1/4" = 1'-0"

- KEYED NOTES**
- 1 ALUM. ROOF EDGE TERMINATION - PTD.
 - 2 PT. EAVE, ALUM. UNRAFFED - PTD.
 - 3 FULLY ADHERED EPDM EPOXY TERRAZANE
 - 4 1/2" FIBERBOARD.
 - 5 TAPERED RIGID INSULATION - 1" MIN. RATED TO SCUPPERS
 - 6 MIN. RATED SHEATHING
 - 7 FLAT RAISES - SEE STRUCTURALS
 - 8 RI ROOF / CEILING ASSEMBLY.
 - 9 1/2" STRAPPING @ 12" OC
 - 10 5/8" G.B. - PTD.
 - 11 G.B. TO EQUAL EXISTING PTD. FINISH THICKNESS.
 - 12 APA RATED SHEATHING TO EQUAL EXISTING SHEATHING.
 - 13 EXISTING WALL.
 - 14 WALL INSULATION - PER WALL TYPE UB.
 - 15 COPPER SCUPPERS
 - 16 SOLDERED.
 - 17 DOWNSPOUT.
 - 18 COPPER FLASH/A
 - 19 ROOF TYPE B3



A EAVE/WALL DETAIL
1" = 1'-0"

B SCUPPER DETAIL @ DORMERS
1" = 1'-0"

C EAVE/WALL DETAIL
1" = 1'-0"

D SCUPPER DETAIL @ ADDITION
1" = 1'-0"

LEGEND

WALL/ITEM TO BE REMOVED

EXISTING WALL

NEW WALL

NEW DOOR

NEW WINDOW

EXISTING WINDOW TO REMAIN

EMERGENCY LIGHTING

FULL STATION

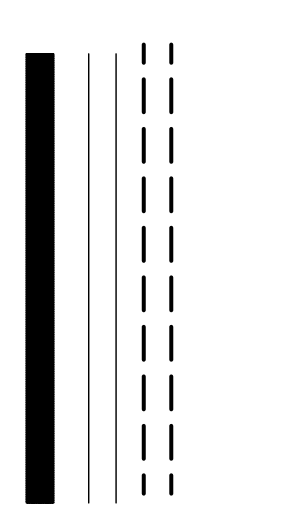
EXIT SIGN

SINGLE STATION SMOKE DETECTOR - AUDIO/VISUAL

SYSTEM SMOKE DETECTOR AUDIO/VISUAL

SYSTEM HEAT DETECTOR AUDIO/VISUAL

SINGLE STATION CARBON MONOXIDE DETECTOR - AUDIO/VISUAL

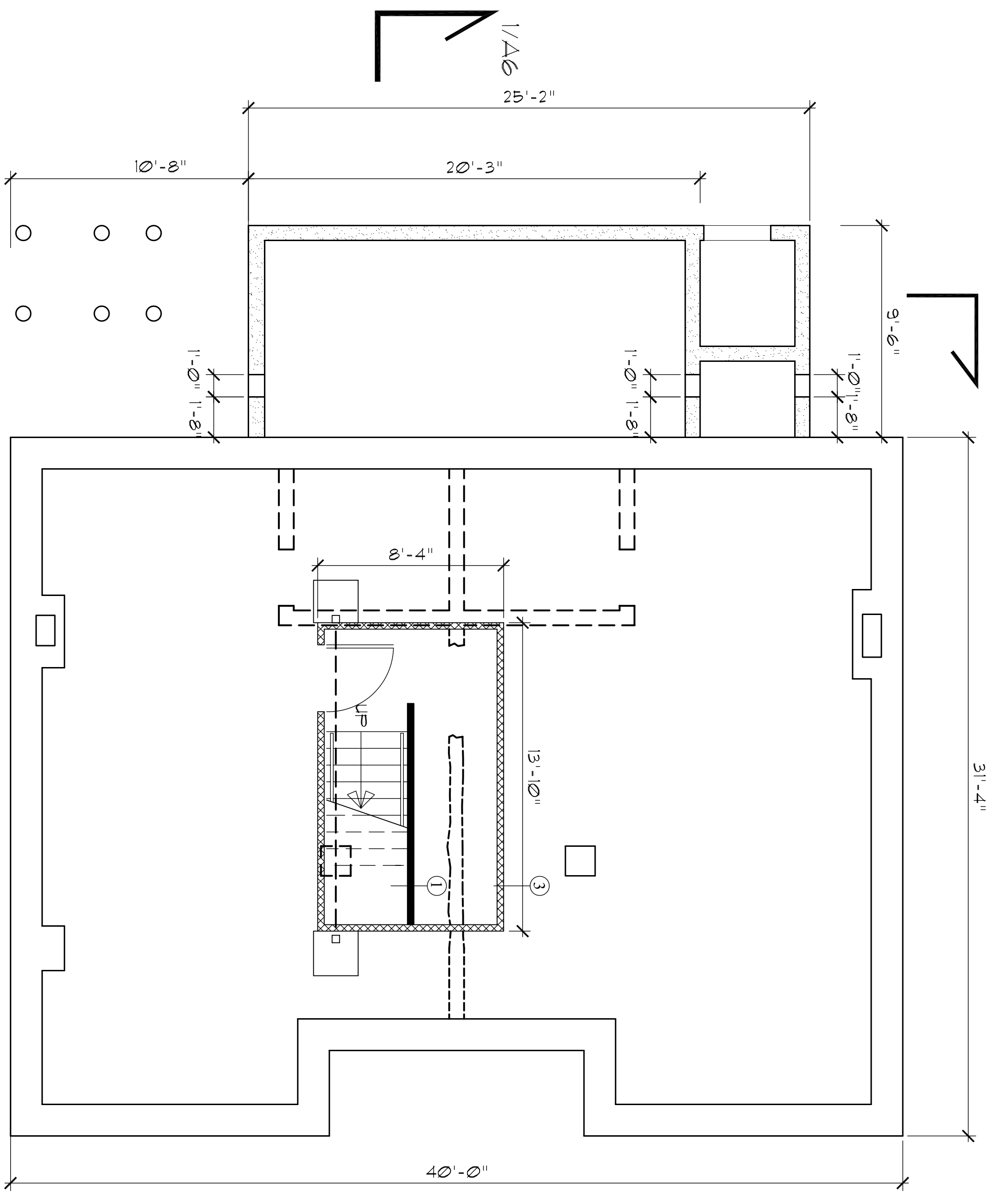
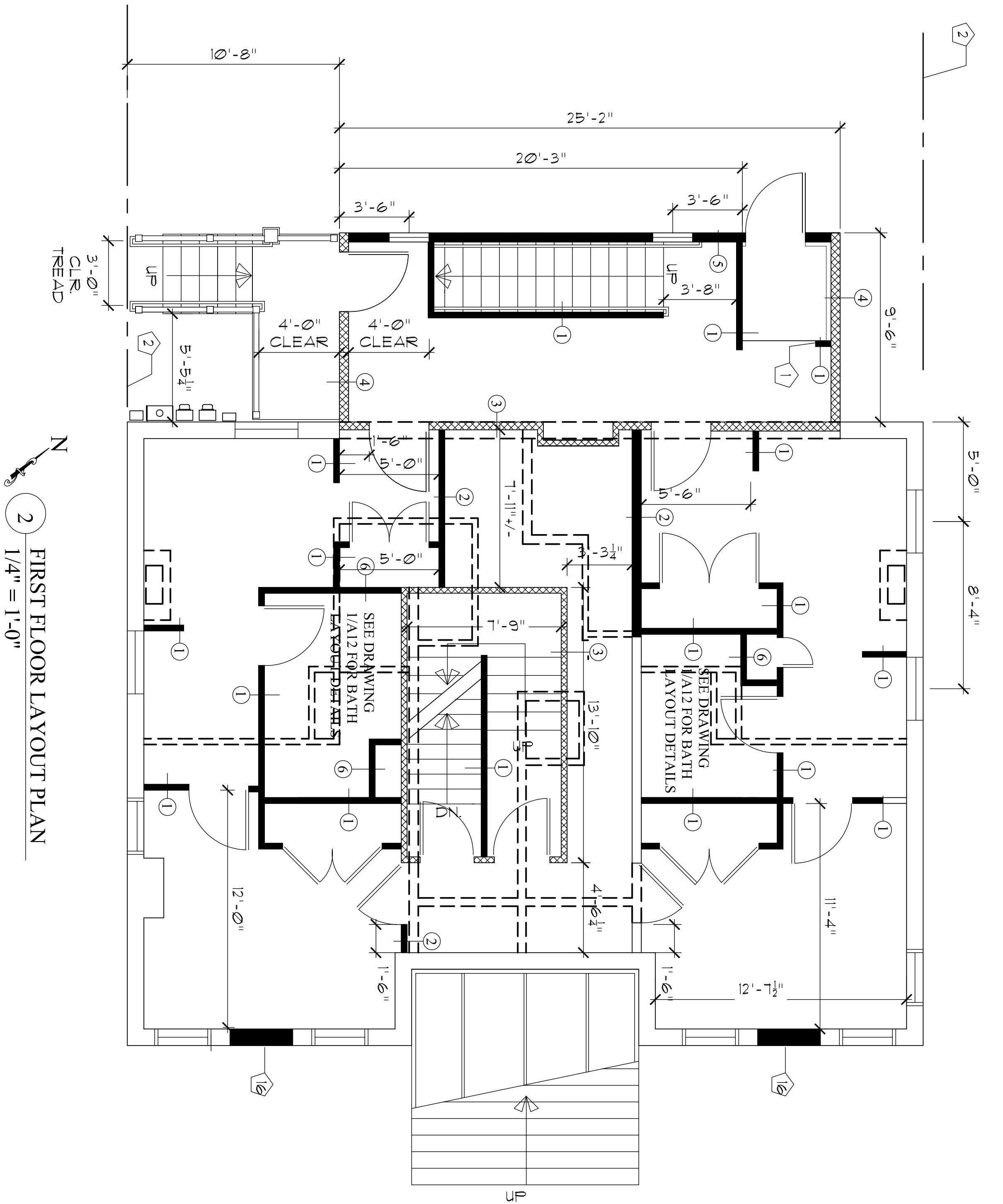


GENERAL NOTE:

SEE DRAWINGS A-3a - A3c FOR WALL TYPES AND LAYOUT DIMENSIONS.

KEYED NOTES

- 1 KNEE WALL AREA - SEE DRAWING A/A-4.
- 2 EXISTING UNIT ELECTRICAL PANEL - RELOCATE AS SHOWN. CONTROL S / SWITCHES ARE NO HIGHER THAN 48 AFF & NO LOWER THAN 15 AFF.
- 3 EXISTING UNIT GAS METER - TO BE REMOVED.
- 4 1'-10" X 3'-0" (1) HR. RATED, INSULATED ATTIC ACCESS HATCH.
- 5 ROOF EDGE (TYP.).
- 6 30" x 48" CLEAR SPACE AT ALL APPLIANCES.



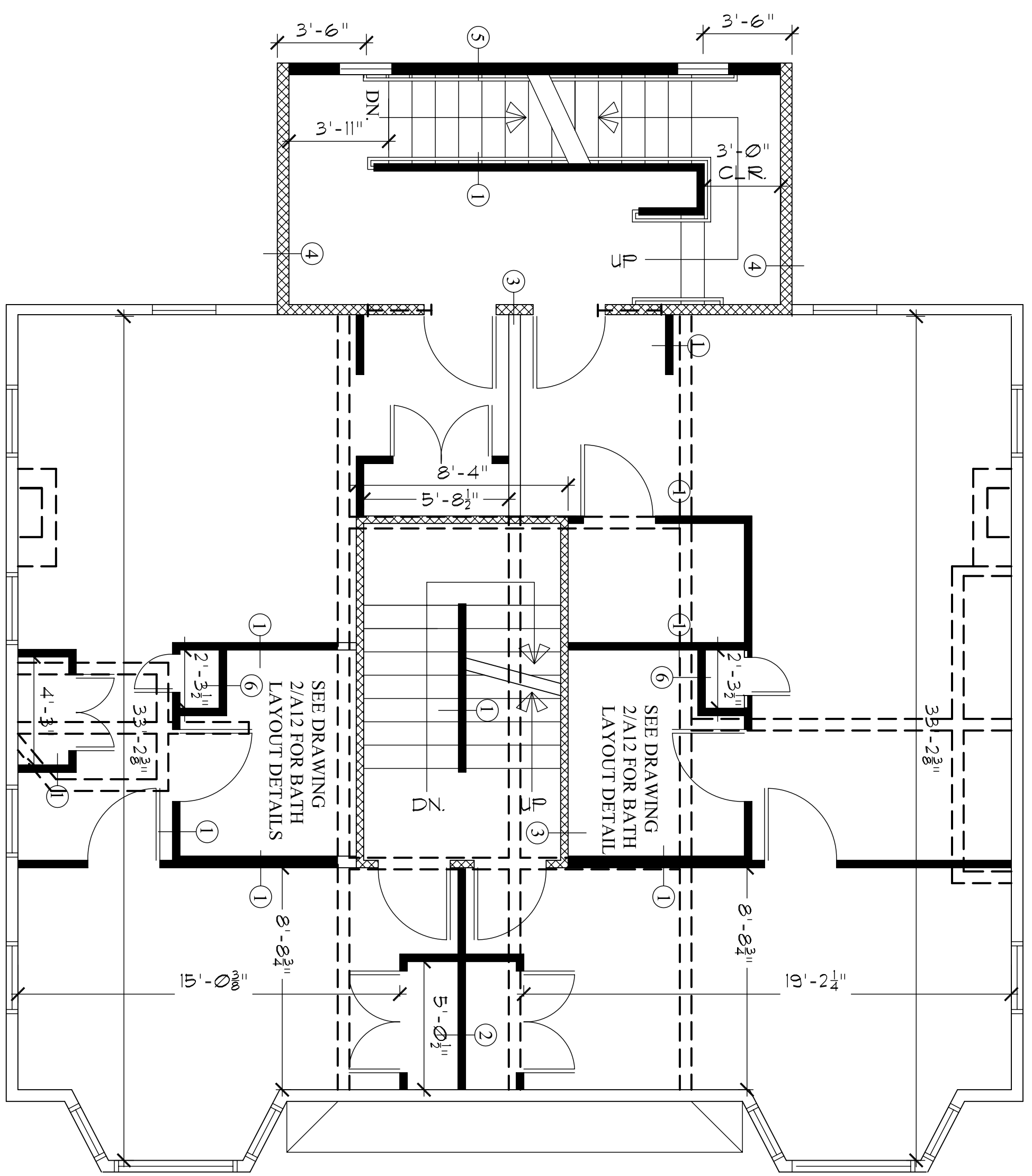
- LEGEND**
- EXISTING WALL
 - WALL / ITEM TO BE REMOVED
 - WALL
 - 2 HOUR WALL
 - 8" CONC. FROST WALL w/1'-0" x 2'-0" FOOTING
 - WALL TYPE - SEE DRAWING A-11

GENERAL NOTES:
 1. TYPE TRG.B. AT WET WALLS IN BATHROOMS, LAUNDRY, JANITORS & CLOSET.
 2. CLOSETS ARE 2'-0" DEEP UNLESS NOTED OTHERWISE.

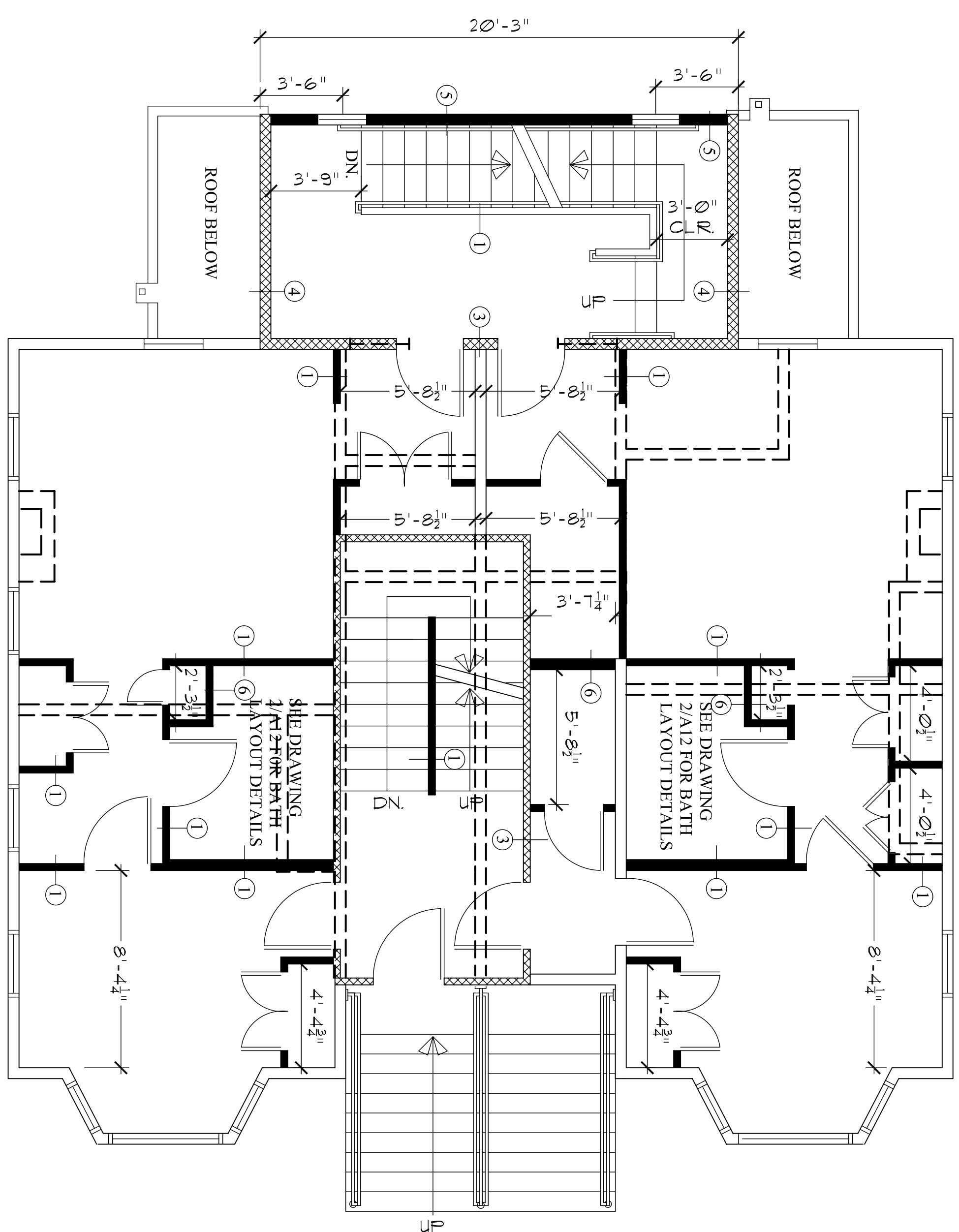
- KEYED NOTE:**
- ① NOT USED.
 - ② PROPERTY LINE - V.I.F.

1
1/4" = 1'-0"
BASEMENT LAYOUT PLAN

2
1/4" = 1'-0"
FIRST FLOOR LAYOUT PLAN



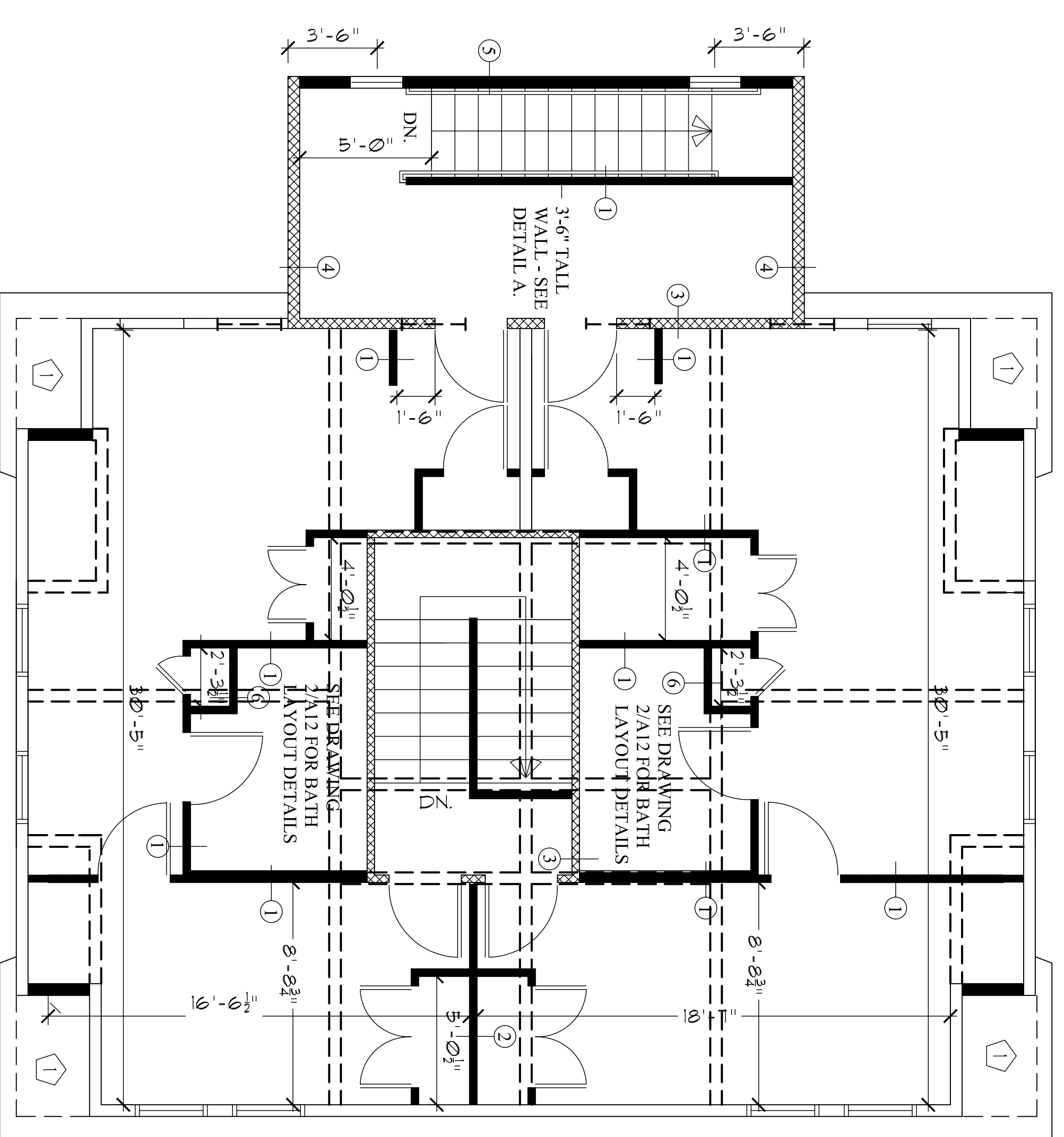
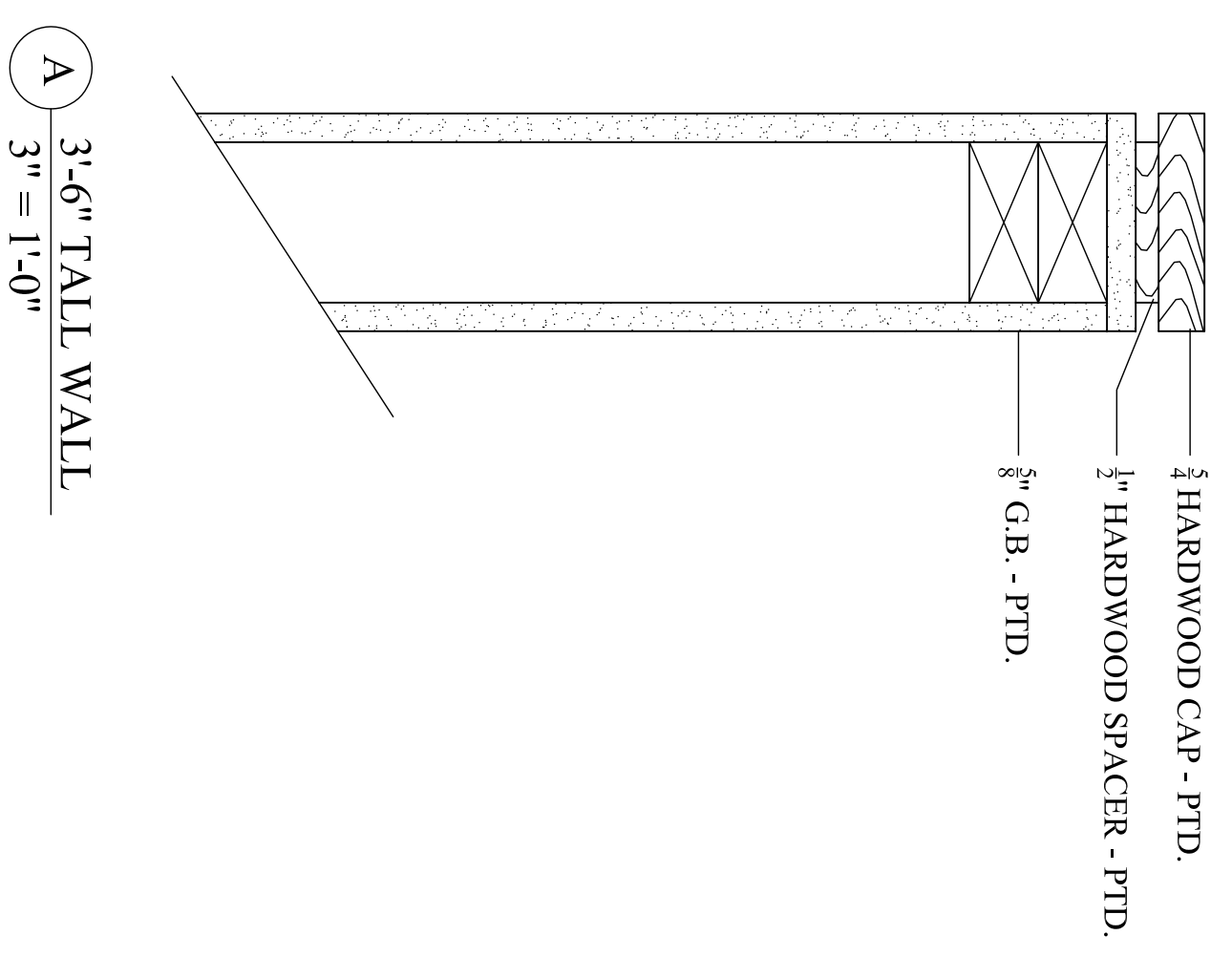
2 THIRD FLOOR LAYOUT PLAN
1/4" = 1'-0"



1 SECOND FLOOR LAYOUT PLAN
1/4" = 1'-0"

- LEGEND**
- EXISTING WALL
 - WALL / ITEM TO BE REMOVED
 - WALL
 - 2 HOUR WALL
 - WALL TYPE - SEE DRAWING A-11
- GENERAL NOTES:**
1. TYPE 'R' G.B. AT WET WALLS IN BATHROOMS, LAUNDRY, JANITORS' CLOSET.
 2. CLOSETS ARE 2'-0" DEEP UNLESS NOTED OTHERWISE.

