

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that SHALOM HOUSE, LLC

Located At 385 CUMBERLAND AVE

Job ID: 2012-01-3049-ALTCOMM

CBL: 033-1-009-001

has permission to Renovate 8 existing apartments, add new egress stair tower, rebuild main interior stair, sprinkler system provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 3/1/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Periodic framing inspections as required

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection, including final report of special inspections

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2012-01-3049-ALTCOMM

Located At: 385 CUMBERLAND
AVE

CBL: 033- I-009-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain an eight family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Application approval based upon information provided by applicant, including revisions and details submitted as dated. Any deviation from approved plans and specifications requires separate review and approval prior to work.
2. Per IBC Sec. 3401.3 for existing buildings and dwelling units, compliance with smoke and carbon monoxide detection shall be per City Ordinance Chapter 10 and NFPA 101.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. A final special inspection report must be submitted prior to the final inspection. This report must demonstrate any deficiencies and corrective measures that were taken.
5. State law requires notification of hazardous materials and abatement by a licensed professional

Fire

1. 385 Cumberland Ave; 8-unit; 4 stories-in-height; the scope of work is reconstruction.
2. All construction shall comply with City Code Chapter 10.
3. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
4. Application requires State Fire Marshal approval.
5. A fire alarm and supervised, automatic sprinkler system, and Class I standpipes are required. NFPA 13R should be acceptable for the sprinkler system.
6. Heat detectors are not required w/ the supervised, automatic sprinkler system.
7. A separate Fire Alarm Permit is required. This review does not include approval of fire alarm system design or installation.
8. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.

9. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
10. All smoke detectors and smoke alarms shall be photoelectric.
11. Carbon Monoxide is detection required in accordance with NFPA 720, *Standard for Installation of Carbon Monoxide (CO) Detection and Warning Equipment*, 2009 edition.
12. The sprinkler system shall be installed in accordance with NFPA 13 or 13R.
13. A separate Suppression System Permit is required. This review does not include approval of sprinkler system design or installation.
14. Sprinkler supervision shall be provided in accordance with NFPA 101, *Life Safety Code*, and NFPA 72, *National Fire Alarm and Signaling Code*.
15. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
16. Fire department connection type and location shall be approved in writing by fire prevention bureau. The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.
17. System acceptance and commissioning must be coordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
18. Installation of a sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.
19. A firefighter Building Marking Sign is required.
20. The Standpipe system shall be installed in accordance with NFPA 14. A signed compliance letter will be required.
21. Fire extinguishers are required per NFPA 10.
22. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
23. Any cutting and welding done will require a Hot Work Permit from Fire Department.
24. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
25. A single source supplier should be used for all through penetrations.

B3

Entered
708

2012 01 30 4a

60

General Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 385 Cumberland Avenue		
Total Sq. Ft. of Proposed Structure/Area - 247sf	Square Footage of Lot - 3411sf	
Tax Assessor's Chart, Block & Lot Chart# 33 Block# 1 Lot# 9	Applicant * must be owner, Lessee or Buyer* Name <u>The Thayer Co.</u> Address <u>55 Bell St.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>878-5553</u> <u>x105</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name - Shalom House, Inc. Address - 106 Gilman St City, State & Zip - Portland, ME 04102	Cost Of Work: \$ <u>533,100.</u> C of O Fee: \$ _____ Total Fee: \$ <u>5,360.00</u>
Current legal use (i.e. single family) <u>8 unit apartment building.</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>8 unit apartment building.</u> Is property part of a subdivision? No If yes, please name _____ Project description: <u>Renovation of an existing 5 story (including basement) 8 unit wood apartment building. The work includes the addition of a 247 square foot 4 story stair tower replacing an existing exterior fire escape and 2 egress stairs, each protected by 2 hour construction. The building will receive a 13R sprinkler system and a fire alarm system.</u>		
Contractor's name: <u>The Thayer Company</u> Address: <u>55 Bell St</u> City, State & Zip: <u>Portland ME 04103</u> Telephone: <u>878-5553</u> Who should we contact when the permit is ready: <u>STEVE KELTONIC</u> Telephone: <u>653-9821</u> Mailing address: <u>same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division of the City of Portland, Maine at **JAN 6 2012**

Dept. of Building Inspections
City of Portland Maine

www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

Date:

This is not a permit; you may not commence ANY work until the permit is issued.

