

Shields Architecture
216 Range Road
Cumberland, Maine 04021
(207) 776 8926

Date: 1/4/2012

To: Steve Keltonic
The Thaxter Company
Bell Street
Portland, Maine

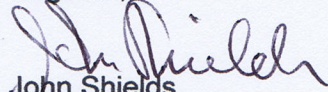
Re: City of Portland Building Permit Application
Shalom House – Renovations & Addition
385 Cumberland Avenue
Portland, Maine

Attached are the following documents to be included in your submission for a Building Permit for the Work at 385 Cumberland Avenue.

- General Building Permit Application – requires completion by the applicant.
- Site Plan – Administrative Authorization Application approved by Barbara Barhydt 12/09/11.
- Statement of Special Inspections – prepared by David Tetreault and includes special inspections of soils, foundations, concrete and structural materials, connections and details.
- Certificate of Design Application
- Accessibility Building Code Certificate
- Certificate of Design
- Construction Drawings – drawings in 36 x 24 format dated 11/9/11.
- Construction Specifications – specification book dated 11/9/11.
- Compact Disc – includes construction drawings and specifications in pdf format.

Please call if you have any questions.

Regards,



John Shields
Architect

General Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 385 Cumberland Avenue		
Total Sq. Ft. of Proposed Structure/Area - 247sf		Square Footage of Lot - 3411sf
Tax Assessor's Chart, Block & Lot Chart# 33 Block# 1 Lot# 9	Applicant *must be owner, Lessee or Buyer* Name Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name - Shalom House, Inc. Address - 106 Gilman St City, State & Zip - Portland, ME 04102	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
<p>Current legal use (i.e. single family) 8 unit apartment building. If vacant, what was the previous use? _____ Proposed Specific use: 8 unit apartment building. Is property part of a subdivision? No If yes, please name _____ Project description: Renovation of an existing 5 story (including basement) 8 unit wood apartment building. The work includes the addition of a 247 square foot 4 story stair tower replacing an existing exterior fire escape and 2 egress stairs, each protected by 2 hour construction. The building will receive a 13R sprinkler system and a fire alarm system.</p>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ _____ Who should we contact when the permit is ready: _____ Telephone: _____ _____ Mailing address: _____		

**Please submit all of the information outlined on the applicable Checklist.
 Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at

www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

Date:

This is not a permit; you may not commence ANY work until the permit is issued.



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Shalom House, 385 Cumberland Avenue, Portland, Maine

PROJECT ADDRESS: 385 Cumberland Avenue, Portland, Maine **CHART/BLOCK/LOT:** 33/1/9

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Shalom House, Inc.
Address: 106 Gilman Street
 Portland, Maine 04102
Work #: 207 874 1087
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____

CONSULTANT/AGENT

Name: John Shields
Address: Shields Architecture
 216 Range Road, Cumberland, ME 04021
Work #: _____
Cell #: 207 776 8926
Fax #: _____
Home #: _____
E-mail: jshields1@maine.rr.com

Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

Applicant's Assessment Planning Division

Y(yes), N(no), N/A Y(yes), N(no), N/A

Y	<u>N</u>
Y	<u>N</u>
Y (247 sf)	<u>Y</u>
N	<u>N - changes to parking</u>
Y	<u>Y</u>
Y	<u>Y</u>
N	<u>N</u>
N	<u>N</u>
N	<u>N</u>
Y	<u>Force req for parking</u>
Y	<u>Y</u>
N	<u>N</u>
N/A	<u>N/A</u>
N	<u>N</u>

Signature of Applicant: 	Date: 11/16/11
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Planning Division Use Only Authorization Granted X Partial Exemption Exemption Denied

- 1) The stockade fence along Parsons Street shall be installed as shown with conditions
on the Plan dated 12/7/11, prior to the issuance of a C of O.
- 2) **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization

Barbara Barkmyt
Dec. 9, 2011

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
 (See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

a) Is the proposal within existing structures?	Yes	N
b) Are there any new buildings, additions, or demolitions?	Yes	N
c) Is the footprint increase less than 500 sq. ft.?	Yes	Y
d) Are there any new curb cuts, driveways or parking areas?	No	N- changes to the parking lot, still three spaces
e) Are the curbs and sidewalks in sound condition?	Yes	Y
f) Do the curbs and sidewalks comply with ADA?	Yes	Y
g) Is there any additional parking?	No	N
h) Is there an increase in traffic?	No	N
i) Are there any known stormwater problems?	No	N
j) Does sufficient property screening exist?	Yes	Fencing required to screen and separate parking
k) Are there adequate utilities?	Yes	Y
l) Are there any zoning violations?	No	N
m) Is an emergency generator located to minimize noise?	n/a	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	No	N

The Administrative Authorization for 385 Cumberland Avenue was approved by Barbara Barhydt, Development Review Services Manager on December 9, 2011 with the following Conditions of Approval listed below:

1. The stockade fence along Parris Street shall be installed as shown on the site plan dated 12/7/11 prior to the issuance of a certificate of occupancy.
2. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Statement of Special Inspections

Project: *Addition and Renovation*

Location: *385 Cumberland Ave., Portland, ME*

Owner: *Shalom House, Inc., 106 Gilman Street Portland, ME 04102*

Design Professional in Responsible Charge: *David J. Tetreault, P.E.*

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

- Structural
- Mechanical/Electrical/Plumbing
- Architectural
- Other: _____

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *As Required*

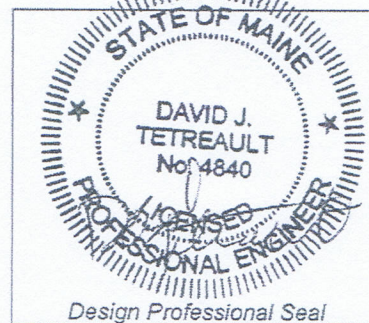
or per attached schedule.

Prepared by:

David J. Tetreault, P.E.
(type or print name)

David J. Tetreault
Signature

12/07/11
Date



Owner's Authorization:

Building Official's Acceptance:

[Signature] *12/12/11*
Signature Date

Signature Date

Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input checked="" type="checkbox"/> Wood Construction |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone
1. Special Inspection Coordinator	<i>Structural Design Consulting, Inc.</i>	<i>22 Oakmont Drive Old Orchard Beach, ME 04064-4121 207-934-8038</i>
2. Inspector	<i>SoilMetrics LLC</i>	<i>12 Farms Edge Road Cape Elizabeth, ME 04107 (207) 767-2192</i>
3 Inspector	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, ME 04039-9586 (207) 657-2866</i>
4 Testing Agency		
5. Testing Agency		
6. Other		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category *N/A*

Quality Assurance Plan Required (Y/N) *N*

Description of seismic force resisting system and designated seismic systems:

No change to the existing lateral bracing system will be made as part of this project

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) *N/A*

Wind Exposure Category *N/A*

Quality Assurance Plan Required (Y/N) *N*

No change to the existing lateral bracing system will be made as part of this project

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility. *N/A*

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Other

Soils and Foundations

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Shallow Foundations	Y	2 (P.E.)	<i>Inspect soils below footings.</i>
2. Controlled Structural Fill	N		
3. Deep Foundations	N		
4. Load Testing	N		
4. Other:	N		

Cast-in-Place Concrete

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Mix Design	Y	3 (ACI- CFTT)	Review concrete batch tickets and verify compliance with approved mix design. Verify that water added at the site does not exceed that allowed by the mix design.
2. Material Certification	N		
3. Reinforcement Installation	Y	3 (ACI- CFTT)	Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters
4. Post-Tensioning Operations	N		
5. Welding of Reinforcing	N		
6. Anchor Rods/Column Base Anchors	N		
7. Concrete Placement	Y	3 (ACI- CFTT)	Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.
8. Sampling and Testing of Concrete	Y	3 (ACI- CFTT or ACI-LTT)	Test concrete compressive strength (ASTM C31 & C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).
9. Curing and Protection	Y	3 (ACI- CFTT)	Inspect curing, cold weather protection and hot weather protection procedures.
10. Other:	N		