A-3b	Drawing	Date 11/9/11	Scale 1/4" = 1'-0"	Project:	SHIELDS ARCHITECTURE 216 Range Road, Cumberland, Maine (207) 776-8926
	SECOND & THIRD FLOOR LAYOUT PLANS			ADDITION & RENOVATION 385 CUMBERLAND AVENUE PORTLAND, MAINE	

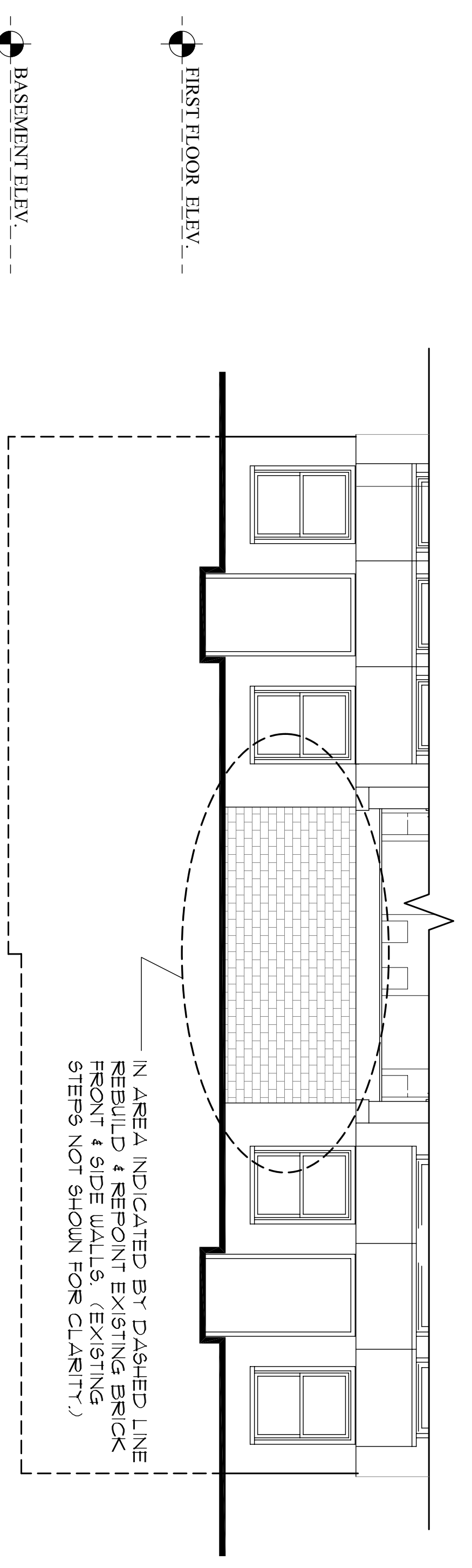


1 FOURTH FLOOR LAYOUT PLAN
1/4" = 1'-0"

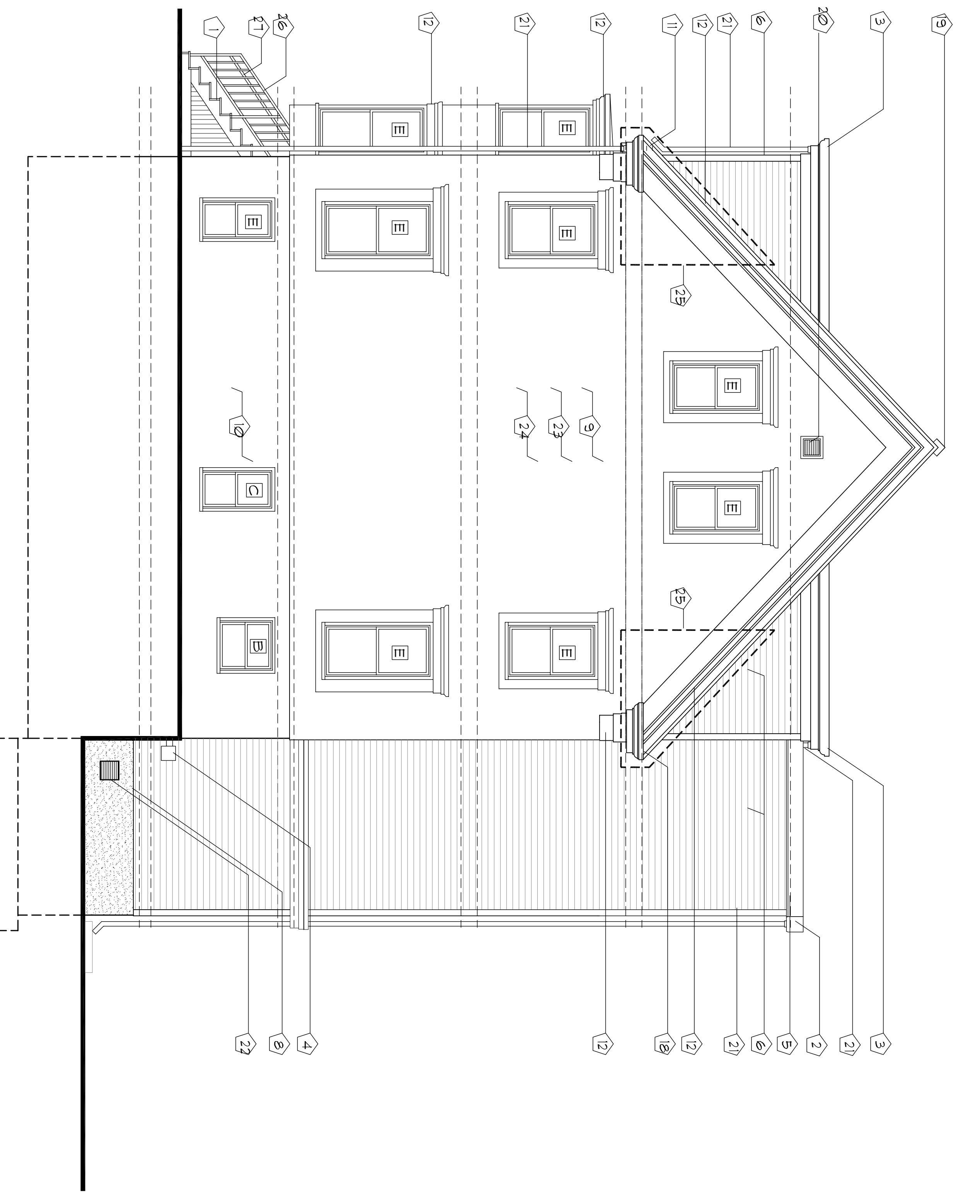
- LEGEND**
- EXISTING WALL
 - WALL / ITEM TO BE REMOVED
 - WALL
 - 2 HOUR WALL
 - WALL TYPE - SEE DRAWING A-11
- GENERAL NOTES:**
1. TYPE MR.G.B. AT WET WALLS IN BATHROOMS, LAUNDRY, JANITORS CLOSET.
 2. CLOSETS ARE 2'-0" DEEP UNLESS NOTED OTHERWISE.
- KEYED NOTE:**
- 1 KNEE WALL SPACE - SEE DETAIL A/A-4.



2 SOUTH ELEVATION
1/4" = 1'-0"

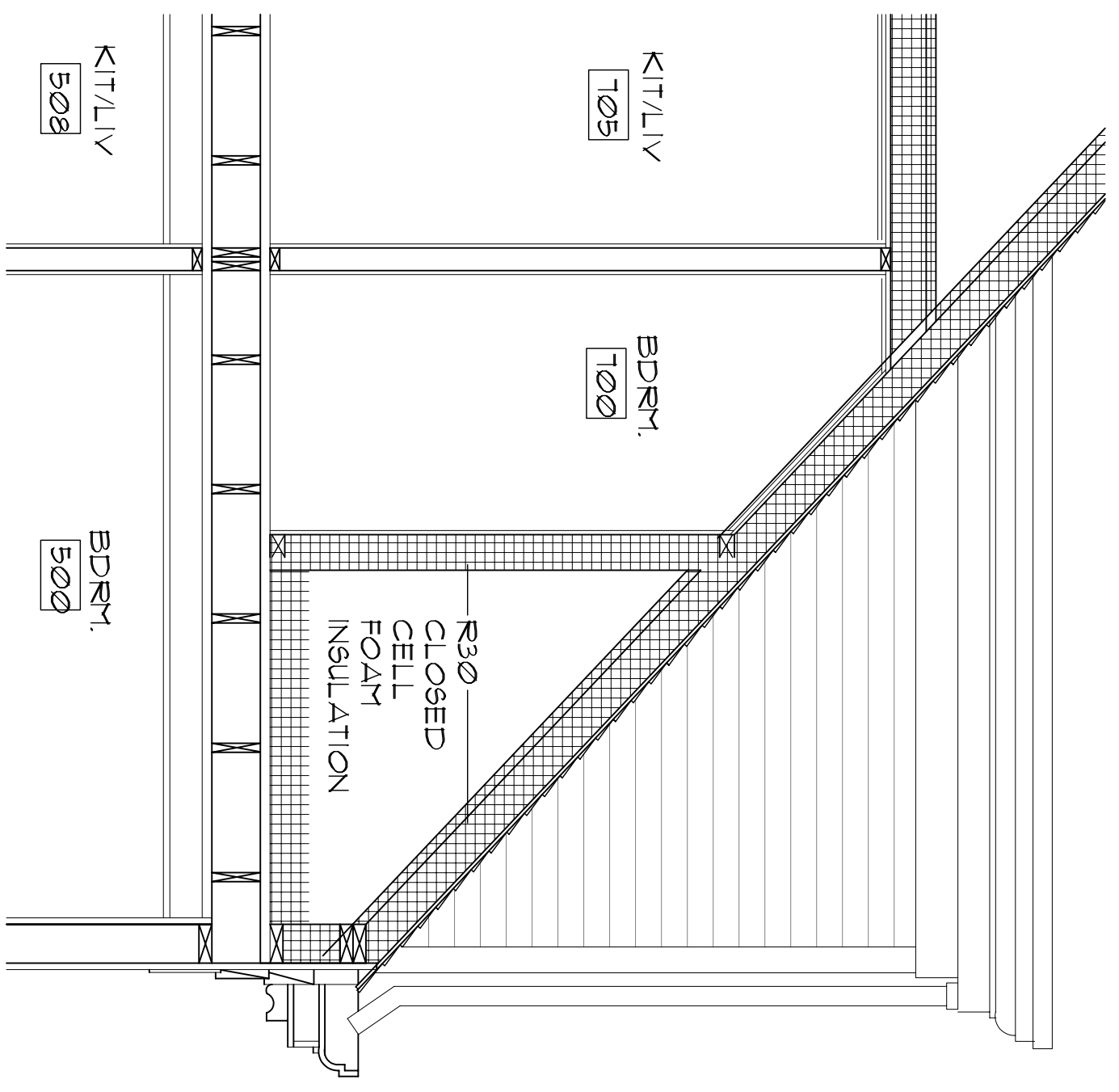


2a EXISTING SOUTH ELEVATION
1/4" = 1'-0"

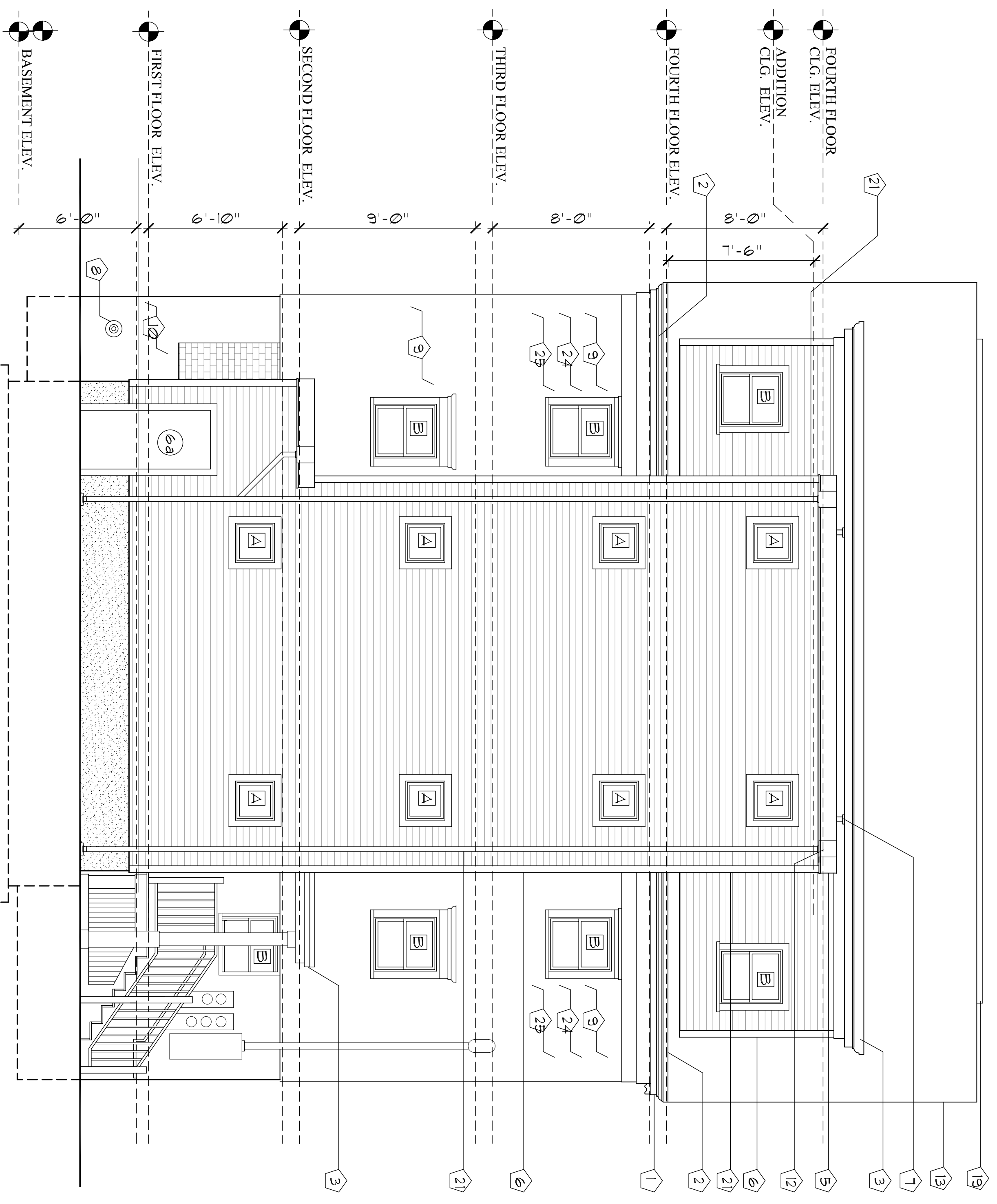


1 EAST ELEVATION
1/4" = 1'-0"

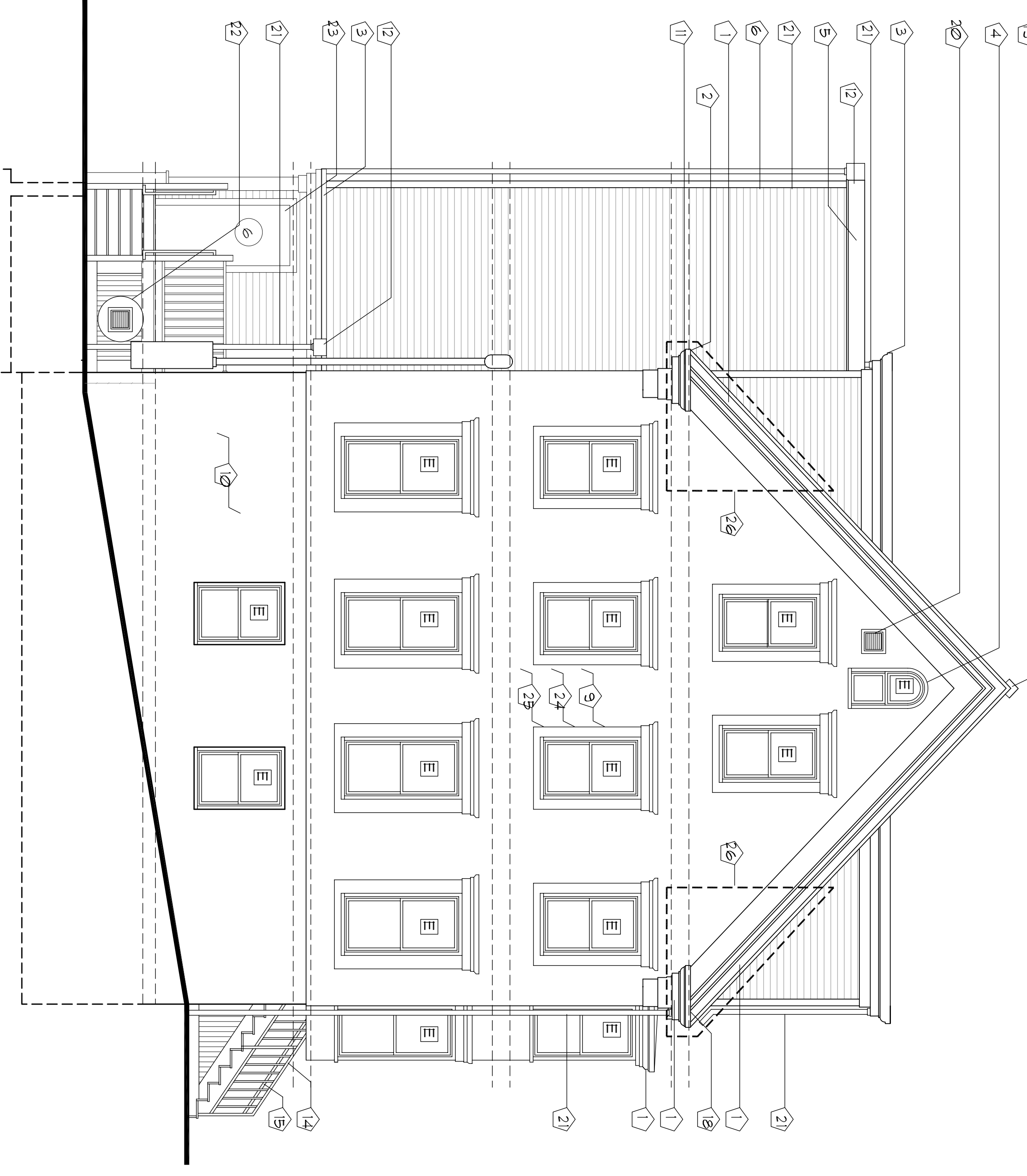
- LEGEND**
- NEW DOOR
 - NEW WINDOW
 - EXISTING WINDOW TO REMAIN
 - KEYED NOTES
 - 1 EXISTING WOOD STEPS - PAINT & SCRABE
 - 2 SCUPPER & LEADER
 - 3 ALUM. UNWRAPPED FAVE TRIM - PTD.
 - 4 DIRECT VENT FROM BOILER
 - 5 METAL EDGE TERMINATION
 - 6 VINYL SIDING
 - 7 NOT USED.
 - 8 CONCRETE FOUNDATION
 - 9 EXISTING ALUMINUM SIDING
 - 10 EXISTING BRICK WALL
 - 11 EXISTING GUTTER
 - 12 EXISTING WOOD TRIM - SCRABE & PAINT (TYP.)
 - 13 ASPHALT SHINGLES
 - 14 BRICK INFILL TO MATCH EXISTING AT EXISTING DOOR OPENING (TYP. OF 2)
 - 15 RAISED WOOD PANEL - PTD.
 - 16 NOT USED.
 - 17 NOT USED.
 - 18 EXISTING GUTTER - CAP OVER WITH COPPER SHEETING.
 - 19 RIDGE VENT.
 - 20 1'-0" SQUARE VENT (TYP. OF 2)
 - 21 LEADER
 - 22 1'-0" SQUARE CRAWL SPACE VENT (TYP. OF 2)
 - 23 SEE ADD ALTERNATE NO. 1 - REMOVE EXISTING ALUM. SIDING, INSTALL VINYL SIDING.
 - 24 SEE ADD ALTERNATE NO. 2 - INSTALL BLOW-IN CELLULOSE INSULATION IN EXTERIOR WALL.
 - 25 SEE DETAIL A/A-5 FOR INSULATION AT KNEE WALL SPACES - (TYP. OF 4)
 - 26 3'-6" METAL GUARD RAIL (TYP.)
 - 27 2'-10" METAL HAND RAIL (TYP.)



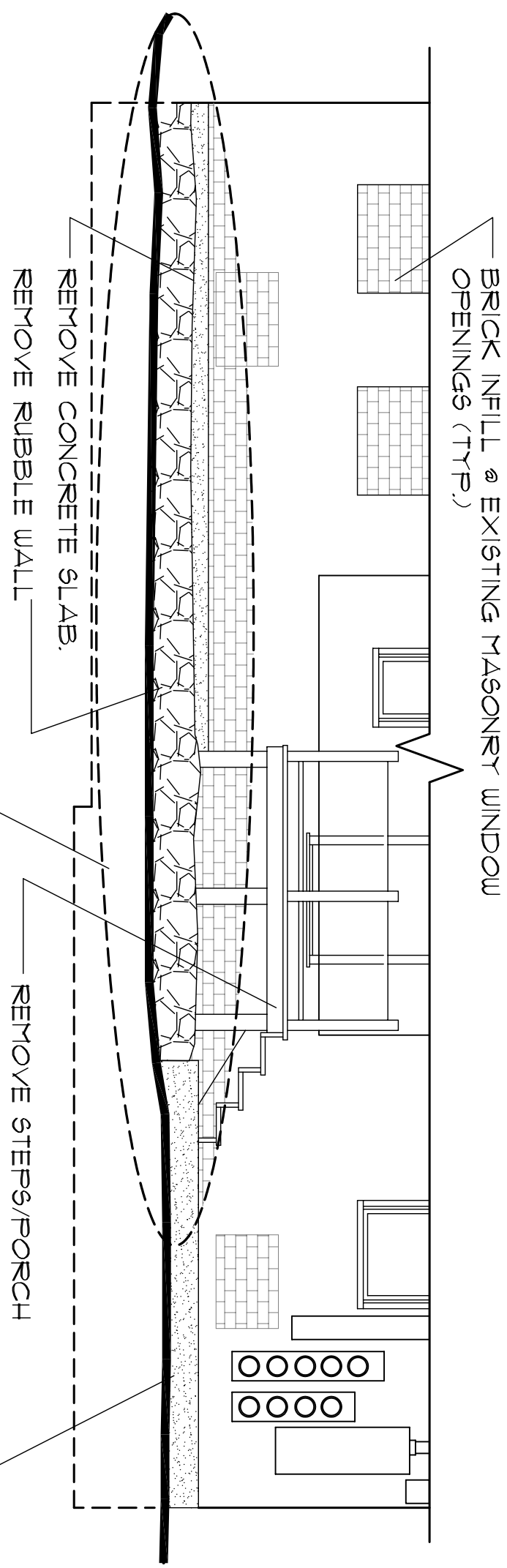
A INSULATION DETAIL AT KNEE WALL
1/2" = 1'-0"



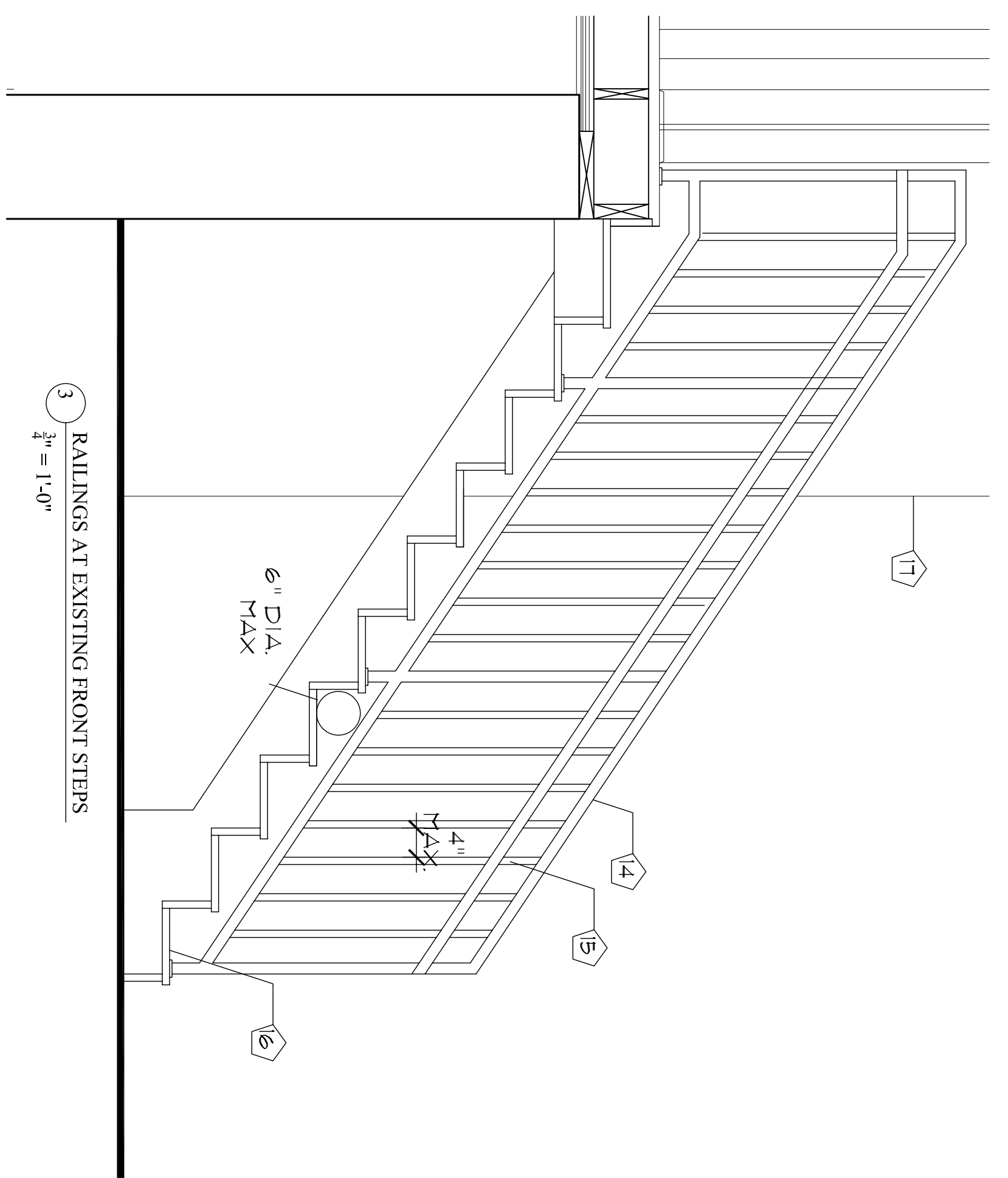
2 NORTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



2a EXISTING NORTH ELEVATION
1/4" = 1'-0"



3 RAILINGS AT EXISTING FRONT STEPS
3/8" = 1'-0"

- LEGEND**
- 1 NEW DOOR
 - 2 NEW WINDOW
 - 3 EXISTING WINDOW TO REMAIN
 - 4 KEYED NOTES
 - 5 EXISTING WOOD TRIM - SCRAPE & PAINT (TYP.)
 - 6 EXISTING GUTTER - COVER WITH COPPER SHEETING
 - 7 ALUM. WRAPPED EAVE TRIM - PTD.
 - 8 EXISTING WINDOW - SEAL JOINTS, INSTALL EXTERIOR STORY WINDOW.
 - 9 METAL EDGE TERMINATION.
 - 10 VINYL SIDING.
 - 11 DOWNSPOUT - SEE DETAIL B.4.3. (TYP. OF 2 PLACES)
 - 12 DIRECT VENT.
 - 13 EXISTING ALUMINUM SIDING.
 - 14 EXISTING BRICK WALL.
 - 15 EXISTING WOOD TRIM - SCRAPE & PAINT (TYP.)
 - 16 SCUPPER (TYP.)
 - 17 ASPHALT SHINGLES.
 - 18 42" HIGH METAL GUARDSAIL - PTD. (TYP. OF 3)
 - 19 34" HIGH METAL HANDRAIL - PTD. (RETURN ALL ENDS.) (TYP. OF 4)
 - 20 EXISTING STEPS
 - 21 FACE OF BUILDING.
 - 22 EXISTING GUTTER
 - 23 RIDGE VENT.
 - 24 1'-0" SQUARE VENT (TYP. OF 2).
 - 25 LEADER (TYP.)
 - 26 1'-0" SQUARE CRAWLSPACE VENT
 - 27 WOOD PORCH - PTD.
 - 28 SEE ADD. ALTERNATE NO. 1 - REMOVE EXISTING ALUM. SIDING, INSTALL VINYL SIDING.
 - 29 SEE ADD. ALTERNATE NO. 2 - INSTALL BLOW-IN CELLULOSE INSULATION IN EXTERIOR WALL.