Jeanie Bourke - 385 Cumberland Ave, Shalom House - Administrative Authorization - Building Permit

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 2/27/2012 12:47 PM
Subject: 385 Cumberland Ave, Shalom House - Administrative Authorization - Building Permit

Hi all, this project, #2011-388, the Administrative Authorization for 385 Cumberland Ave., meets minimum DRC site plan requirements, and Administrative Authorization conditions of approval for the issuance of a building permit. The PG has been posted for the site work. Please contact me with any questions.

Thanks.

Phil

Shields Architecture
216 Range Road
Cumberland, Maine 04021
(207) 776 8926

Date: 1/4/2012

To: Steve Keltonic
The Thaxter Company
Bell Street
Portland, Maine

Re: City of Portland Building Permit Application
Shalom House – Renovations & Addition
385 Cumberland Avenue
Portland, Maine

Attached are the following documents to be included in your submission for a Building Permit for the Work at 385 Cumberland Avenue.

- General Building Permit Application – requires completion by the applicant.
- Site Plan – Administrative Authorization Application approved by Barbara Barhydt 12/09/11.
- Statement of Special Inspections – prepared by David Tetreault and includes special inspections of soils, foundations, concrete and structural materials, connections and details.
- Certificate of Design Application
- Accessibility Building Code Certificate
- Certificate of Design
- Construction Drawings – drawings in 36 x 24 format dated 11/9/11.
- Construction Specifications – specification book dated 11/9/11.
- Compact Disc – includes construction drawings and specifications in pdf format.

Please call if you have any questions.

Regards,



John Shields
Architect

Owner
~~Applicant:~~ Shalom House.
Applicant - The Thrasher Co.
Address: 385 Cumberland Ave

Date: Jan. 9, 2012

C-B-L: 33-I-009
perm # 2012-01-3049

CHECK-LIST AGAINST ZONING ORDINANCE

Date - built 1900.

Zone Location - B-3

Interior or corner lot - corner.

Proposed Use/Work - existing

Sevage Disposal - city

Lot Street Frontage - 15'

Front Yard -

Rear Yard -  N/A none

Side Yard -

Projections -

Width of Lot - N/A none

Height - min. height 35' ~~except~~ ^{38.5' is ok (ok)} ~~44-220 (2)(a) additional than 250'~~

Lot Area - no minimum - ~~2400~~ 3411 sq ft

Lot Coverage/ Impervious Surface - 100%

Area per Family - N/A

Off-street Parking - not shown on use - main house what there.

Loading Bays - N/A

Site Plan - Admin. Action taken Jan 30th.

Shoreland Zoning/ Stream Protection - N/A

Flood Plains -



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

#2011-388

PROJECT NAME: Shalom House, 385 Cumberland Avenue, Portland, Maine

PROJECT ADDRESS: 385 Cumberland Avenue, Portland, Maine **CHART/BLOCK/LOT:** 33/1/9

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Shalom House, Inc.
Address: 106 Gilman Street
 Portland, Maine 04102
Work #: 207 874 1087
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____

CONSULTANT/AGENT

Name: John Shields
Address: Shields Architecture
 216 Range Road, Cumberland, ME 04021
Work #: _____
Cell #: 207 776 8926
Fax #: _____
Home #: _____
E-mail: jshields1@maine.rr.com

Criteria for an Administrative Authorizations: (see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division Y(yes), N(no), N/A

Criteria	Applicant's Assessment	Planning Division
	Y(yes), N(no), N/A	Y(yes), N(no), N/A
a) Is the proposal within existing structures?	Y	<u>N</u>
b) Are there any new buildings, additions, or demolitions?	Y	<u>N</u>
c) Is the footprint increase less than 500 sq. ft.?	Y (247 sf)	<u>Y</u>
d) Are there any new curb cuts, driveways or parking areas?	N	<u>N - changes to parking</u>
e) Are the curbs and sidewalks in sound condition?	Y	<u>Y</u>
f) Do the curbs and sidewalks comply with ADA?	Y	<u>Y</u>
g) Is there any additional parking?	N	<u>N</u>
h) Is there an increase in traffic?	N	<u>N</u>
i) Are there any known stormwater problems?	N	<u>N</u>
j) Does sufficient property screening exist?	Y	<u>Force req for parking</u>
k) Are there adequate utilities?	Y	<u>Y</u>
l) Are there any zoning violations?	N	<u>N</u>
m) Is an emergency generator located to minimize noise?	N/A	<u>N/A</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	N	<u>N</u>