Wood Construction

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures	N		
2. Material Grading	Y	1 (P.E.)	Verify material grading marks.
3. Connections	Y	1 (P.E.)	Verify that connections and fastenings comply with Contract Documents
4. Framing and Details	Y	1 (P.E.)	Verify conformance with Contract Documents
5. Diaphragms and Shearwalls	N		
6. Prefabricated Wood Trusses	Y	1 (P.E.)	Inspect installation of prefabricated wood trusses, bracing and bearing details.



Certificate of Design Application

From Designer: Shields Architecture

Date: 1/4/12

Job Name: Shalom House

Address of Construction: 385 Cumberland Avenue

2009
2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) R-2

Type of Construction 5B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC yes

Is the Structure mixed use? no If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? yes Geotechnical/Soils report required? (See Section 1802.2) no

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>living areas</u>	<u>40 psf</u>
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- ~~n/a~~ Basic wind speed (1809.3)
- ~~n/a~~ Building category and wind importance Factor, I_w , table 1604.5, 1609.5
- ~~n/a~~ Wind exposure category (1609.4)
- ~~n/a~~ Internal pressure coefficient (ASCE 7)
- ~~n/a~~ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- ~~n/a~~ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- ~~n/a~~ Design option utilized (1614.1)
- ~~n/a~~ Seismic use group ("Category")
- ~~n/a~~ Spectral response coefficients, SDs & SD1 (1615.1)
- ~~n/a~~ Site class (1615.1.5)

IBC 2009 Live load reduction

- n/a Roof live loads (1603.1.2, 1607.11)
- 46 psf Roof snow loads (1603.7.3, 1608)
- 60 psf Ground snow load, P_g (1608.2)
- 46 psf If $P_g > 10$ psf, flat-roof snow load P_f
- 1.0 If $P_g > 10$ psf, snow exposure factor, C_e
- 1.0 If $P_g > 10$ psf, snow load importance factor, I_s
- 1.1 Roof thermal factor, C_t (1608.4)
- 46 psf Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- ~~n/a~~ Basic seismic force resisting system (1617.6.2)
- ~~n/a~~ Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- ~~n/a~~ Flood Hazard area (1612.3)
- ~~n/a~~ Elevation of structure

Other loads

- ~~n/a~~ Concentrated loads (1607.4)
- ~~n/a~~ Partition loads (1607.5)
- ~~n/a~~ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

Accessibility Building Code Certificate

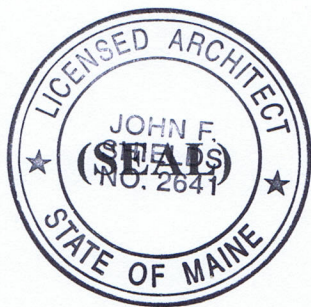


Designer: Shields Architecture

Address of Project: 385 Cumberland Avenue

Nature of Project: Renovation of an existing 8 unit apartment building.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature:

Title: Architect

Firm: Shields Architecture

Address: 216 Range Road, Cumberland, Maine 04021

Phone: 207 776 8926

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Certificate of Design



Date: 1/4/2012

From: Shields Architecture
216 Range Road
Cumberland, Maine 04021

These plans and / or specifications covering construction work on:

Shalom House
385 Cumberland Avenue
Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.

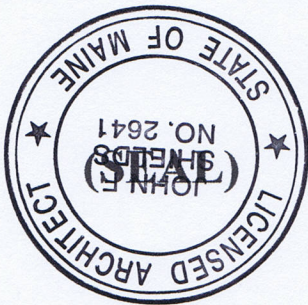
Signature:

Title: Architect

Firm: Shields Architecture

Address: 216 Range Road, Cumberland, Maine

Phone: 207 776 8926



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