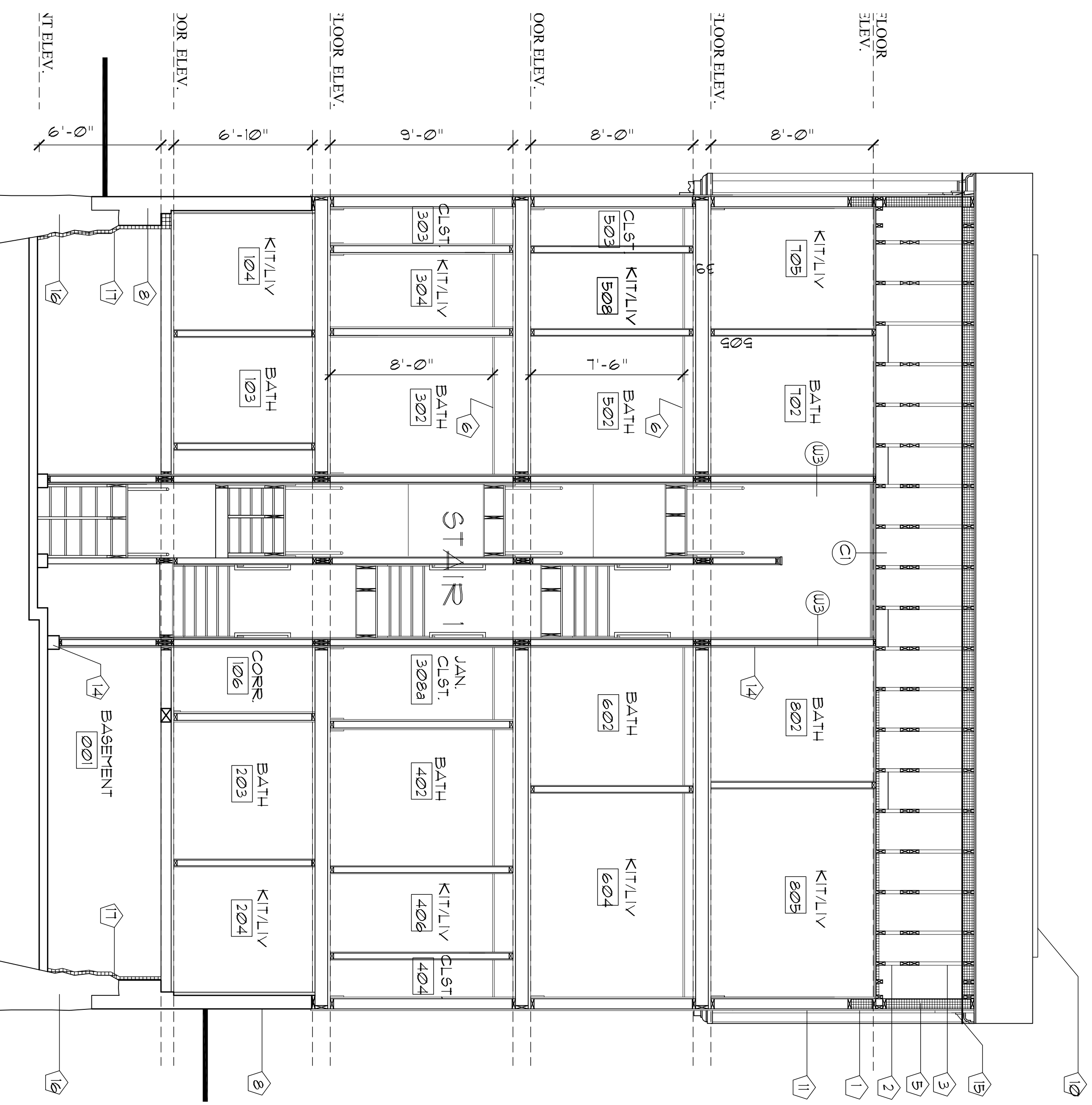
Drawing
NORTH & WEST EXTERIOR ELEVATIONS

Date
12/15/11

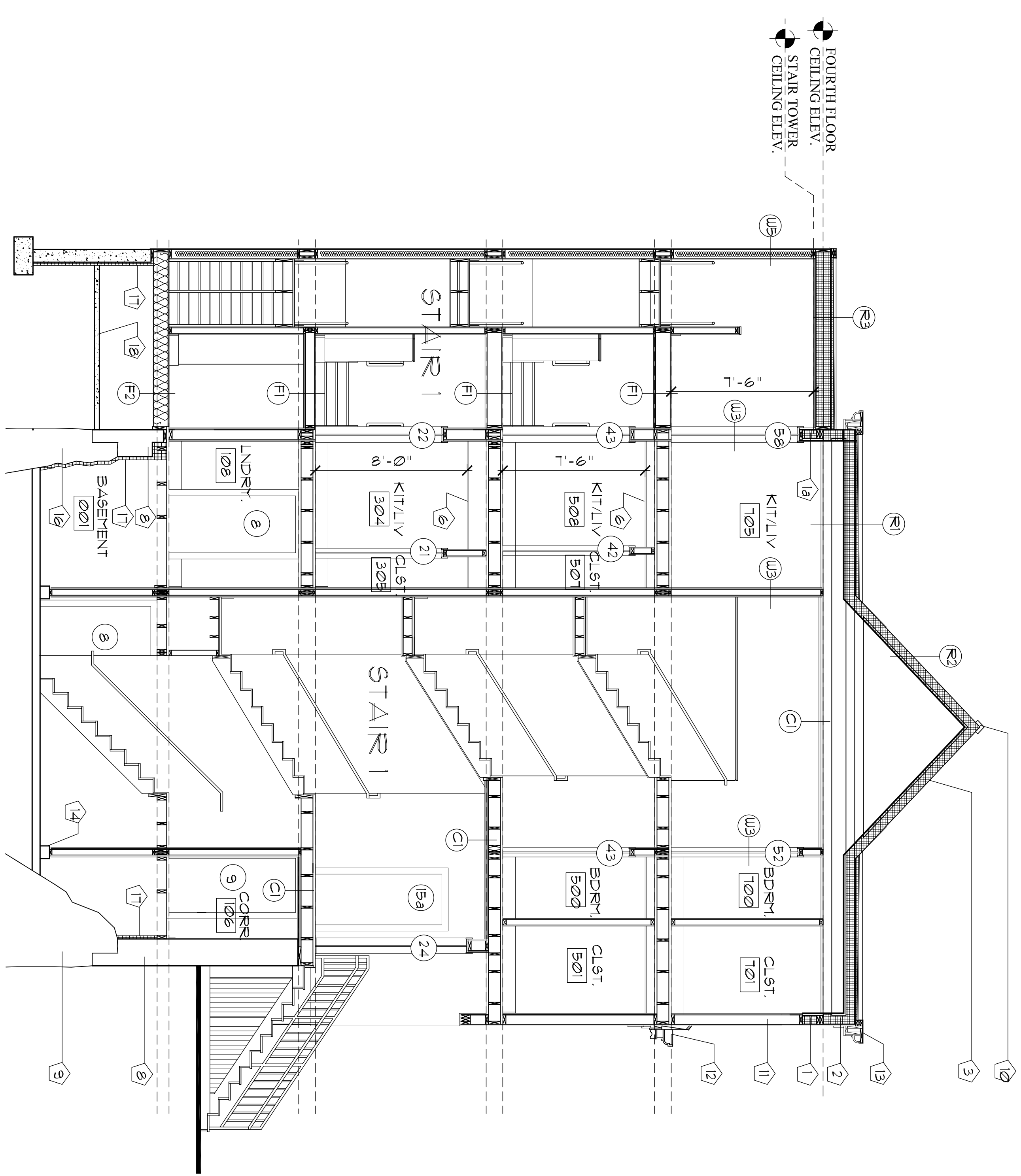
Scale
As Noted

Project:
ADDITION & RENOVATION
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PORTLAND, MAINE

SHIELDS ARCHITECTURE
216 Range Road, Cumberland, Maine
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2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

LEGEND

NEW DOOR

KEYED NOTES

- ① EXTENSION OF EXISTING EXTERIOR WALL - INSULATE PER WALL TYPE U5.
- ② EXTENSION OF EXISTING EXTERIOR WALL - INSULATE PER WALL TYPE U4.
- ③ SUSPENDED ACOUSTIC CEILING.
- ④ NOT USED.
- ⑤ EXISTING BRICK WALL - 2 W/THES THICK WOOD STRAPPING # 1 LATH PLASTER 10" OVERALL THICKNESS.
- ⑥ EXISTING WOOD EXTERIOR EAVE - PTD.
- ⑦ RIB CLOSED CELL FOAM INSULATION.
- ⑧ FLAT TRUSSES.
- ⑨ EXISTING LEDGE.
- ⑩ RIDGE VENT.
- ⑪ EXISTING WOOD EXTERIOR WALL.
- ⑫ EXISTING WOOD EXTERIOR EAVE - PTD.
- ⑬ ALUM. WRAPPED EAVE TRIM - PTD.
- ⑭ CONCRETE CURB (TYP.).
- ⑮ EXISTING WOOD RAKE TRIM - PTD.
- ⑯ EXISTING RUBBLE FOUNDATION.
- ⑰ 3" MIN. RODENT SLAB OVER POLY VAPOR BARRIER.

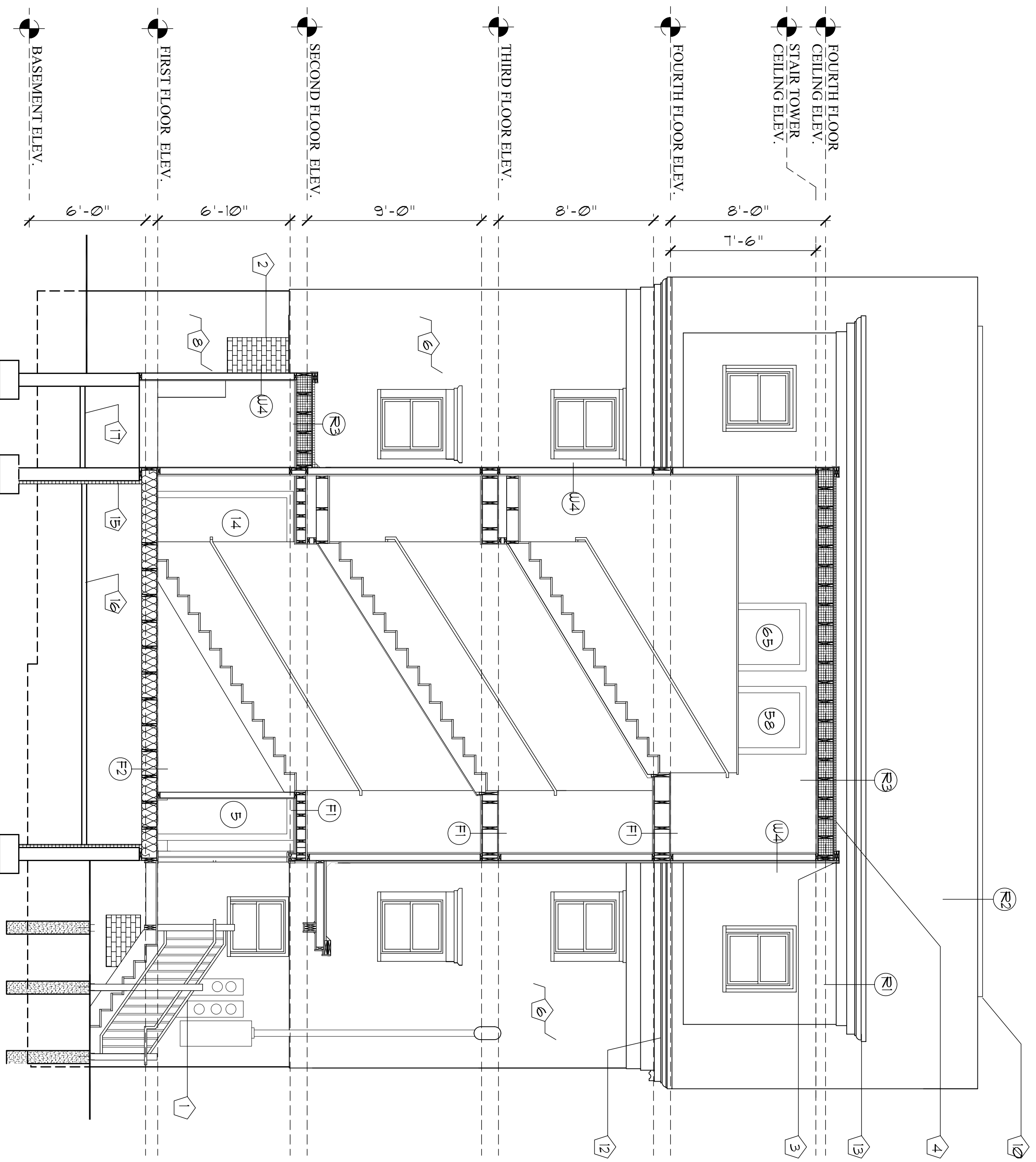
Drawing
BUILDING SECTIONS

Date
11/9/11

Scale
1/4" = 1'-0"

Project:
ADDITION & RENOVATION
385 CUMBERLAND AVENUE
PORTLAND, MAINE

SHIELDS ARCHITECTURE
216 Range Road, Cumberland, Maine
(207) 776-8926



1 BUILDING SECTION
1/4" = 1'-0"

LEGEND

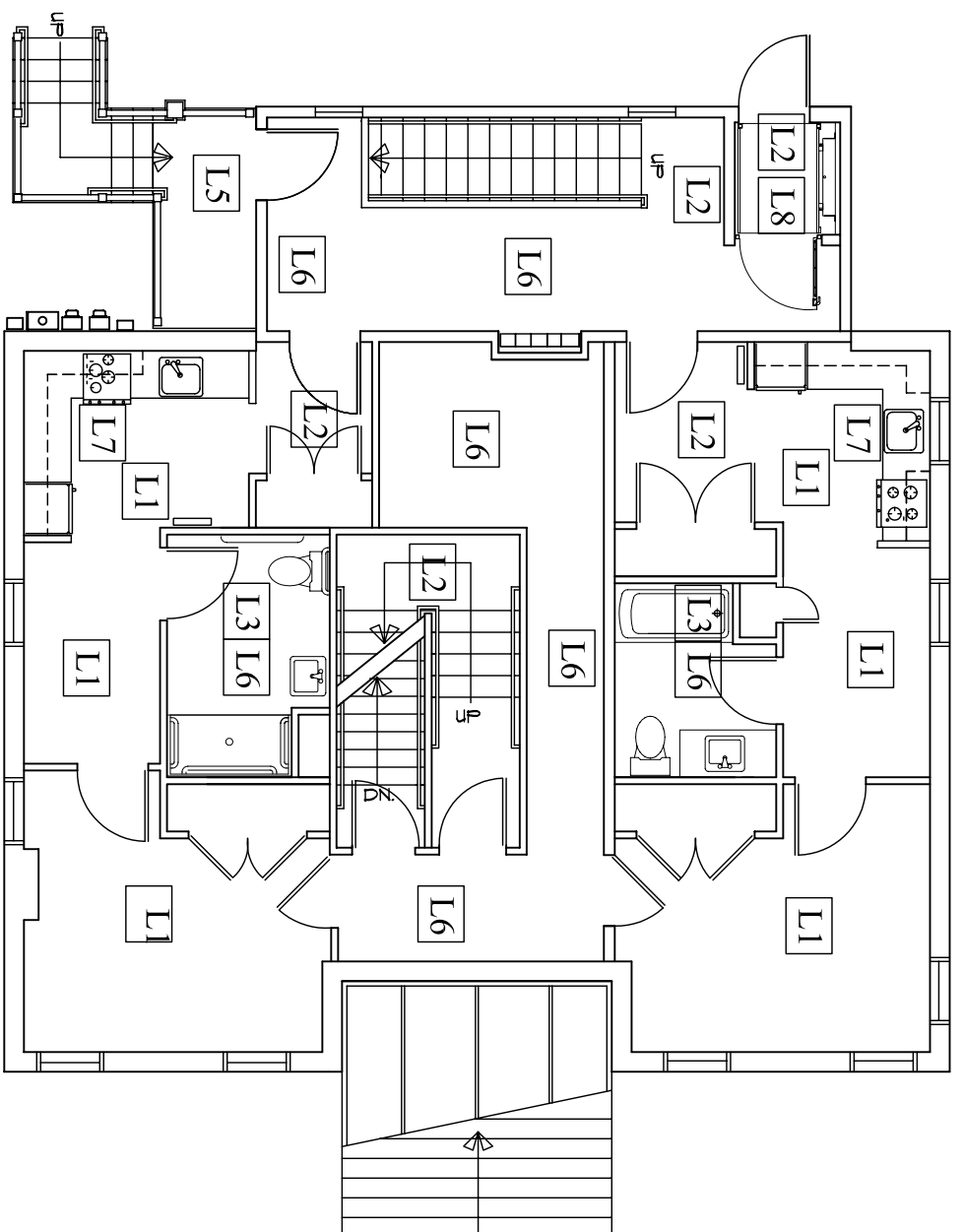
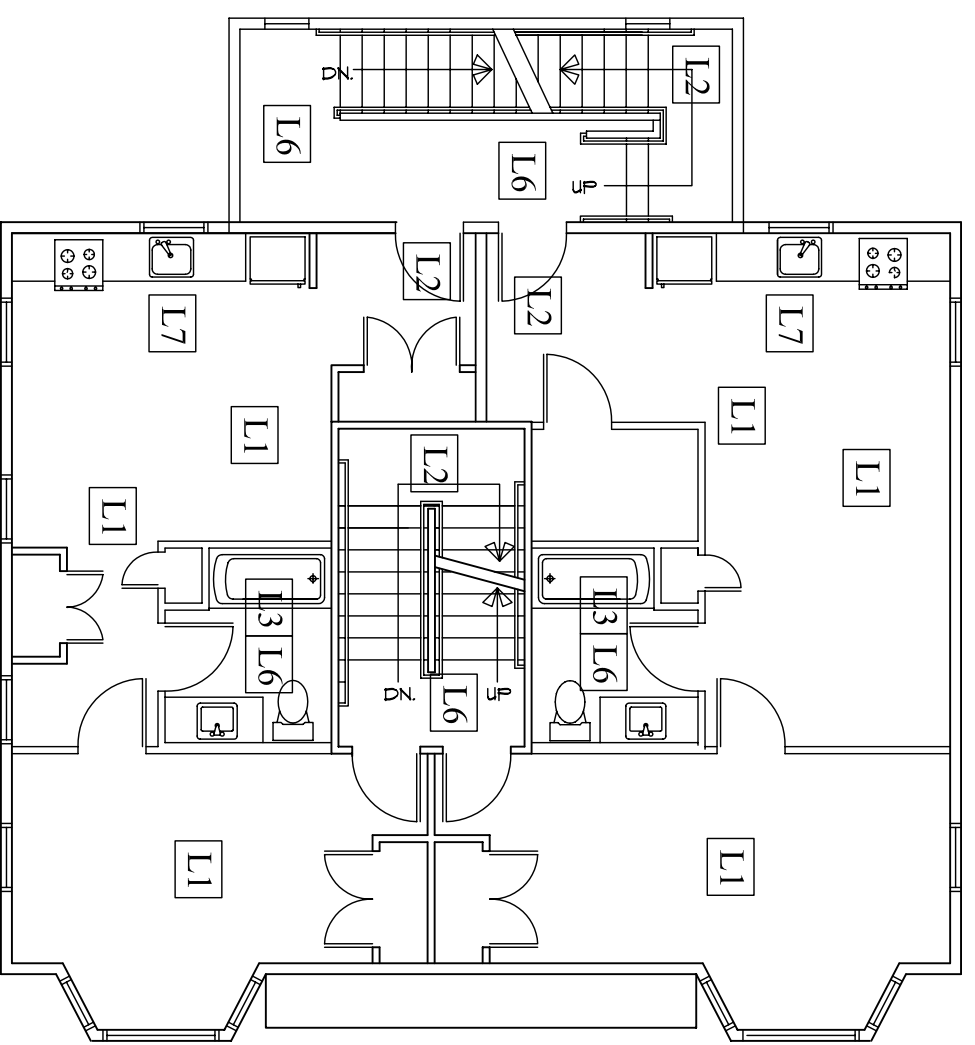
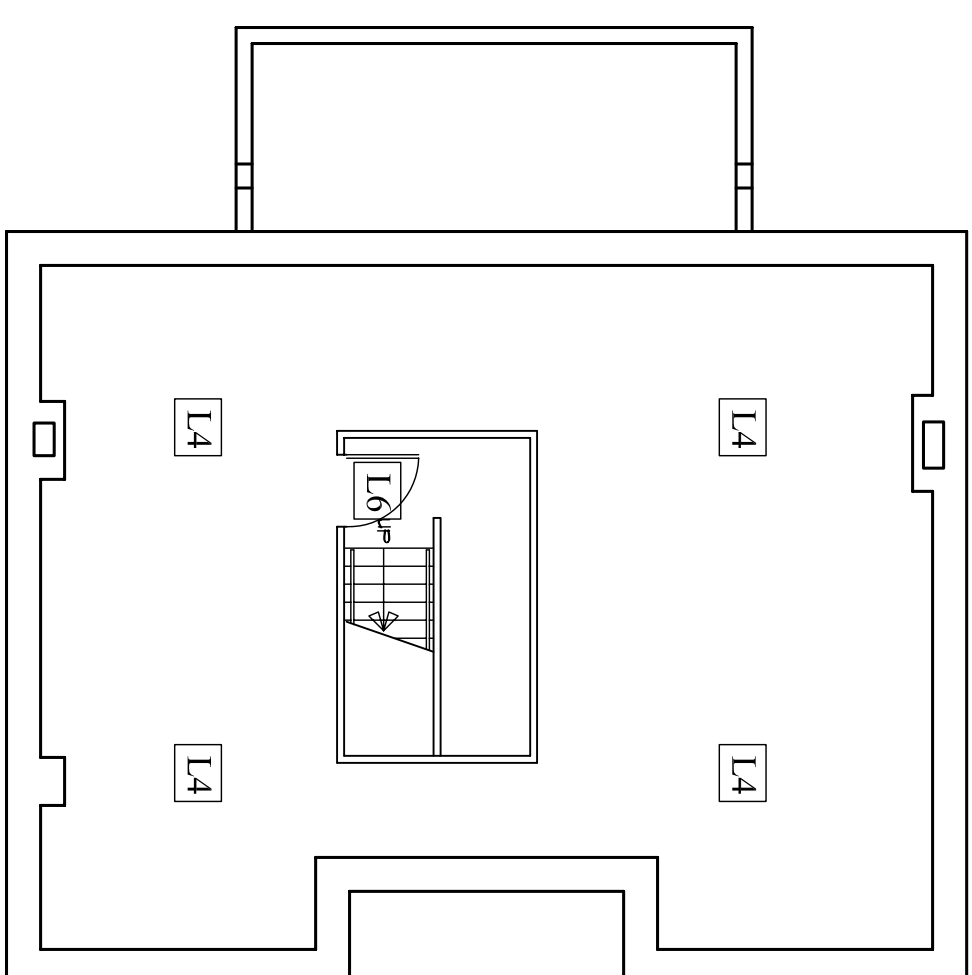
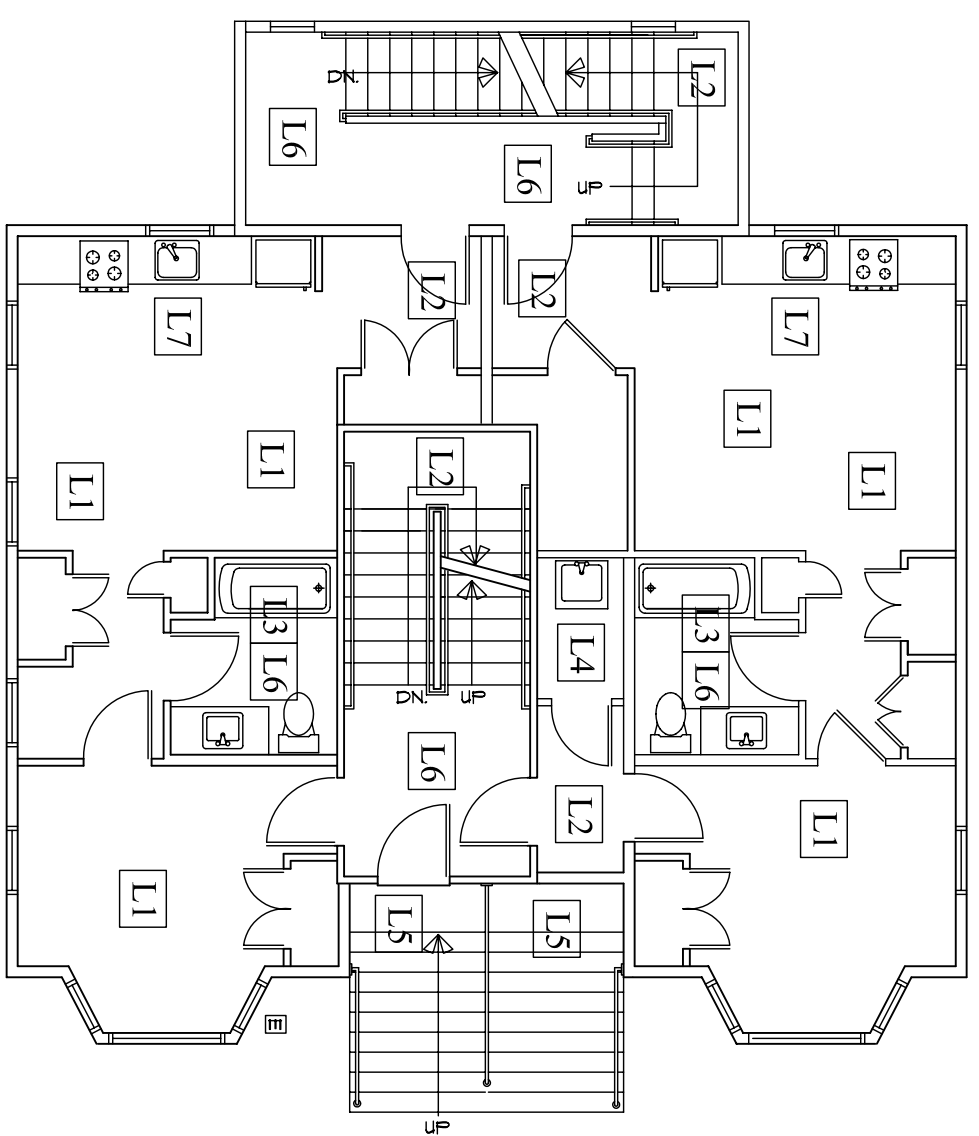
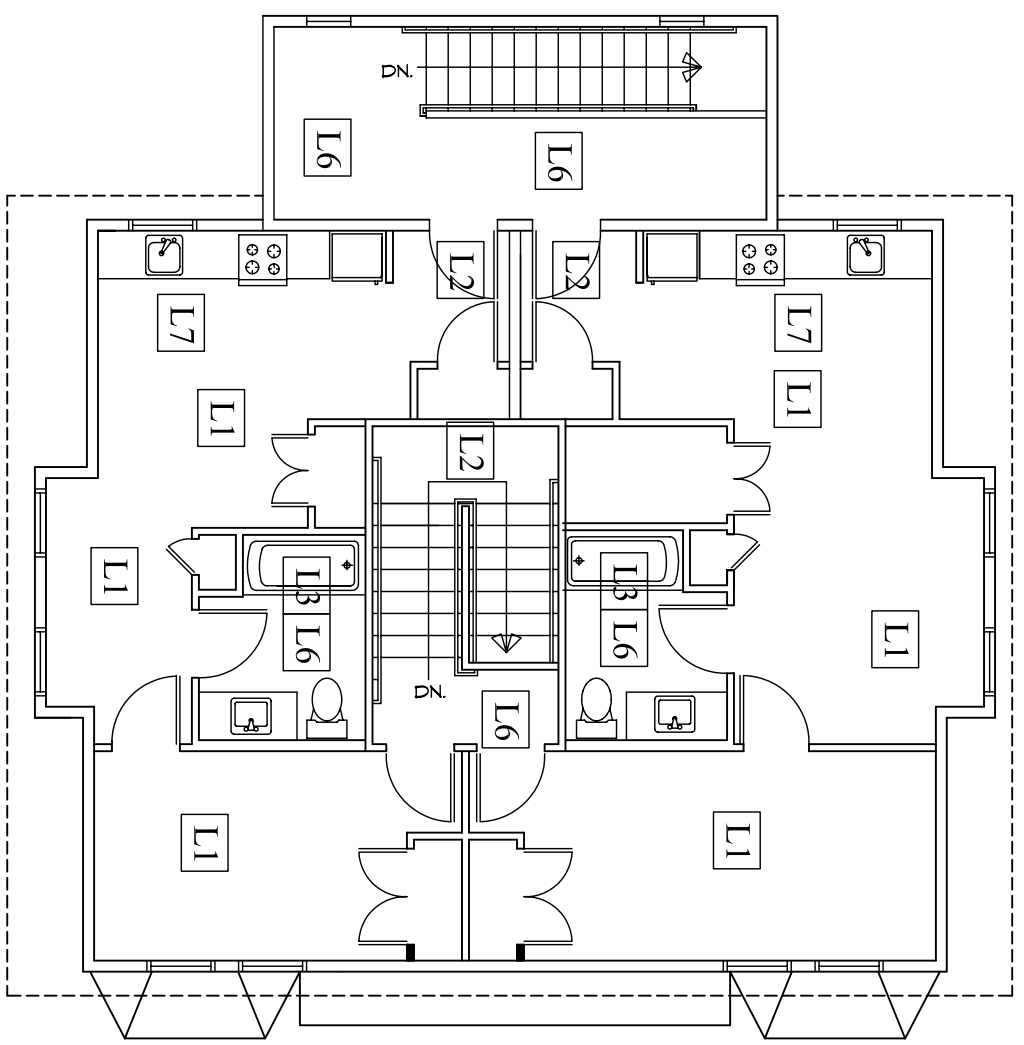
NEW DOOR

①

KEYED NOTES

- ① WOOD PORCH - PTD.
- ② BRICK INFILL - CMU BACKUP IN BASEMENT, STUD BACKUP AT FIRST FLOOR (TYP. OF 4)
- ③ METAL ROOFING TERMINATION.
- ④ NOT USED.
- ⑤ NOT USED.
- ⑥ EXISTING ALUMINUM SIDING.
- ⑦ NOT USED.
- ⑧ EXISTING BRICK EXTERIOR WALL.
- ⑨ NOT USED.
- ⑩ RIDGE VENT.
- ⑪ NOT USED.
- ⑫ NOT USED.
- ⑬ ALUM. WRAPPED EAVE TRIM - PTD.
- ⑭ NOT USED.
- ⑮ R15 CLOSED CELL FOAM INSULATION.
- ⑯ 3" MIN. RODENT SLAB OVER POLY VAPOR BARRIER.
- ⑰ 3" CONCRETE SLAB - DEPOSED BELOW GRADE PER WHEELCHAIR LIFT MANUFACTURER'S WRITTEN INSTRUCTIONS.

A-7	Drawing	Date 12/15/11	Scale 1/4" = 1'-0"	Project:	SHIELDS ARCHITECTURE
	BUILDING SECTION			ADDITION & RENOVATION 385 CUMBERLAND AVENUE PORTLAND, MAINE	216 Range Road, Cumberland, Maine (207) 776-8926



LIGHTING FIXTURE SCHEDULE - BASED ON COOPER LIGHTING

TYPE	DESCRIPTION	MOUNTING & INSTRUCTIONS
L1	COOPER LIGHTING - METALUX DECORATIVE SOFT SIDE ACRYLIC CLOUD FLUORESCENT CEILING FIXTURE - 20632R, 2'x2'.	CEILING MOUNTED.
L2	COOPER LIGHTING - METALUX CIRCLINE DECORATIVE SERIES FLUORESCENT ACRYLIC SAUCER CEILING FIXTURE - #1413, 11" DIAMETER.	CEILING MOUNTED, SEE LIGHTING NOTE 1.
L3	COOPER LIGHTING - METALUX RESIDENTIAL WALL BRACKET SERIES FLUORESCENT WALL MOUNTED WALL CLOUD FIXTURE - #2332, 24".	WALL MOUNTED ABOVE BATHROOM MIRROR.
L4	COOPER LIGHTING - METALUX INDUSTRIAL WORKLIGHT FLUORESCENT FIXTURE, #C9322, 4'x1'.	CEILING MOUNTED.
L5	VANTAGE LUMINAIRE9 RECESSED FLUORESCENT EXTERIOR FIXTURE - #45THP2.	RECESSED IN PORCH CEILING
L6	COOPER LIGHTING - METALUX CIRCLINE DECORATIVE SERIES FLUORESCENT ACRYLIC SAUCER CEILING FIXTURE - #1413, 14" DIAMETER.	CEILING MOUNTED.
L7	COOPER LIGHTING - METALUX ELECTRONIC UNDERCABINET SERIES - #50316EB, 24".	SURFACE UNDER CABINET
L8	EMERGENCY LIGHT FIXTURE.	SEE LIGHTING NOTE 1.

LIGHTING NOTE:
 1. AT WHEELCHAIR LIFT ENCLOSURE, LIGHTING FIXTURE TYPE L2 SHALL BE ILLUMINATED 24 HOURS PER DAY, 7 DAYS PER WEEK. EMERGENCY LIGHT SHALL BE ON SAME CIRCUIT AS FIXTURE L2.

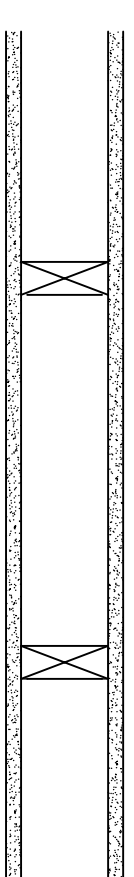
FINISH SCHEDULE

ROOM	WALL	FLOOR	CEILING	BASE	NOTE	ROOM	WALL	FLOOR	CEILING	BASE	NOTE
STAIR 1	W1	F3 / F4	C1	B1		BEDROOM 500	W3	F5	C3	B1	
STAIR 2	W1	F3	C1	B1		CLOSET 501	W1	F5	C3	B1	
BASEMENT 001	N/A	F2	N/A	N/A	G.B. WALLS OF STAIR 1 - PTD.	BATH 502	W1	F1	C3	B1	
BEDROOM 100	W2	F5	C1	B1		CLOSET 503	W1	F5	C3	B1	
CLOSET 101	W1	F5	C1	B1		504					NOT USED
CLOSET 102	W1	F1	C1	B1		CLOSET 505	N/A	F5	C3	N/A	
BATH 103	W1	F1	C1	B1		506					NOT USED
KIT/LIV 104	W2	F1	C1	B1		CLOSET 507	W1	F1	C3	B1	
105					NOT USED	KIT/LIV 508	W3	F1	C3	B1	
CORR 106	W1	F3	C1	B1		CORR 509	W1	F3	C1	B1	
CORR 107	W1	F3 / F4	C1	B1		BEDROOM 600	W2	F3	C3	B1	
LAUNDRY 108	W1	F1	C1	B1		CLOSET 601	W1	F3	C3	B1	
BEDROOM 200	W2	F5	C1	B1		BATH 602	W1	F3	C3	B1	
CLOSET 201	W1	F5	C1	B1		CLOSET 603	W1	F1	C3	B1	
CLOSET 202	W1	F1	C1	B1		KIT/LIV 604	W2	F1	C3	B1	
BATH 203	W1	F1	C1	B1		CLOSET 605	W1	F1	C3	B1	
KIT/LIV 204	W2	F1	C1	B1		606					NOT USED
BEDROOM 300	W3	F5	C3	B1		BEDROOM 100	W3	F5	C1	B1	
CLOSET 301	W1	F5	C3	B1		CLOSET 101	W1	F5	C1	B1	
BATH 302	W1	F1	C3	B1		BATH 102	W1	F1	C1	B1	
CLOSET 303	W1	F5	C3	B1		CLOSET 103	W1	F1	C1	B1	
CLOSET 303a	W1	F5	C3	B1		CLOSET 104	W1	F1	C1	B1	
KIT/LIV 304	W3	F1	C3	N/A		CLOSET 104a	W1	F1	C1	B1	
CLOSET 305	W1	F1	C3	B1		KIT/LIV 105	W3	F1	C1	B1	
306					NOT USED	CORR 106	W1	F3	C1	B1	
307					NOT USED	BEDROOM 800	W3	F5	C1	B1	
CORR 308	W1	F3	C1	B1		CLOSET 801	W1	F1	C1	B1	
JAN CLST 308a	W1	F1	C3	B1		BATH 802	W1	F1	C1	B1	
CORR 309	W3	F5	C3			CLOSET 803	W1	F1	C1	B1	
BEDROOM 400	W3	F5	C3	B1		CLOSET 804	W1	F1	C1	B1	
CLOSET 401	W1	F5	C3	B1		KIT/LIV 805	W3	F1	C1	B1	
BATH 402	W1	F1	C3	B1		CLOSET 806	W1	F1	C1	B1	
CLOSET 403	W1	F5	C3	B1							
CLOSET 404	W1	F5	C3	B1							
CLOSET 405	W1	F5	C3	B1							
KIT/LIV 406	W3	F1	C3	B1							
407					NOT USED						
CLOSET 408	W1	F1	C3	B1							

FINISH SCHEDULE KEY

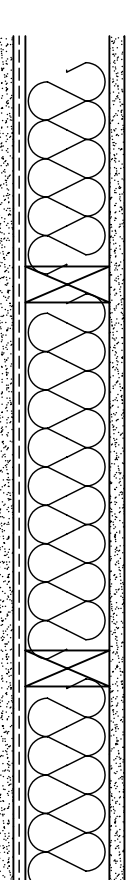
KEY	FLOORING	KEY	WALL	BASE	CEILING
F1	SHEET VINYL	W1	5/8" GYP BD - PTD.	WOOD BASE - PTD.	5/8" GYP BD - PTD.
F2	CONCRETE	W2	3/8" GYP BD INTALLED OVER		BEADBOARD - PTD.
F3	CARPET	W3	EXISTING WALL PANELS - PTD.		2' X 2' ACOUSTIC TILE
F4	WALK-OFF MAT		EXISTING - PTD.		
F5	EXISTING WOOD - TO BE REFINISHED				EXISTING - PTD.

PAINTING NOTES:
 1. INTERIOR WALLS, CEILING & TRIM TO RECEIVE (1) COAT PRIMER, (2) COATS FINISH.
 2. EXTERIOR FRONT PORCH, EXTERIOR DOORS AND OTHER EXTERIOR WOOD AND METAL ITEMS TO BE PAINTED ARE TO RECEIVE (1) COAT PRIMER, (2) COATS FINISH.
 FINISH NOTE:
 A. WALK-OFF MAT: SEE DRAWING 2/A-1, KEYED NOTE 29 AND DRAWING 1/A-2, KEYED NOTE 3 FOR WALK OFF MAT LOCATIONS.



W1 UNRATED NON-BEARING INTERIOR PARTITION WALL

- W1** UNRATED BEARING INTERIOR PARTITION WALL
1. One layer 5/8" Gypsum applied with 1" Type S drywall screws 12" o.c., ea. side.
 2. 2x4 wood stud @ 16" o.c.
- (MR Gypbd where used in bathroom, janitor's closet, laundry.)



W2 1HR BEARING WALL ASSEMBLY

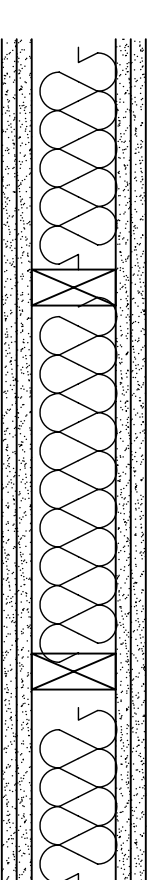
W2 1 HR BEARING WALL ASSEMBLY
UL U311

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2X4 wood studs 16" o.c. with 1-1/4" Type S drywall screws. One layer 5/8" proprietary type X gypsum wallboard applied parallel to channels with 1" Type S drywall screws 12" o.c. 3" SAFB, in stud space.

Opposite Side: One layer 5/8" proprietary type X gypsum wallboard (USG 5/8" Sheetrock Brand Gypsum Panels, Firecode C core) applied at right angles to studs with 1-1/4" Type W drywall screws 12" o.c.

Vertical joints staggered 48" on opposite sides.

Added notes: Each electrical box to be placed in separate wall cavity between studs.
Caulk seal the plates and electrical boxes.
Where wall edge connects to masonry walls use sound gasket and caulk seal.



W3 2 HR WALL ASSEMBLY

W3 2 HOUR WALL
U.L. U419

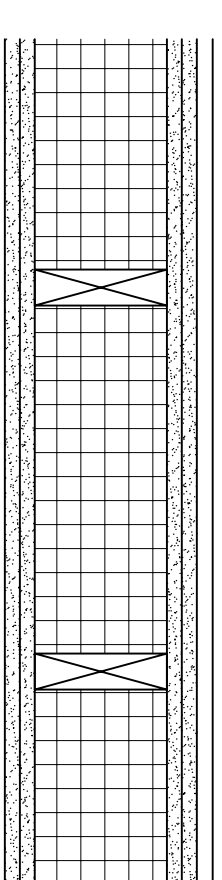
GYPSUM WALLBOARD, WOOD STUDS

Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side of 2 x 4 wood studs 16" o.c. with 6d coated nails, 17/8" long, 0.085" shank, 1/4" heads, 24" o.c.

Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side with 8d coated nails, 23/8" long, 0.100" shank, 1/4" heads, 8" o.c.

Joints staggered 16" each layer and side.
3" SAFB.

Added note : caulk seal the plates.



W4 2 HR EXTERIOR WALL ASSEMBLY

W4 2 HOUR EXTERIOR WALL
U.L. U301

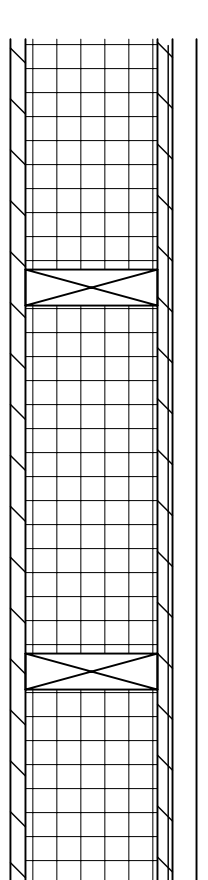
GYPSUM WALLBOARD, WOOD STUDS

Two layers 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to interior side of 2 x 6 wood studs 16" o.c. with 6d coated nails, 17/8" long, 0.085" shank, 1/4" heads, 24" o.c.

Two layers 5/8" type X gypsum sheathing applied at right angles to exterior side with 8d coated nails, 23/8" long, 0.100" shank, 1/4" heads, 8" o.c.

Joints staggered 16" each layer and side.

Insulation: fill cavity with open cell foam insulation equal to r-21.
Building wrap as recommended by siding manufacturer.
Vinyl siding.



W5 EXTERIOR WALL ASSEMBLY

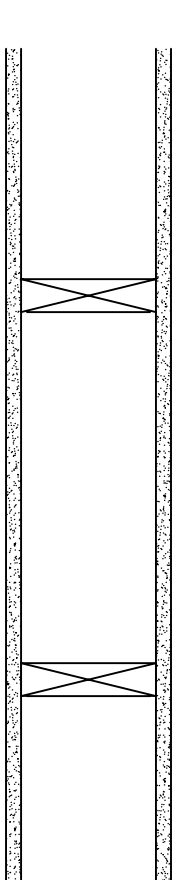
W5 EXTERIOR WALL

GYPSUM WALLBOARD, WOOD STUDS

One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to interior side of 2 x 6 wood studs 16" o.c. with 6d coated nails, 17/8" long, 0.085" shank, 1/4" heads, 24" o.c.

One layer APA rated sheathing applied at right angles to studs with 8d coated nails, 23/8" long, 0.100" shank, 1/4" heads, 8" o.c.
Joints staggered 16" each layer and side.

Insulation: fill cavity with open cell foam insulation equal to r-21.
Building wrap as recommended by siding manufacturer.
Vinyl siding.



W6 UNRATED NON-BEARING INTERIOR WET WALL

W6 UNRATED NON-BEARING INTERIOR WET WALL

1. One layer ea. side 5/8" Gypsum applied with 1" Type S drywall screws 12" o.c.
 2. 2x6 wood stud 16" o.c.
- (MR Gypbd where used in bathroom, janitor's closet, laundry.)

Drawing

WALL TYPES

Date
11/9/11

Scale
1/4" = 1'-0"

Project:

ADDITION & RENOVATION

385 CUMBERLAND AVENUE
PORTLAND, MAINE

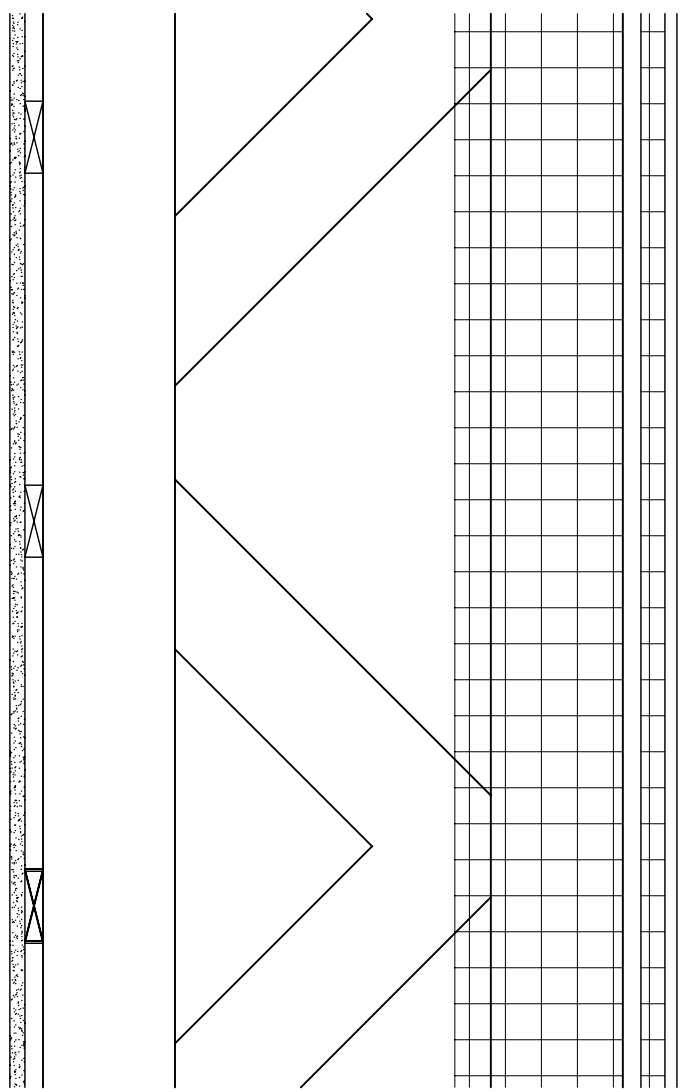
SHIELDS ARCHITECTURE

216 Range Road, Cumberland, Maine
(207) 776-8926

A-11

[R1] ROOF/CEILING ASSEMBLY

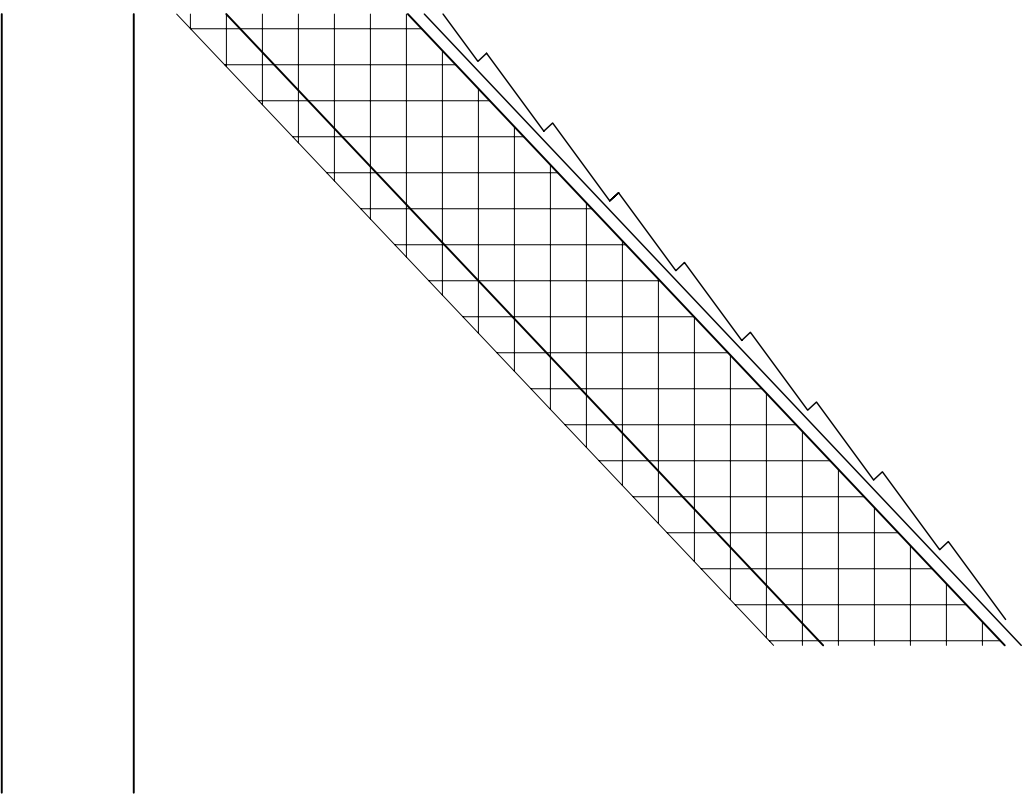
5/8" Type X gypsum wallboard applied at right angles to trusses at 24" OC with 1 1/4" Type W or S drywall screws 24" OC. (ceiling type C1 at stair tower - see drawing A-6.)
 1x wood strapping.
 Wood trusses spaced 24" o.c. max.
 Insulation: 1" min. closed cell foam insulation applied to underside of roof deck to equal r-49.
 APA rated plywood sheathing with exterior glue applied at right angles to trusses with 8d nails.
 1" min. tapered rigid insulation.
 1/2" fiberboard.
 ØØ60 fully adhered EPDM membrane.



R1 ROOF/CEILING ASSEMBLY

[R2] ROOF/CEILING ASSEMBLY

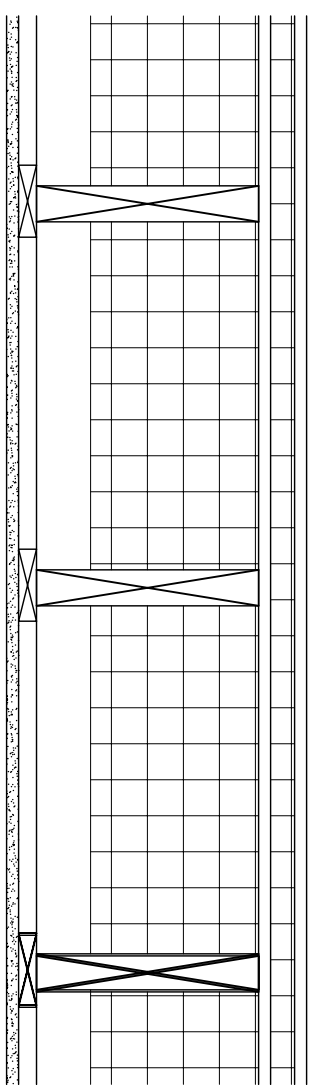
Wood trusses spaced 24" o.c. max.
 APA rated plywood sheathing with exterior glue applied at right angles to trusses with 8d nails.
 Ice & Watershield 3'-0" in form eaves, rakes and changes of roof pitch.
 15# asphalt impregnated roofing felt
 drip edge
 ridge vent
 asphalt shingles.
 Insulation: 1" min closed cell foam insulation applied to underside of roof deck to equal r-49.



R2 ROOF/CEILING ASSEMBLY

[R3] ROOF/CEILING ASSEMBLY

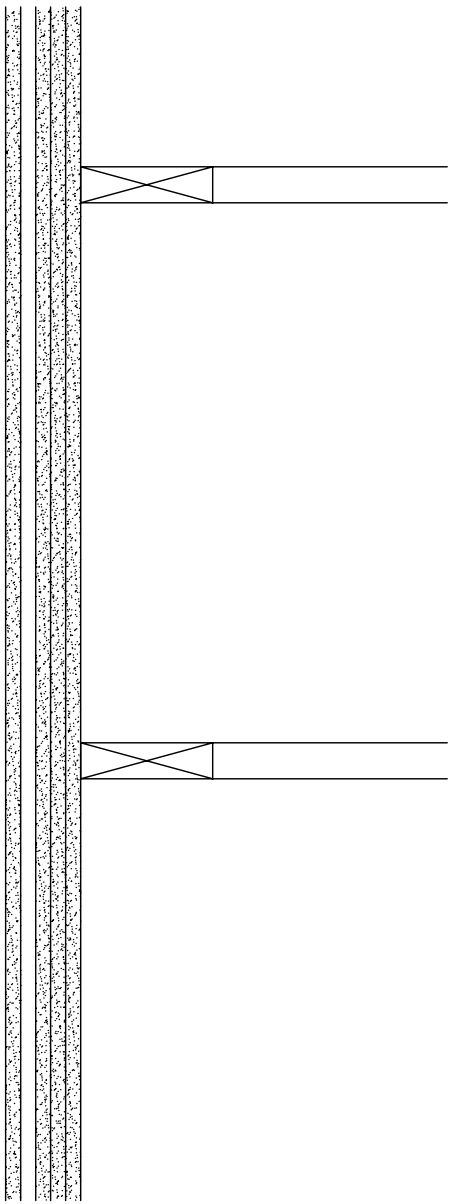
5/8" Type X gypsum wallboard applied at right angles to 2x framing with 1 1/4" Type W or S drywall screws.
 2x wood framing.
 Insulation: 1" min. closed cell foam insulation applied to underside of roof deck to equal r-49.
 APA rated plywood sheathing with exterior glue applied at right angles to trusses with 8d nails.
 1" min. tapered rigid insulation.
 1/2" fiberboard.
 ØØ60 fully adhered EPDM membrane.



R3 ROOF/CEILING ASSEMBLY

[C1] 2 HR. CEILING ASSEMBLY
 UL L556)

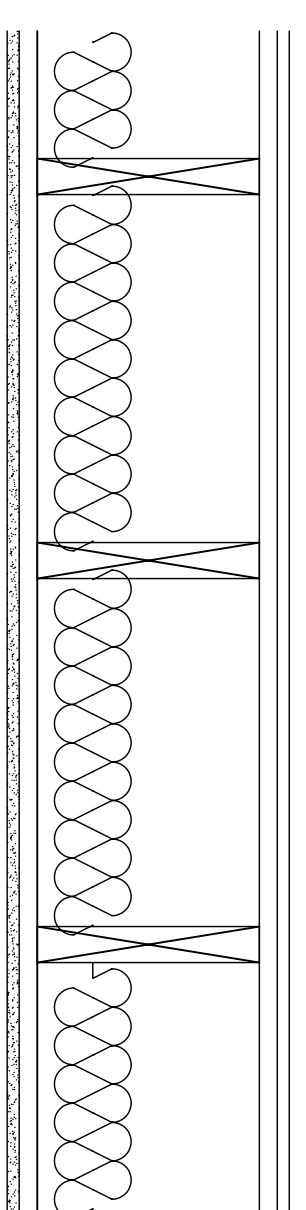
Ceiling membrane consists of 4 layers of 5/8" type X gypsum board applied to ceiling framing spaced 24" o.c. with a 3/4" hat-shaped steel furring channel located between the third and face layer. Base layer of gb. is applied at right angles to the ceiling framing and attached with 1 1/4" type S or W drywall screws spaced at 12" o.c. Second layer of gypsum board is applied at right angles to the ceiling framing and attached with 2" type S or W drywall screws spaced 12" o.c.
 Third layer of gypsum board is applied at right angles to ceiling framing and attached with 2 1/2" type S or W drywall screws spaced 12" o.c. The joints in each layer are offset a minimum of 1Ø" from the previous layer.
 Steel hat-shaped rigid furring channel is applied at right angles to the ceiling framing and spaced 24" o.c. The channels are attached to the ceiling framing at each framing member/furring channel intersection with two 2 1/2" type S or W drywall screws.
 Face layer of g. b. is applied at right angles to the furring channels and attached with 1 1/4" type S drywall screws spaced 12" o.c. Face layer joints and fasteners are finished to Level 1 as specified in GA-214, Levels of Gypsum Board Finish.



C1 2 HR CEILING ASSEMBLY

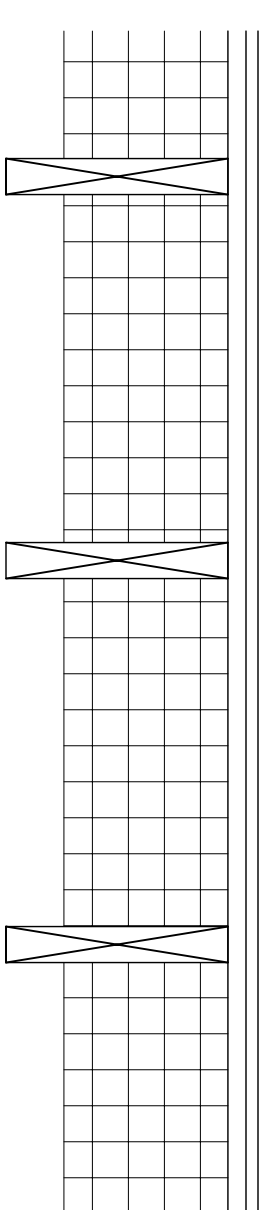
[F1] FLOOR/CEILING ASSEMBLY

Subflooring - 5/8" APA rated interior sheathing w/ exterior glue
 Finish flooring.
 2x wood joists
 3" SAFB
 1x3 wood strapping @ 16" o.c.
 One layer 5/8" type X gypsum wallboard applied at right angles to resilient channels w/ 1" Type S drywall screws 8" OC at ends and 12" OC at intermediate furring channels. Gypsum board end joints located midway between continuous channels and attached to additional pieces of strapping.



[F2] FLOOR/CEILING ASSEMBLY

Subflooring - 5/8" APA rated interior sheathing w/ exterior glue
 Finish flooring.
 2x wood joists
 Insulation: closed cell foam insulation applied to underside of floor deck to equal r-30.



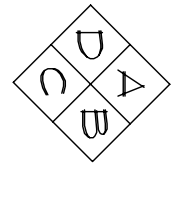
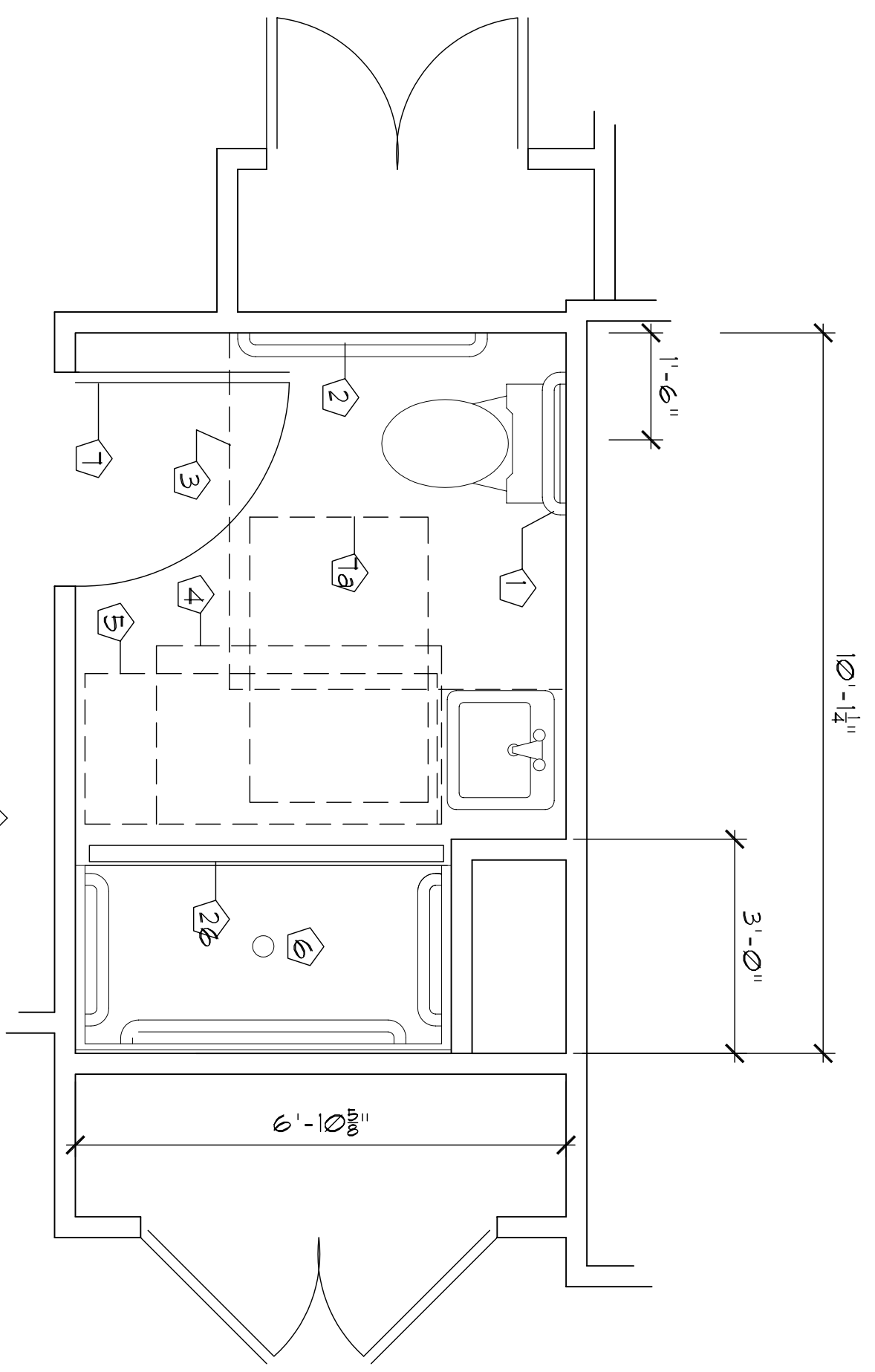
Date	11/9/11
Scale	1/4" = 1'-0"

Project:
ADDITION & RENOVATION
 385 CUMBERLAND AVENUE
 PORTLAND, MAINE

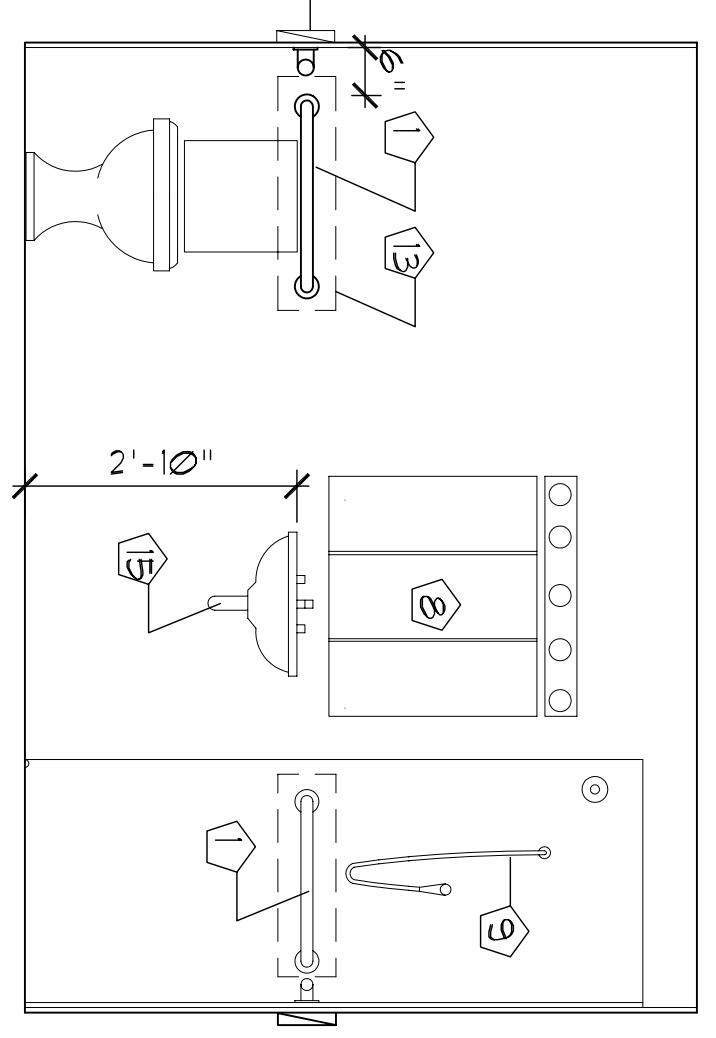
SHIELDS ARCHITECTURE
 216 Range Road, Cumberland, Maine
 (207) 776-8926

Drawing
ROOF, FLOOR & CEILING TYPES

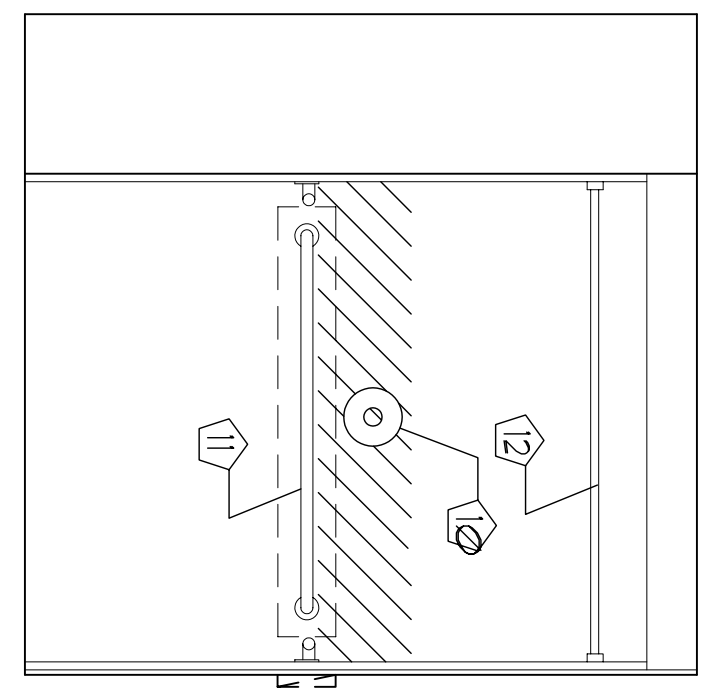
A-11a



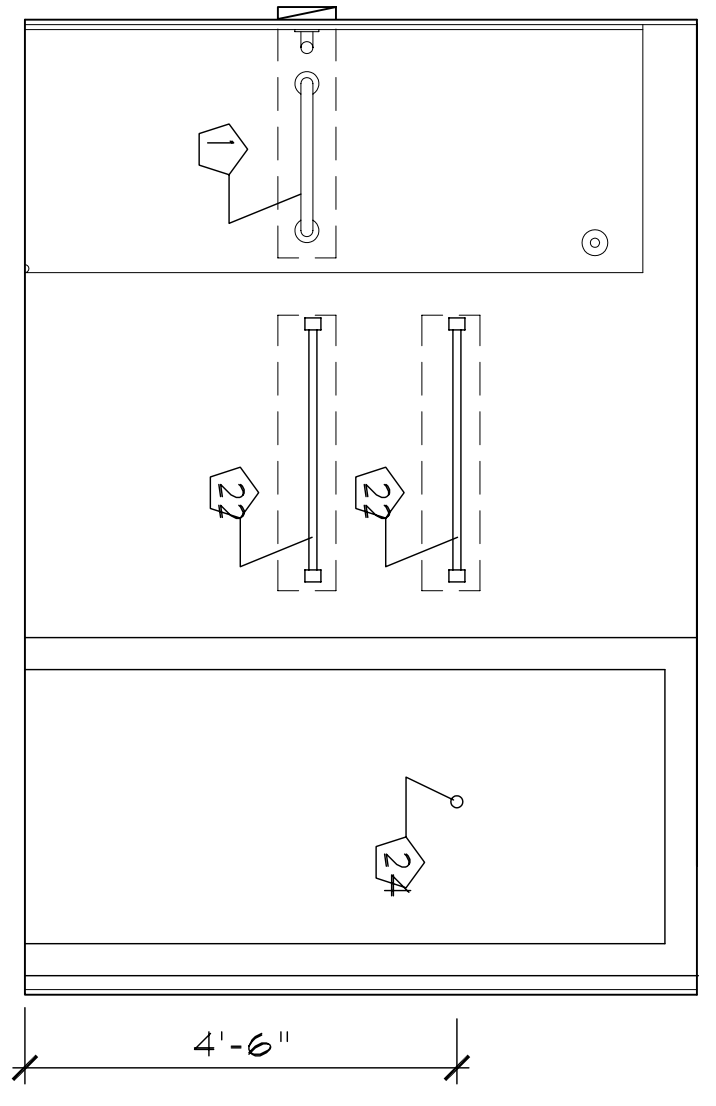
1 BATHROOM 103 - PLAN & ELEVATIONS
SCALE: 1/2" = 1'



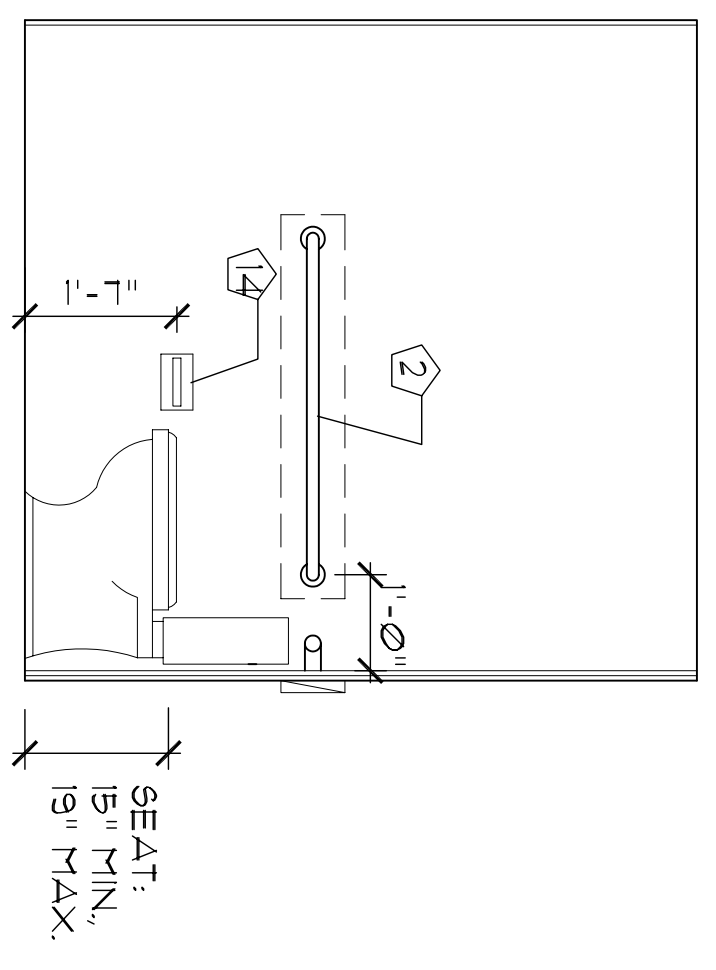
A ELEVATION
SCALE: 1/2" = 1'



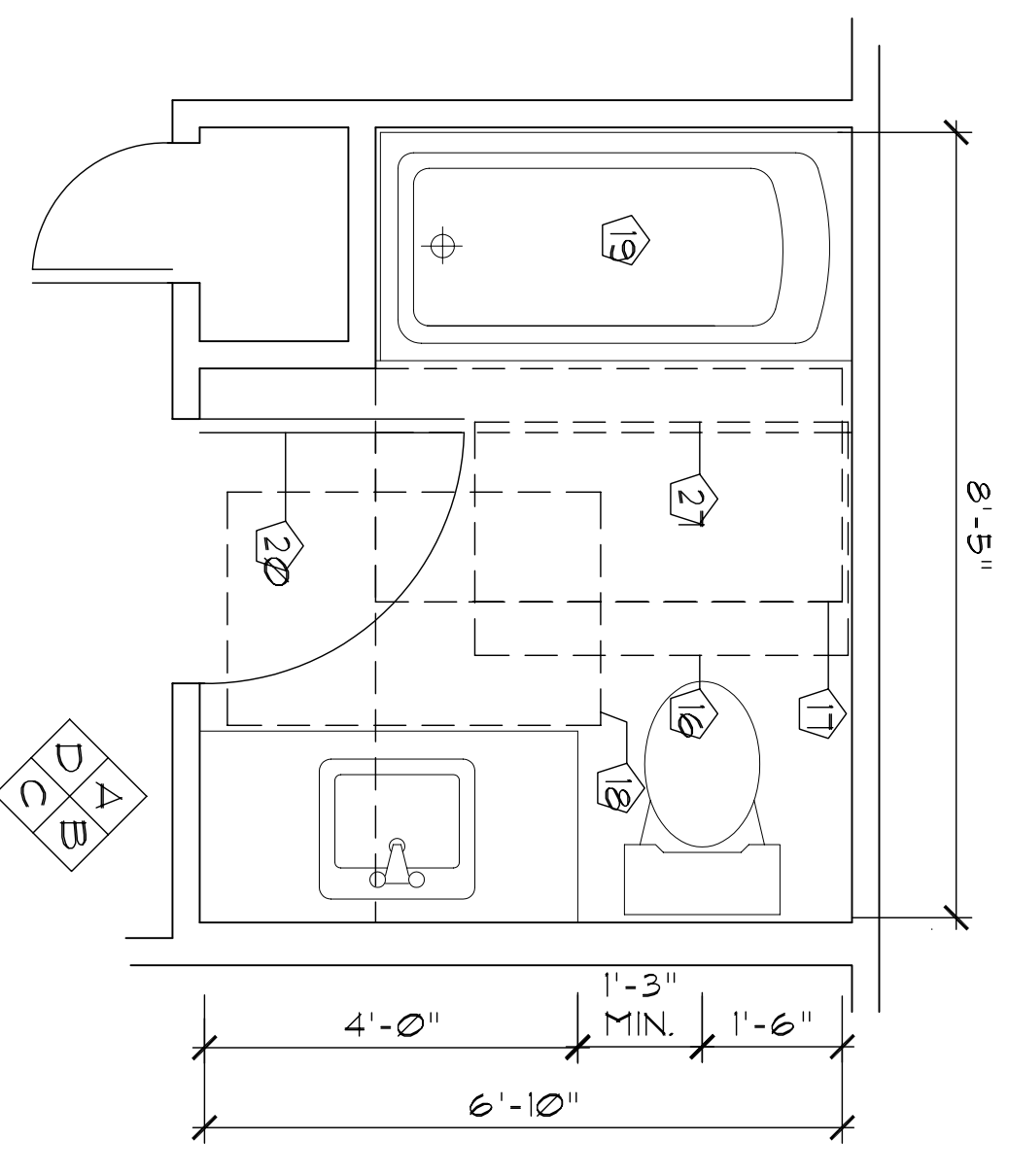
B ELEVATION
SCALE: 1/2" = 1'



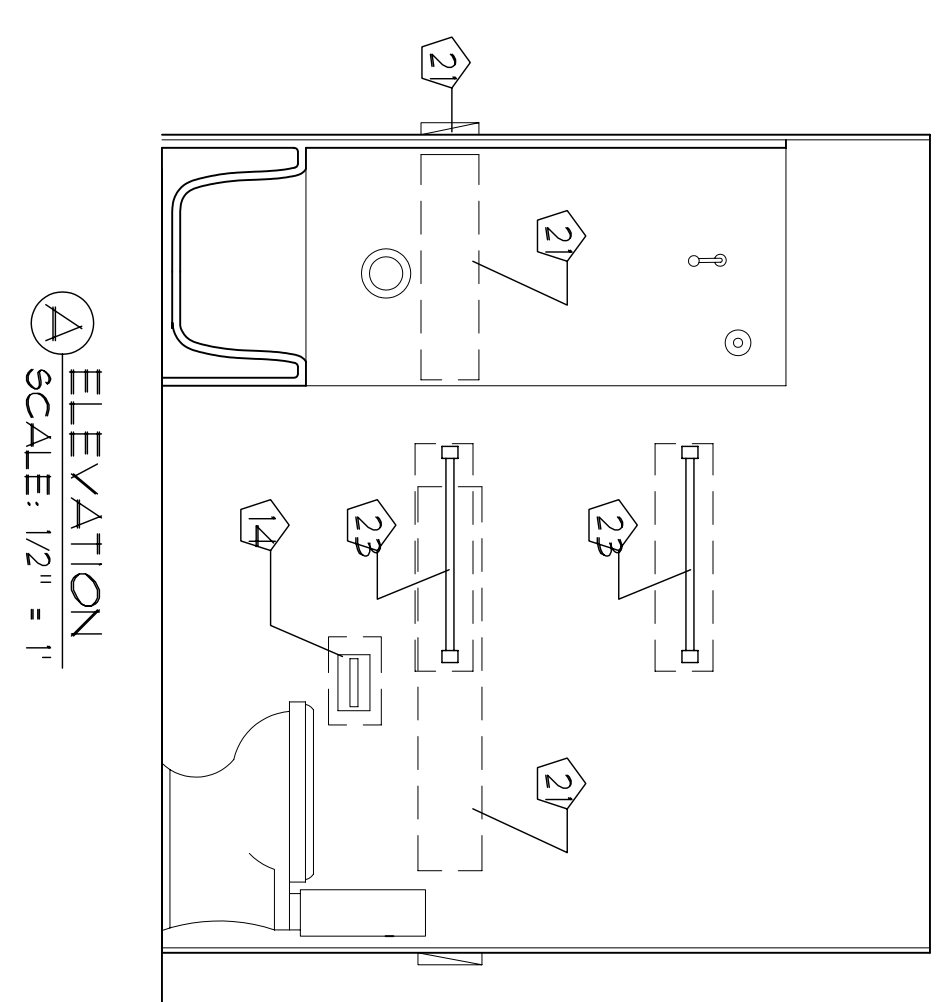
C ELEVATION
SCALE: 1/2" = 1'



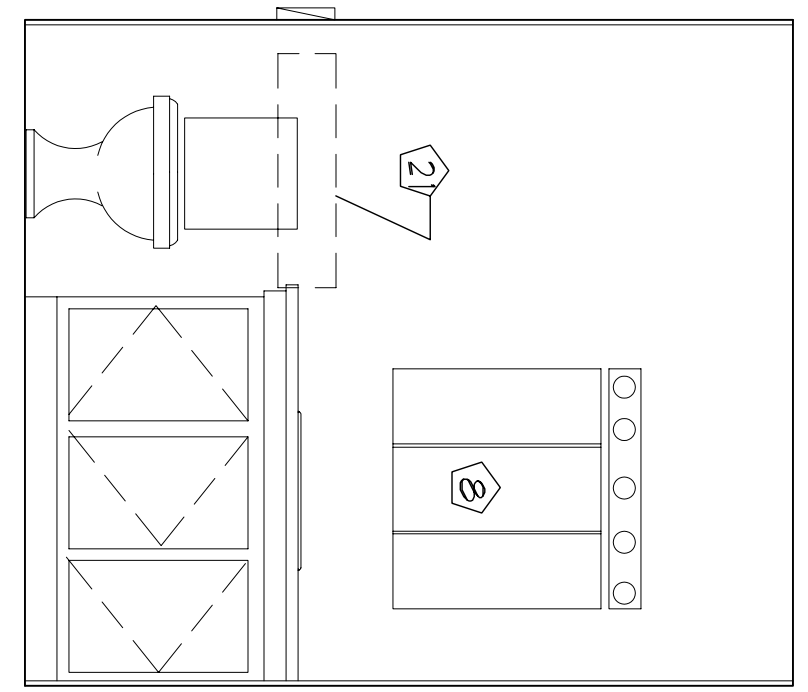
D ELEVATION
SCALE: 1/2" = 1'



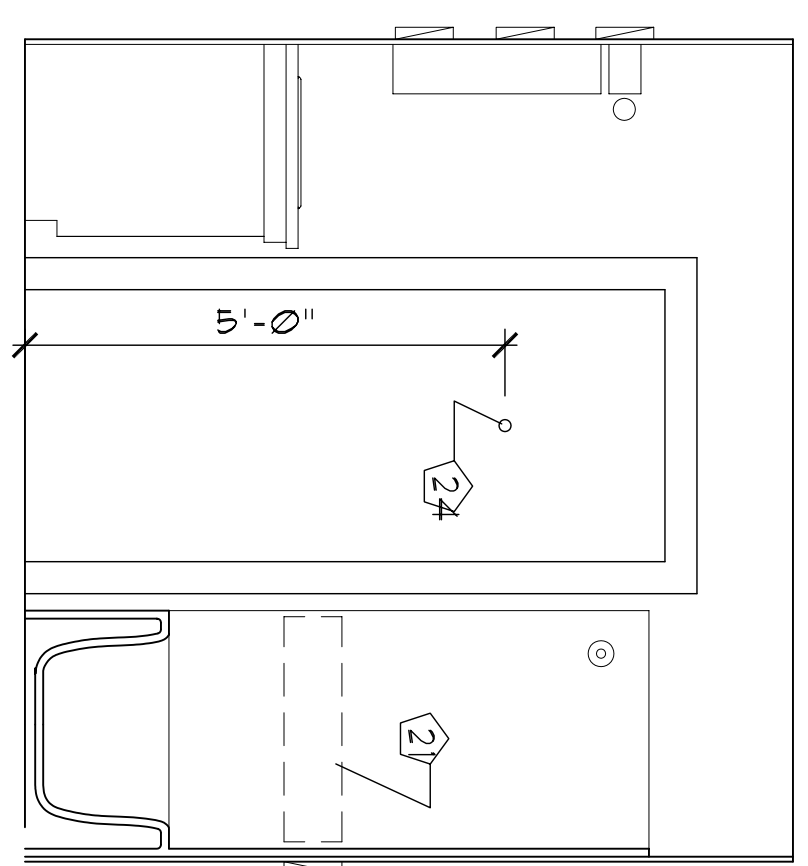
2 BATHROOM 302 - PLAN & ELEVATIONS
SCALE: 1/2" = 1'



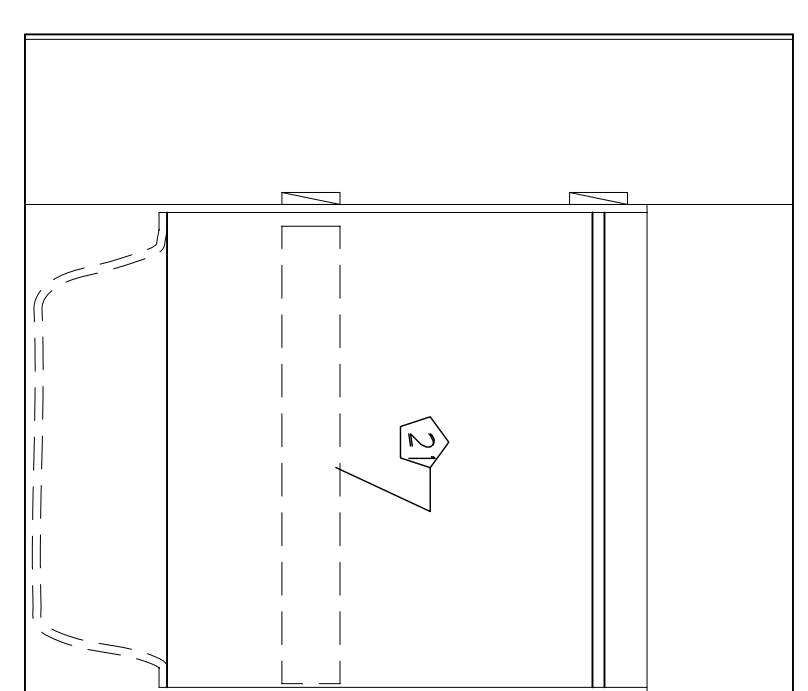
A ELEVATION
SCALE: 1/2" = 1'



B ELEVATION
SCALE: 1/2" = 1'



C ELEVATION
SCALE: 1/2" = 1'



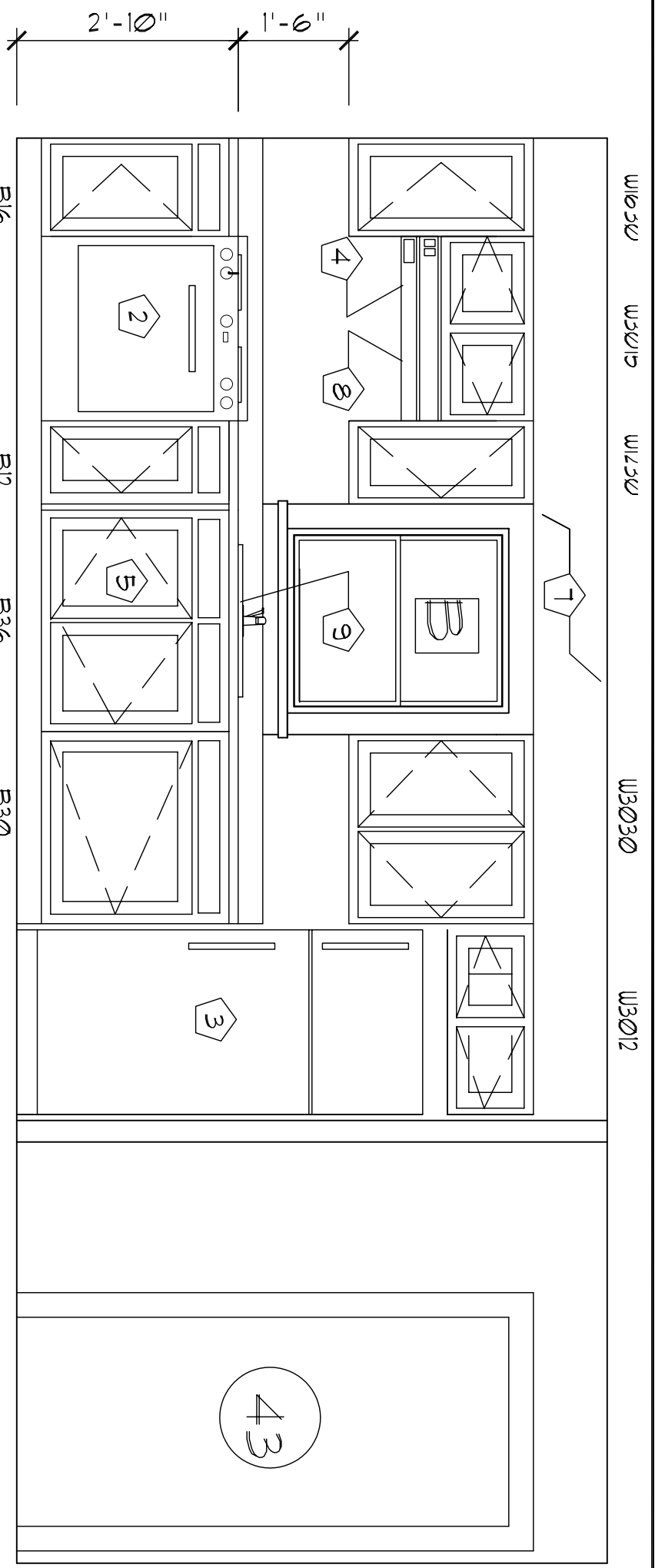
D ELEVATION
SCALE: 1/2" = 1'

- NOTES:
1. DIMENSIONS TAKEN TO FACE OF WALL BOARD.
2. PROVIDE SOLID WOOD BLOCKING AT ALL WALL MOUNTED ITEMS.

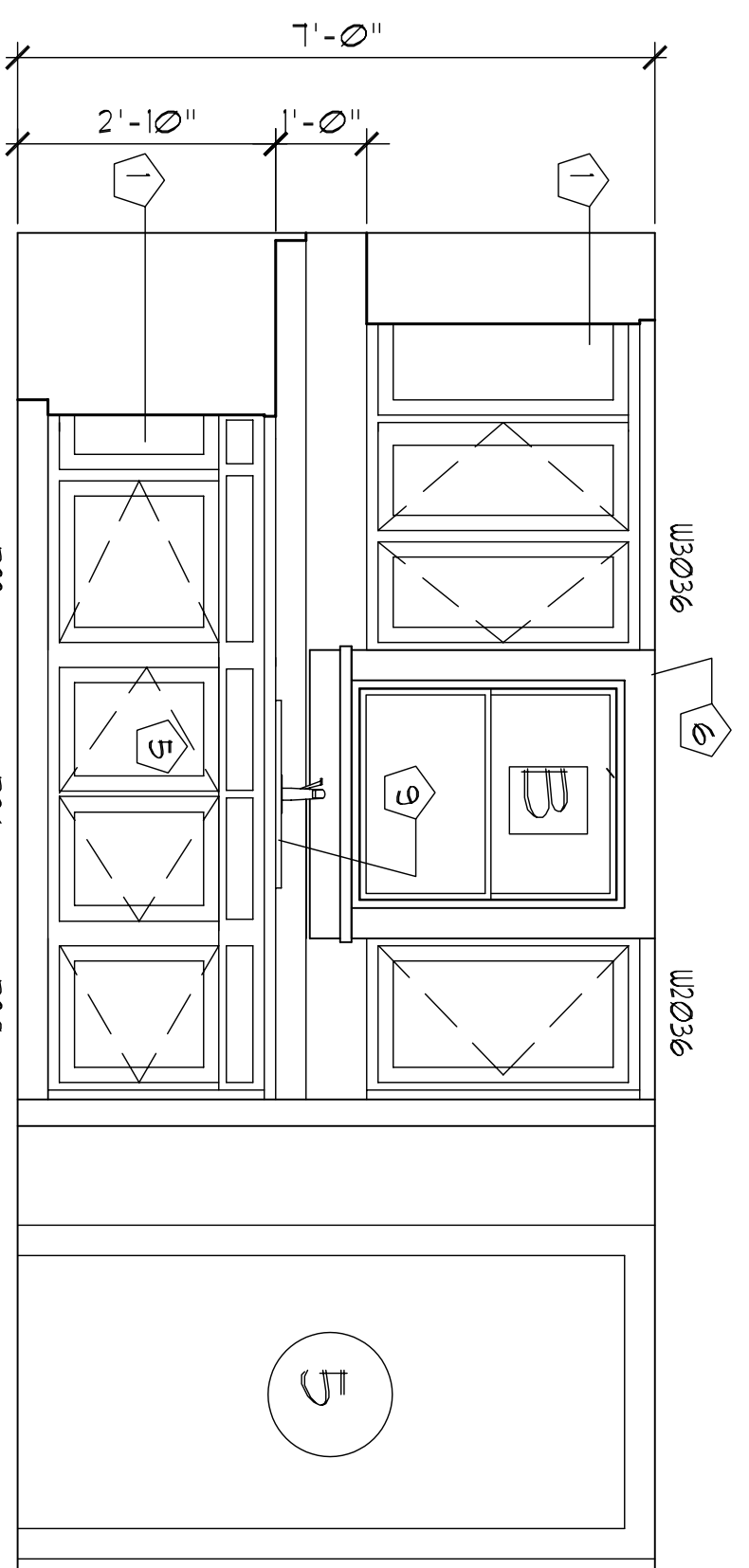
KEYED NOTES:

- 1 2'-0" GRAB BAR
- 2 3'-6" GRAB BAR
- 3 60" x 56" CLEAR SPACE AT TOILET.
- 4 48" x 30" CLEAR SPACE AT LAVATORY.
- 5 60" x 30" CLEAR SPACE AT ROLL-IN SHOWER
- 6 ROLL-IN SHOWER - 5'-0" x 2'-6" INTERIOR CLEAR DIMENSIONS.
- 7 3'-0" x 6'-8" DOOR
- 8 30" x 48" CLEAR FLOOR SPACE BEYOND ARC OF THE DOOR SWING - ALLOWING INSULING DOOR
- 9 BOTTOM OF REFLECTIVE SURFACE OF MIRROR AT 3'-2" MAX.
- 10 SHOWER SPRAY UNIT WITH 60" MIN. HOSE.
- 11 SHOWER CONTROL - HATCHED AREA INDICATES ALLOWABLE LOCATION FOR CONTROLS.
- 12 4'-0" GRAB BAR
- 13 CURTAIN ROD.
- 14 SOLID WOOD BLOCKING (TYP.)
- 15 TOILET PAPER DISPENSER
- 16 PIPE WRAP.
- 17 30" x 48" CLEAR FLOOR SPACE BEYOND ARC OF THE DOOR SWING - ALLOWING INSULING DOOR
- 18 30" x 60" CLEAR SPACE AT TUB.
- 19 30" x 48" SIDE APPROACH CLEAR SPACE AT LAVATORY, ALLOWING PERMANENT BASE CABINET.
- 20 5'-0" x 2'-6" TUB/SHOWER ENCLOSURE.
- 21 2'-10" x 6'-8" DOOR
- 22 SOLID WOOD BLOCKING FOR FUTURE GRAB BARS (TYP.)
- 23 2'-6" TOWEL BAR
- 24 2'-0" TOWEL BAR
- 25 ROBE HOOK
- 26 NOT USED.
- 27 TRENCH DRAIN
- 28 CLEAR SPACE AT WATER CLOSET EXTENDING 42" ON ONE SIDE OF THE CENTERLINE OF THE WC AND 18" ON THE OTHER, AND EXTENDING NOT LESS THAN 32" IN FRONT OF THE WC. LAVATORY ON THE WALL BEHIND THE WC ARE PERMITTED TO OVERLAP THE CLEARANCE.

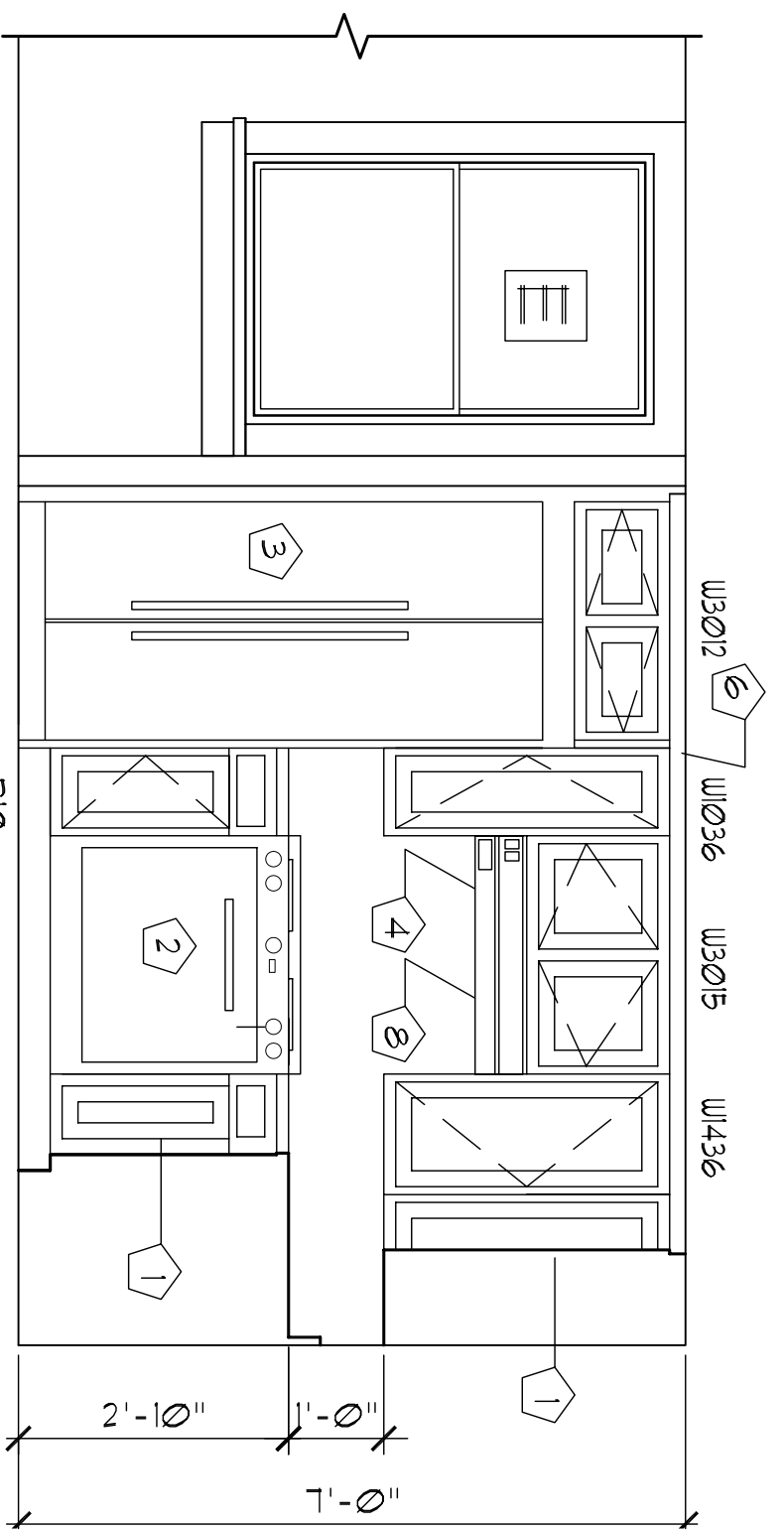
NOTE: BATHROOMS 502 & 102 ARE IDENTICAL, BATHROOMS 202, 402, 602 & 802 ARE OTHER HAND."



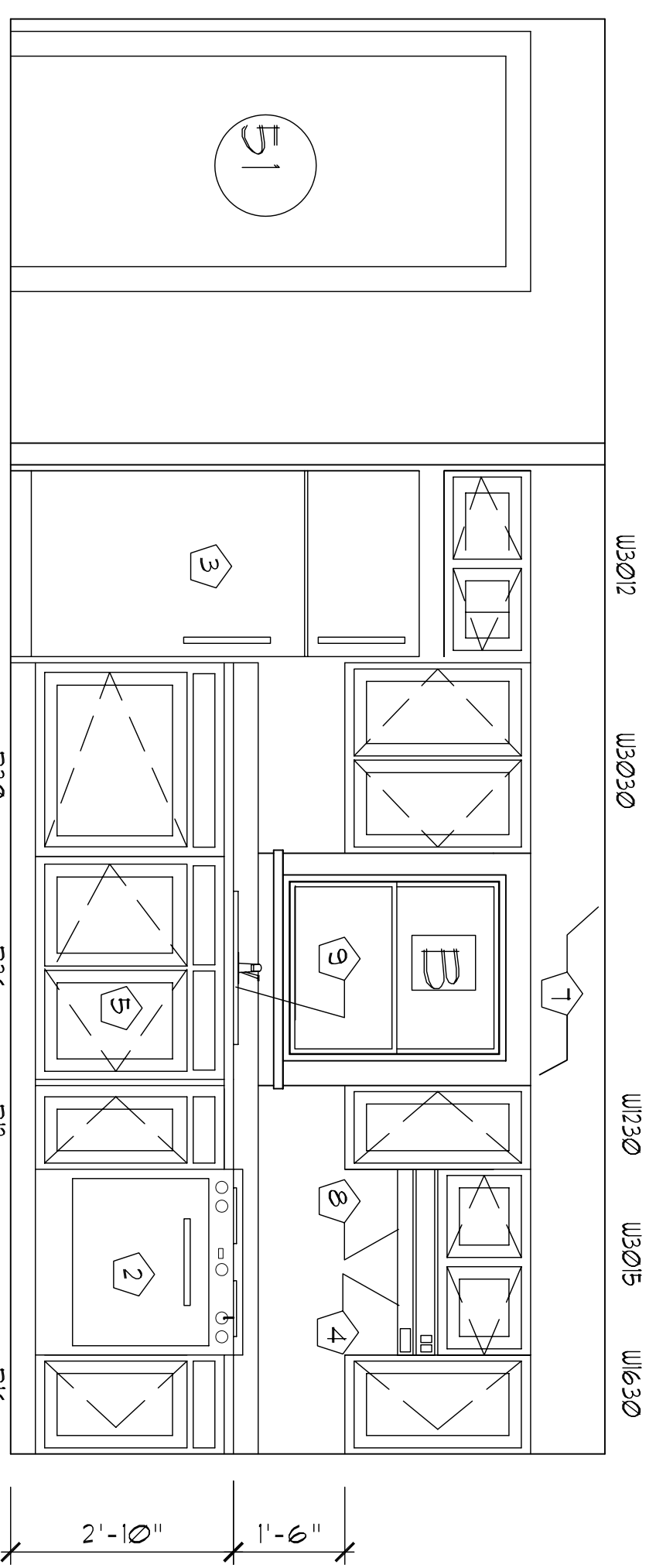
7 KIT/LLIV 508 ELEVATION
SCALE: 1/2" = 1'-0"



1 KIT/LLIV 104 ELEVATION
SCALE: 1/2" = 1'-0"



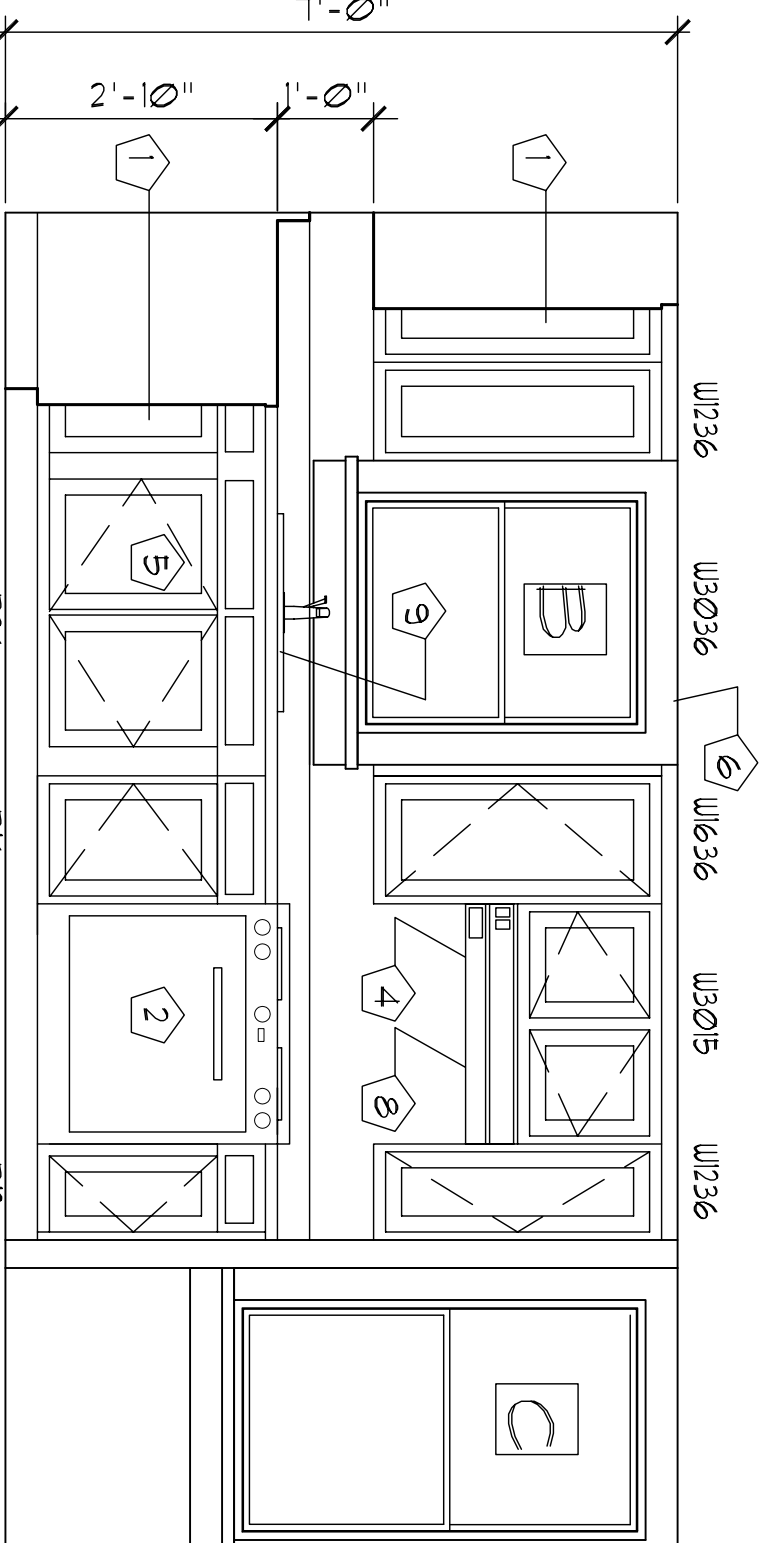
2 KIT/LLIV 104 ELEVATION
SCALE: 1/2" = 1'-0"



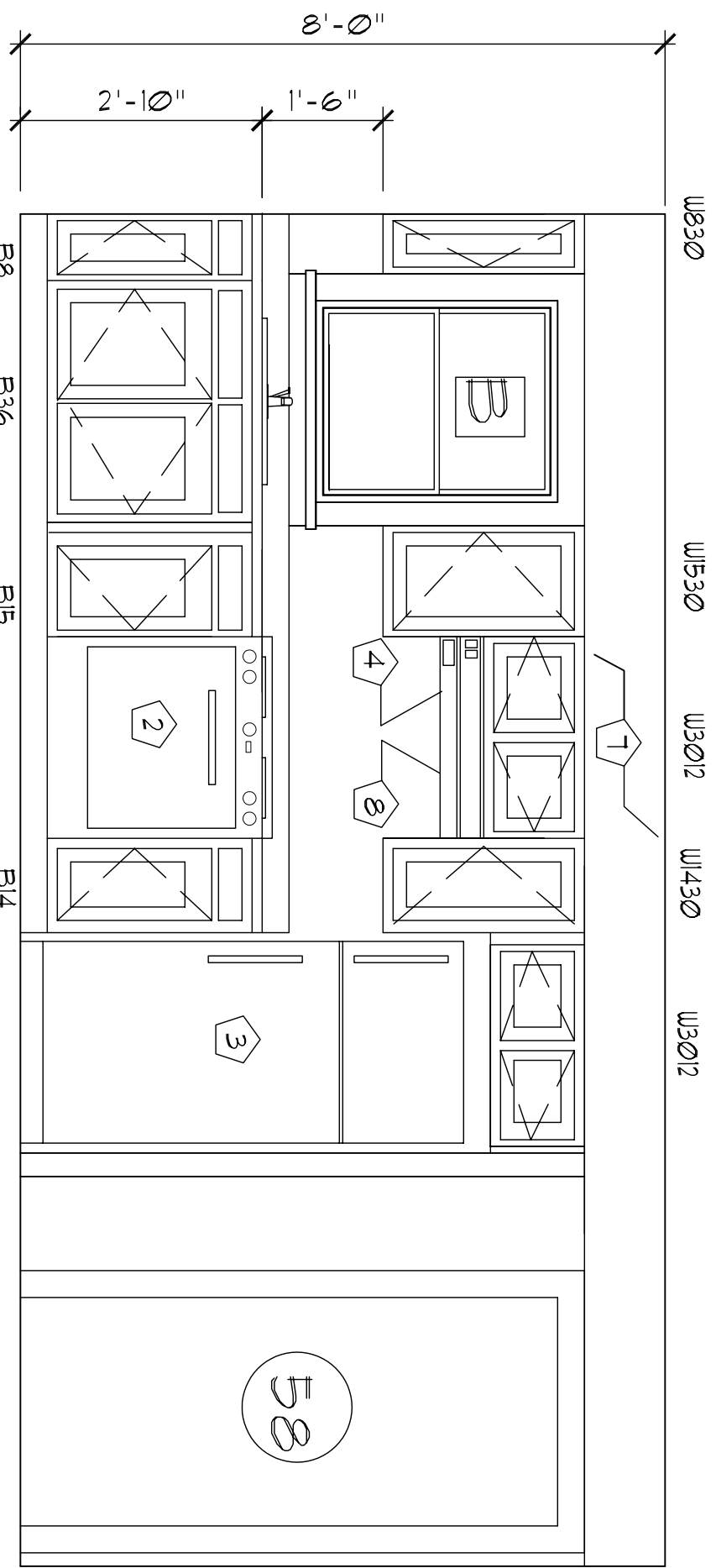
8 KIT/LLIV 604 ELEVATION
SCALE: 1/2" = 1'-0"



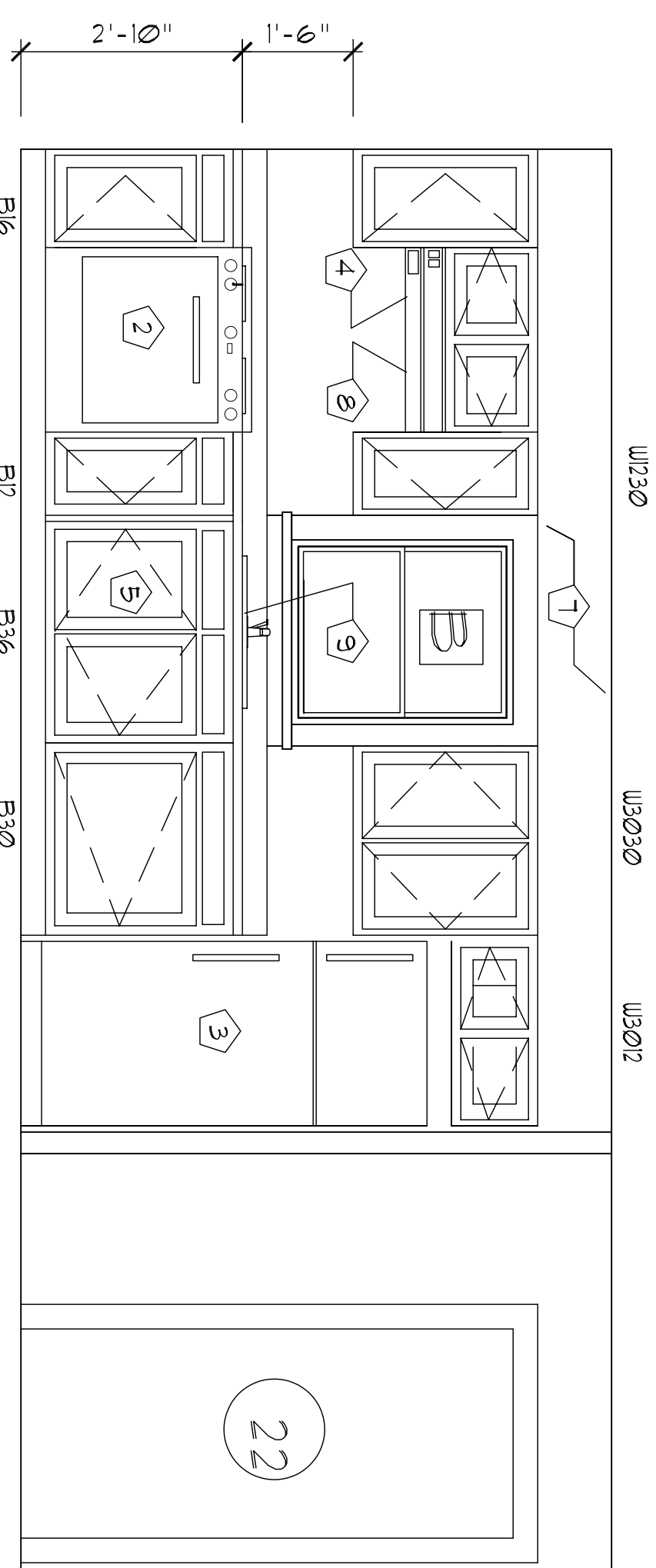
3 KIT/LLIV 204 ELEVATION
SCALE: 1/2" = 1'-0"



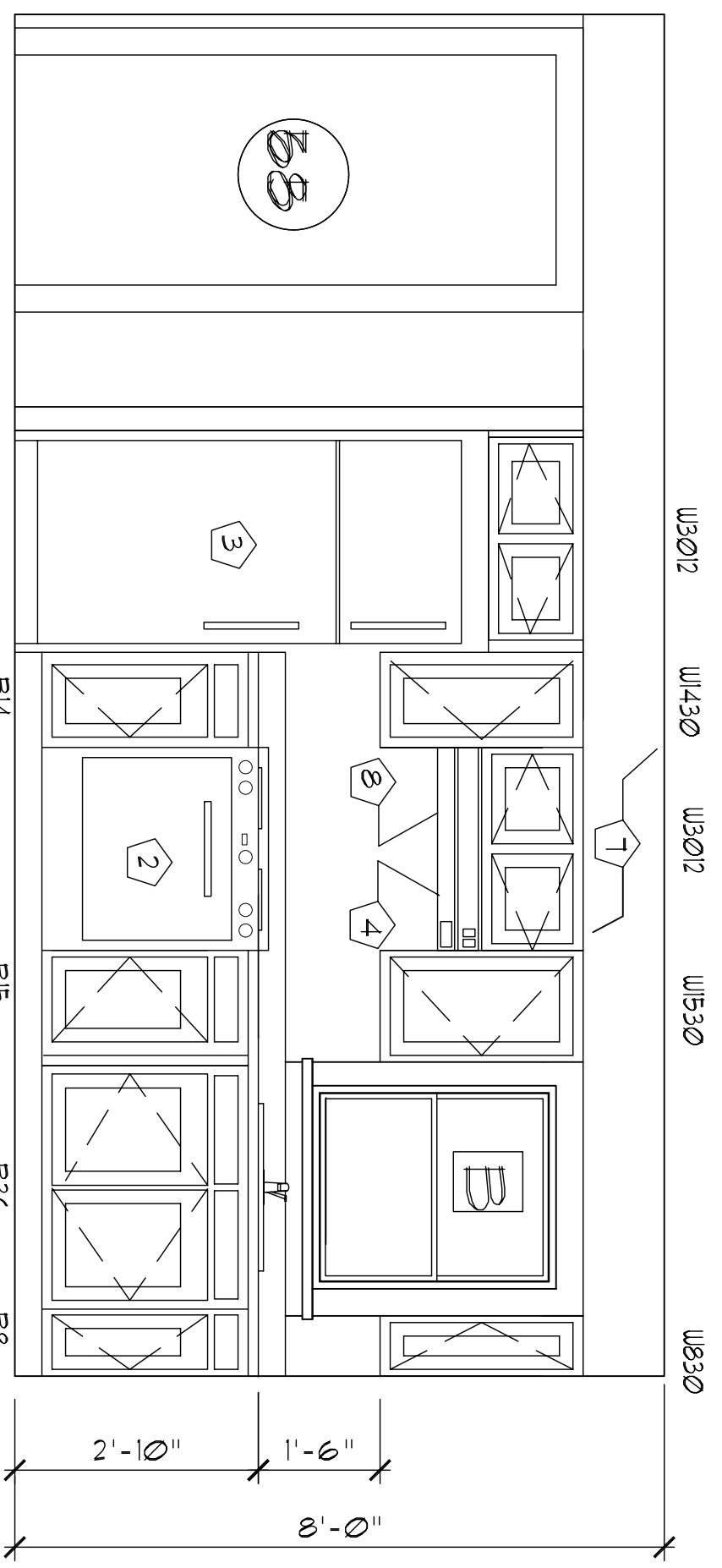
4 KIT/LLIV 204 ELEVATION
SCALE: 1/2" = 1'-0"



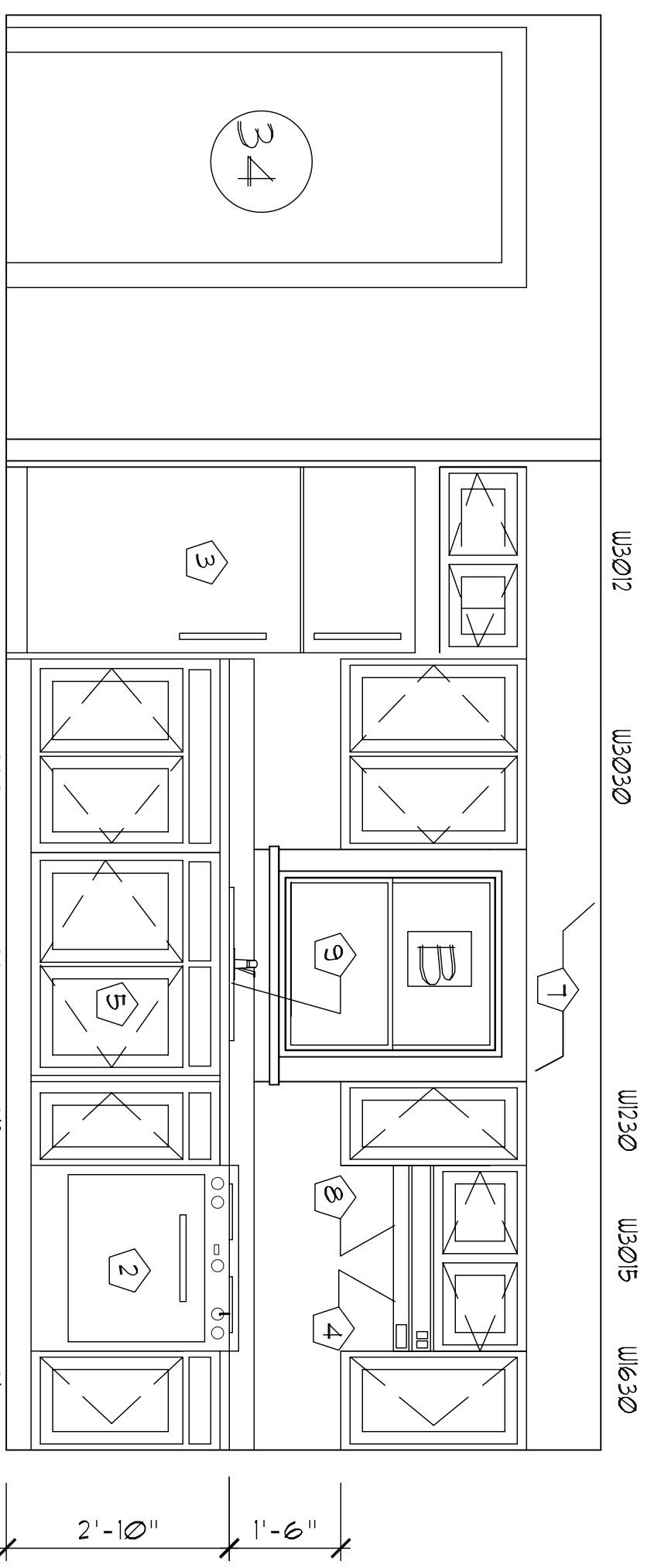
9 KIT/LLIV 105 ELEVATION
SCALE: 1/2" = 1'-0"



5 KIT/LLIV 304 ELEVATION
SCALE: 1/2" = 1'-0"

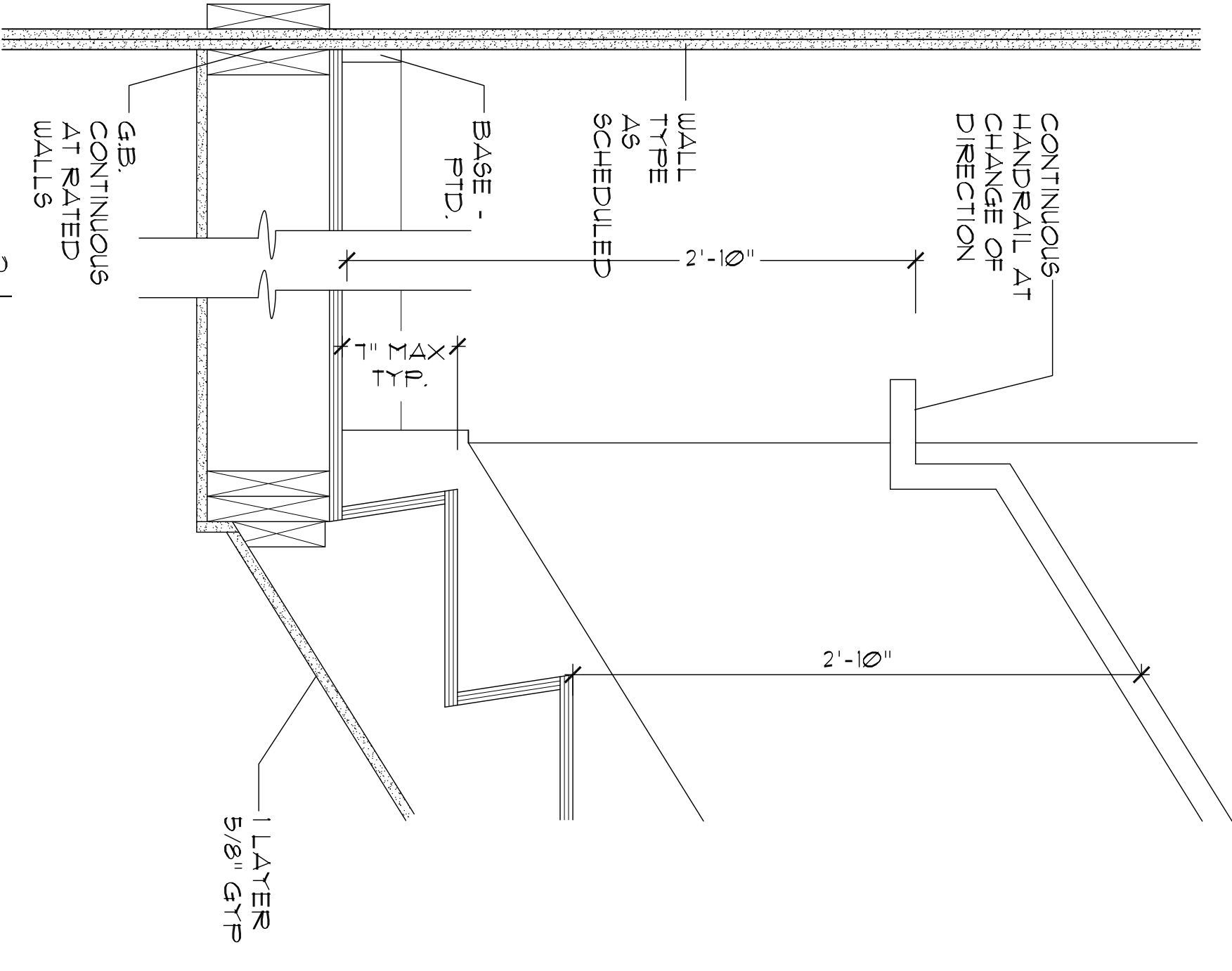


10 KIT/LLIV 805 ELEVATION
SCALE: 1/2" = 1'-0"

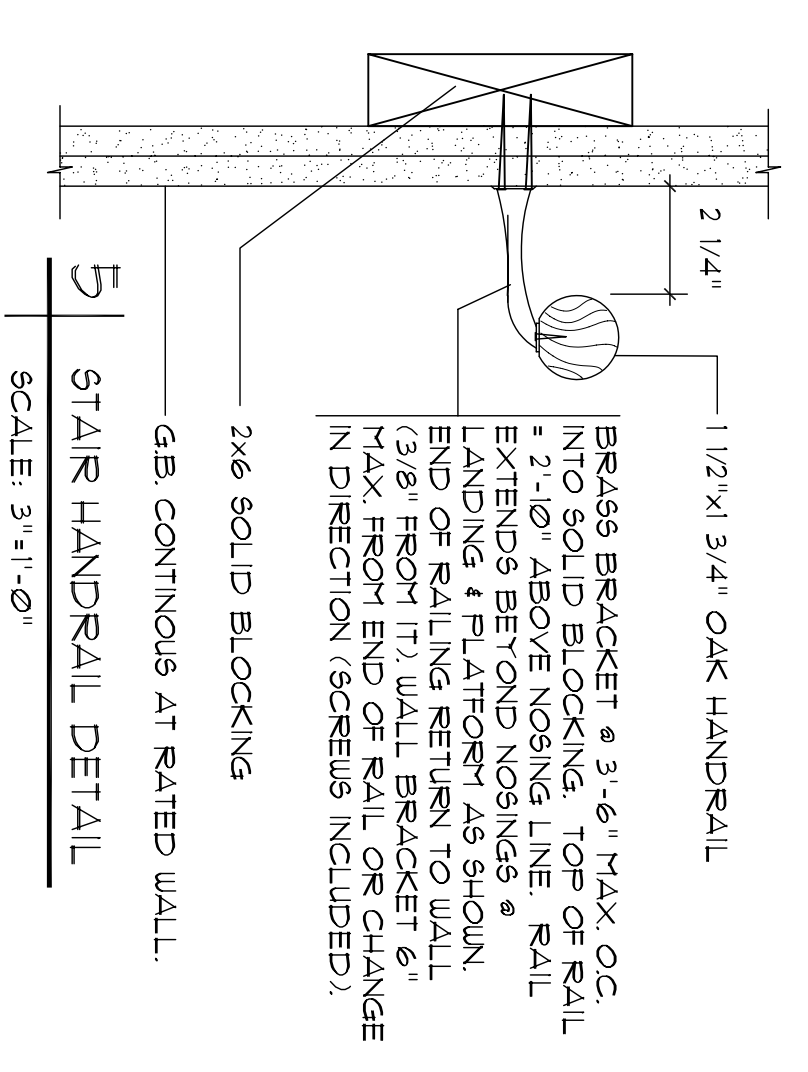


6 KIT/LLIV 406 ELEVATION
SCALE: 1/2" = 1'-0"

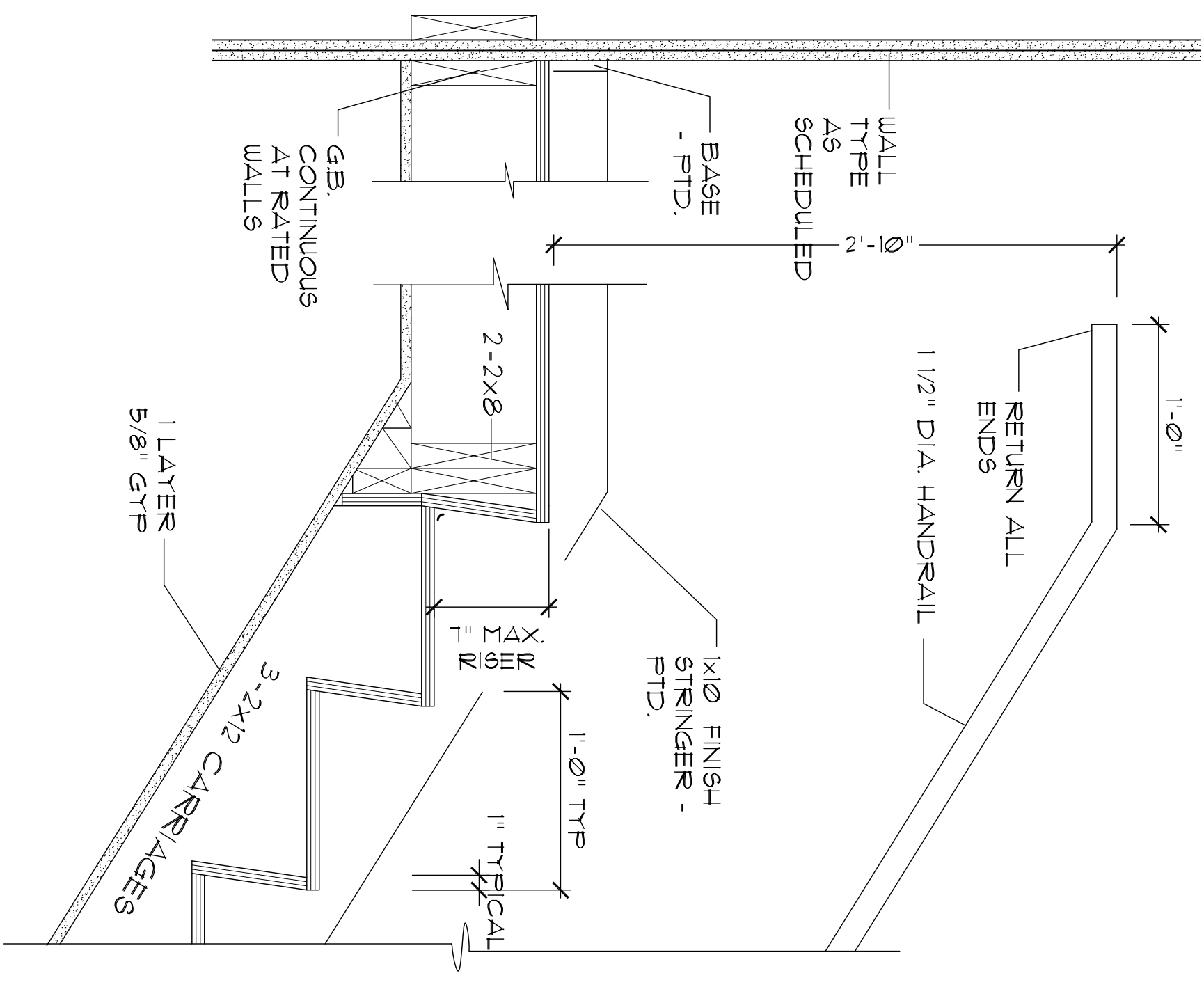
- LEGEND**
- ① NEW DOOR
 - Ⓐ NEW WINDOW
 - Ⓔ EXISTING WINDOW TO REMAIN
- KEYED NOTES**
- ① CORNER LAZY SUSAN CABINET
 - ② DROP-IN RANGE BY OWNER, 30"W x 28"D NOMINAL DIMENSIONS - ROUT OUT COUNTER TO RECEIVE RANGE. RUN COUNTER/BACK SPLASH CONTINUOUS BEHIND RANGE.
 - ③ REFRIGERATOR BY OWNER, 30"W x 28"D x 66"H, NOMINAL DIMENSIONS, (SIDE BY SIDE MODEL REQUIRED IN UNIT 1)
 - ④ HARD DUCTED ENERGY STAR RANGE HOOD (BY OWNER)
 - ⑤ REMOVABLE CABINET, EXTEND FINISH FLOORING BENEATH CABINET.
 - ⑥ FILLER AT CEILING
 - ⑦ G.B. SOFFIT - PTD.
 - ⑧ PROVIDE A SEPARATE ACCESSIBLE WALL SWITCH W/RED TO RANGE HOOD AND LIGHT. MOUNT SWITCH AT 44" AFF.
 - ⑨ KITCHEN SINK - ADA COMPLIANT, 25"W x 22"D NOMINAL DIMENSIONS.



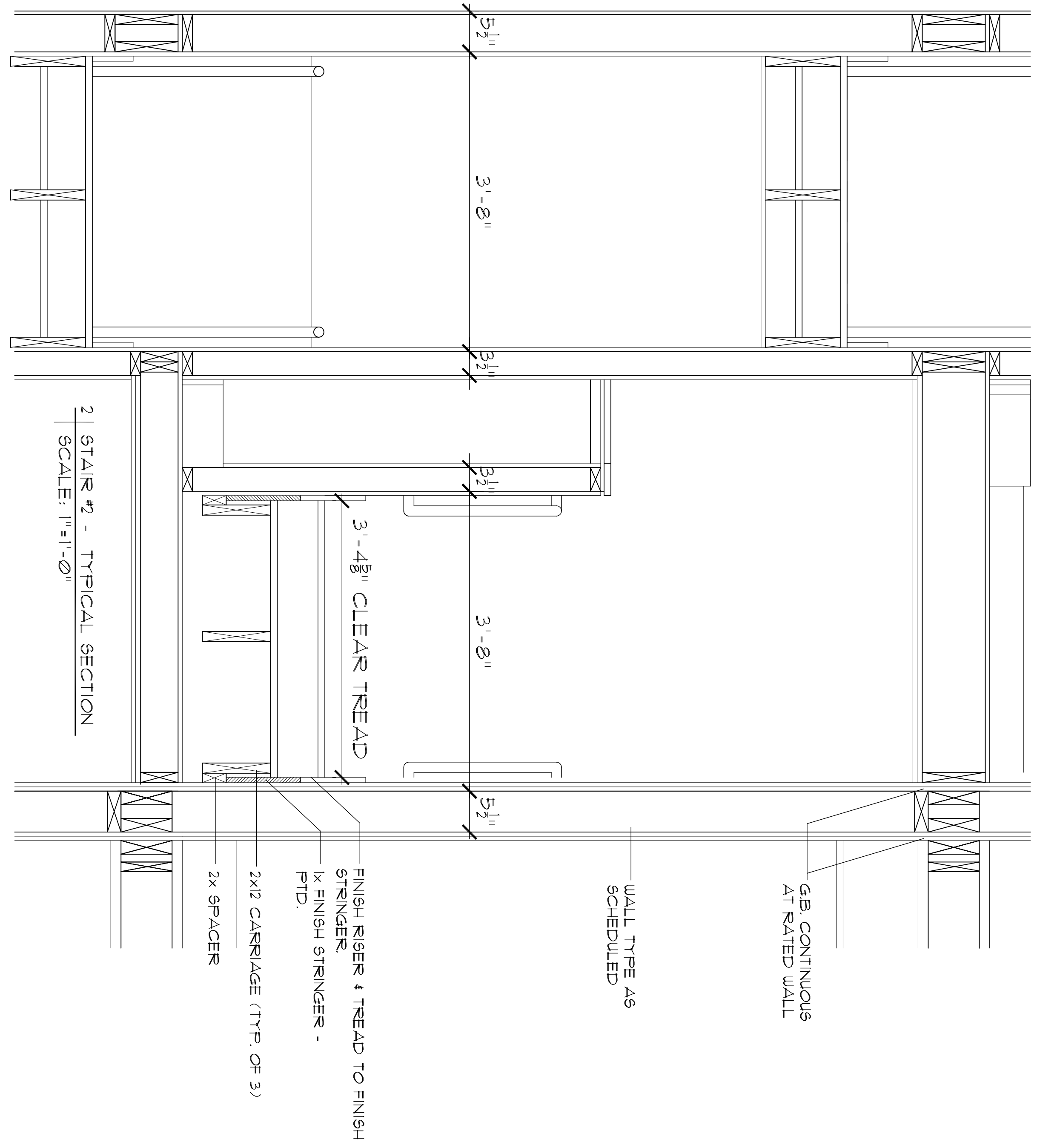
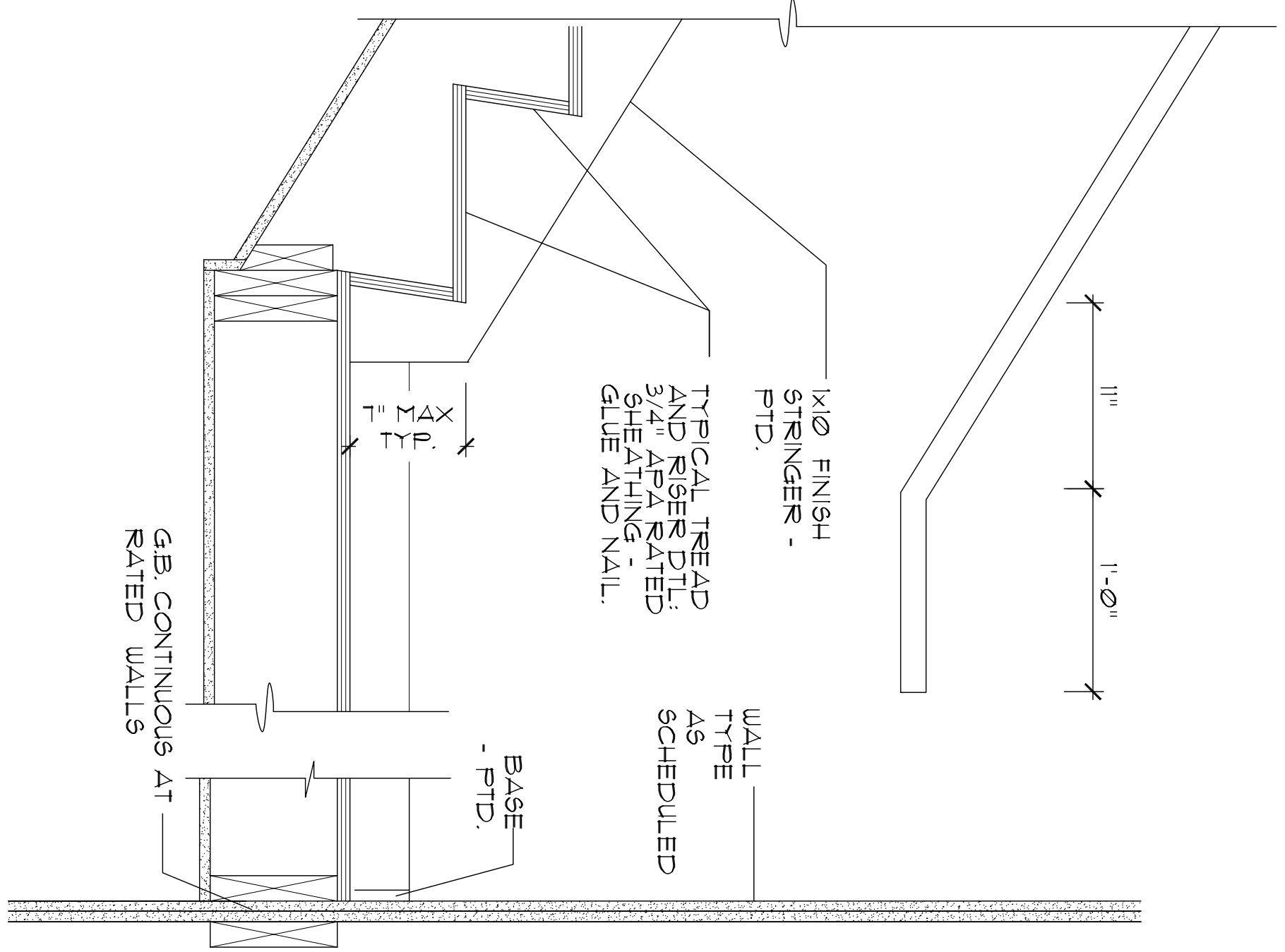
3 STAIR DETAIL @ LANDING
SCALE: 1/2"=1'-0"



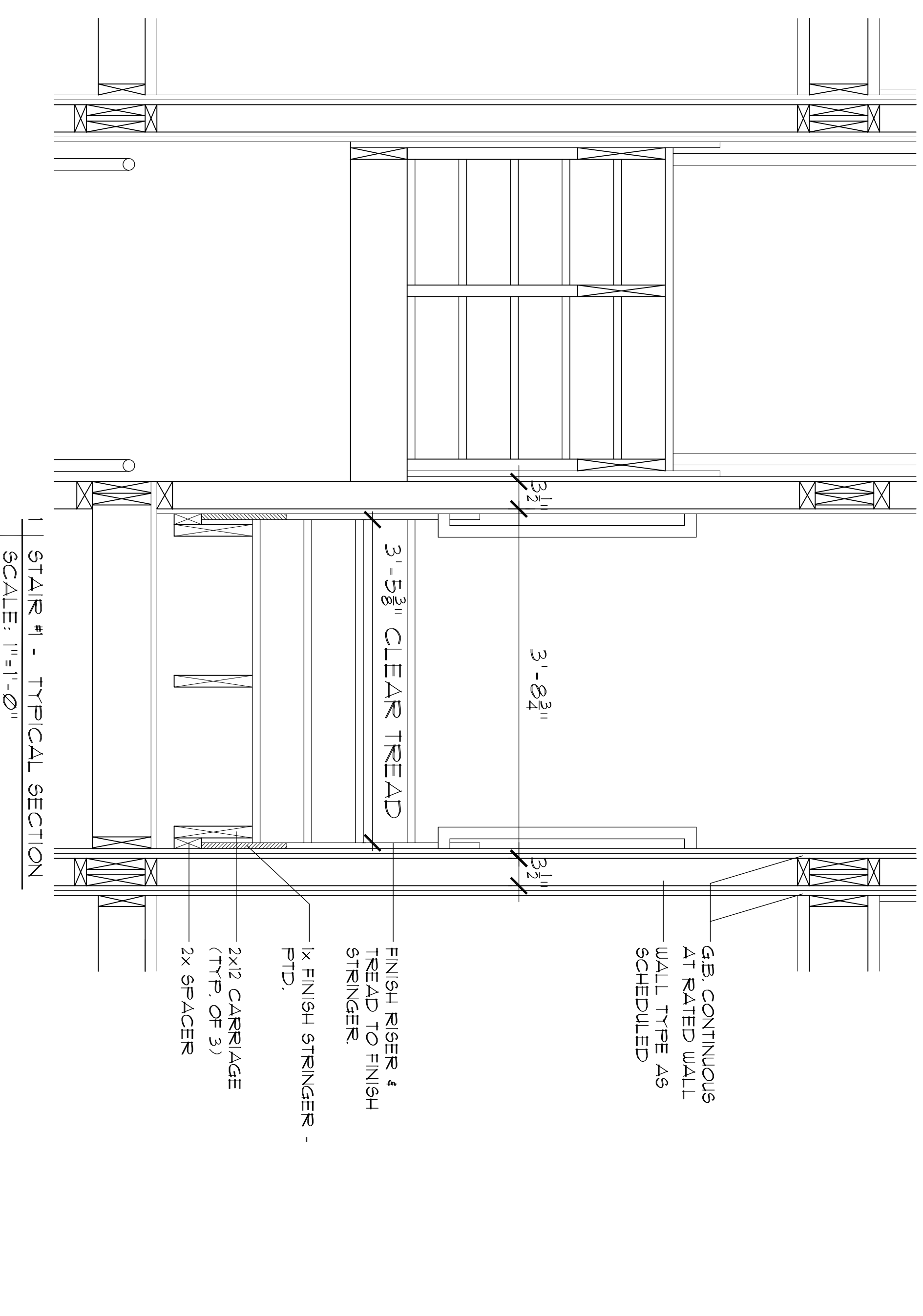
5 STAIR HANDRAIL DETAIL
SCALE: 3/4"=1'-0"



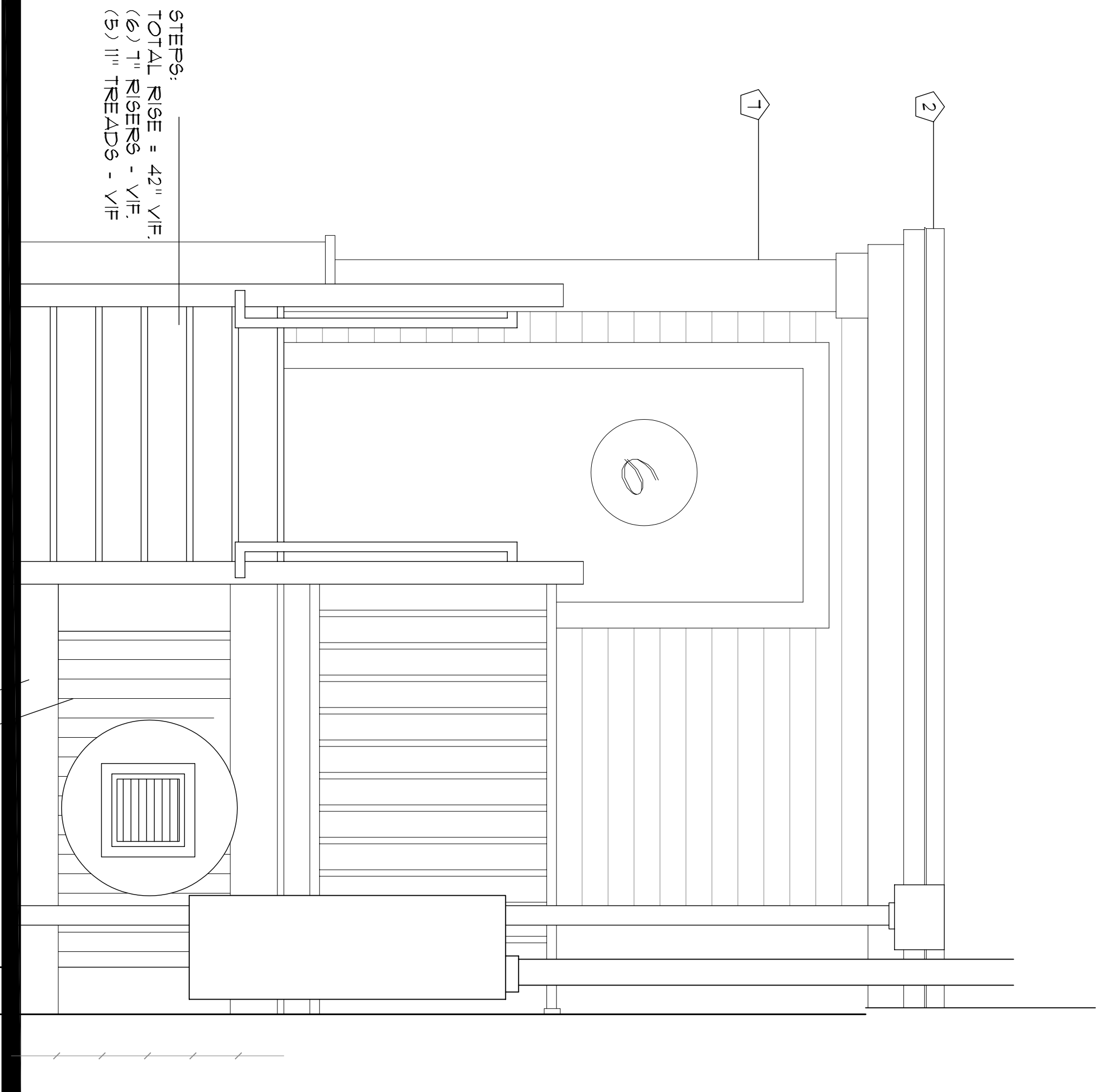
4 STAIR DETAIL
SCALE: 1/2"=1'-0"



2 STAIR #2 - TYPICAL SECTION
SCALE: 1"=1'-0"

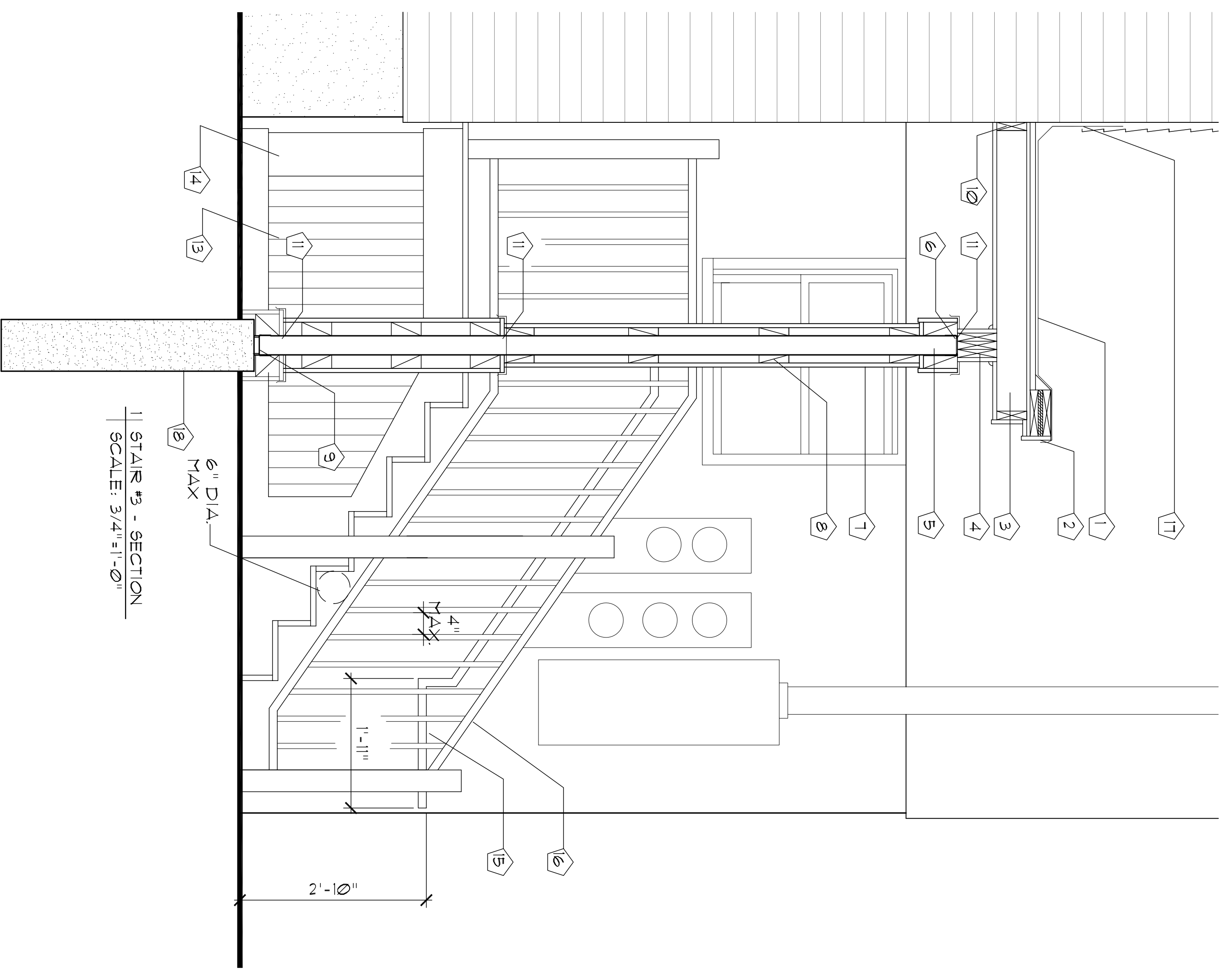


1 STAIR #1 - TYPICAL SECTION
SCALE: 1"=1'-0"



STEPS:
TOTAL RISE = 42" V/F.
(6) 7" RISERS - V/F.
(5) 11" TREADS - V/F.

2 | STAIR #3 - ELEVATION
SCALE: 3/4" = 1'-0"



1 | STAIR #3 - SECTION
SCALE: 3/4" = 1'-0"

- GENERAL NOTES:
1. PORCH & PORCH ROOF FRAMING SHALL BE P.T.
 2. PORCH DECKING SHALL BE STRUCTURAL COMPOSITE PLASTIC DECKING.
 3. PORCH GUARD RAILINGS, POSTS, BALUSTERS SHALL BE P.T. - STAINED.
 4. PORCH HAND RAILS SHALL BE METAL - PTD.

- KEYED NOTES:
- 1 ROOFING SYSTEM:
APA RATED SHEATHING
1" MIN. TAPERED INSULATION
1/2" FIBERBOARD
0000' FULLY ADHERED EPDM MEMBRANE.
 - 2 ALUM. EDGE TERMINATION - PTD.
 - 3 2x6 @ 12" O.C. RAFTERS.
 - 4 (3) 2x8 BEAM.
 - 5 4x4 POST.
 - 6 SIMPSON BC POST CAP.
 - 7 1x CELLULAR PVC TRIM (TYP.)

- 8 WOOD BLOCKING (TYP.)
- 9 SIMPSON ABA POST BASE.
- 10 2x6 LEDGER - THROUGH BOLTED.
- 11 COPPER CAP.
- 12 NOT USED.
- 13 SQUARE LATTICE.
- 14 1x8 TRIM.
- 15 2'-10" METAL HAND RAILINGS.
- 16 3'-6" GUARD RAILING.
- 17 EXTEND EPDM 8" UP WALL.
- 18 CONG. PIER.

Drawing
STAIR #3, REAR PORCH - SECTION & ELEVATION.

Date
12/15/11

Scale
As Noted

Project:
ADDITION & RENOVATION
385 CUMBERLAND AVENUE
PORTLAND, MAINE

SHIELDS ARCHITECTURE
216 Range Road, Cumberland, Maine
(207) 776-8926