Signature of Applicant: 	Date: 11/16/11
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Planning Division Use Only

Authorization Granted Partial Exemption Exemption Denied

- 1) The stockade fence along Parrie Street shall be installed as shown on the plan dated 12/7/11, ^{with conditions} prior to the issuance of a C of O.
- 2) **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

*Barbara Barbydt
Dec. 9, 2011*

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	Yes	N
b) Are there any new buildings, additions, or demolitions?	Yes	N
c) Is the footprint increase less than 500 sq. ft.?	Yes	Y
d) Are there any new curb cuts, driveways or parking areas?	No	N- changes to the parking lot, still three spaces
e) Are the curbs and sidewalks in sound condition?	Yes	Y
f) Do the curbs and sidewalks comply with ADA?	Yes	Y
g) Is there any additional parking?	No	N
h) Is there an increase in traffic?	No	N
i) Are there any known stormwater problems?	No	N
j) Does sufficient property screening exist?	Yes	Fencing required to screen and separate parking
k) Are there adequate utilities?	Yes	Y
l) Are there any zoning violations?	No	N
m) Is an emergency generator located to minimize noise?	n/a	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	No	N

The Administrative Authorization for 385 Cumberland Avenue was approved by Barbara Barhydt, Development Review Services Manager on December 9, 2011 with the following Conditions of Approval listed below:

1. The stockade fence along Parris Street shall be installed as shown on the site plan dated 12/7/11 prior to the issuance of a certificate of occupancy.
2. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Statement of Special Inspections

Project: *Addition and Renovation*
 Location: *385 Cumberland Ave., Portland, ME*
 Owner: *Shalom House, Inc., 106 Gilman Street Portland, ME 04102*
 Design Professional in Responsible Charge: *David J. Tetreault, P.E.*

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Special Inspection Coordinator and the identity of other approved agencies to be retained for conducting these inspections and tests. This *Statement of Special Inspections* encompass the following disciplines:

- Structural Mechanical/Electrical/Plumbing
 Architectural Other: _____

The Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Registered Design Professional in Responsible Charge.

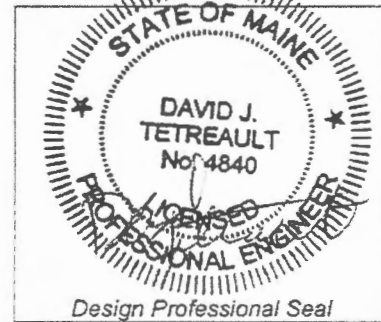
A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *As Required* or per attached schedule.

Prepared by:

David J. Tetreault, P.E.
 (type or print name)



David J. Tetreault *12/07/11*
 Signature Date

Owner's Authorization:

Building Official's Acceptance:

[Signature] *12/12/11*
 Signature Date

 Signature Date

Statement of Special Inspections

Project: *Addition and Renovation*

Location: *385 Cumberland Ave., Portland, ME*

Owner: *Shalom House, Inc., 106 Gilman Street Portland, ME 04102*

Design Professional in Responsible Charge: *David J. Tetreault, P.E.*

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- Structural
- Mechanical/Electrical/Plumbing
- Architectural
- Other: _____

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Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: *As Required*

or per attached schedule.

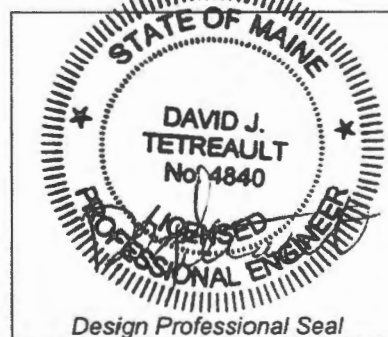
Prepared by:

David J. Tetreault, P.E.

(type or print name)

David J. Tetreault
Signature

12/07/11
Date



Owner's Authorization:

Building Official's Acceptance:

Signature

Date

Signature

Date

Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input checked="" type="checkbox"/> Wood Construction |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone
1. Special Inspection Coordinator	<i>Structural Design Consulting, Inc.</i>	<i>22 Oakmont Drive Old Orchard Beach, ME 04064-4121 207-934-8038</i>
2. Inspector	<i>SoilMetrics LLC</i>	<i>12 Farms Edge Road Cape Elizabeth, ME 04107 (207) 767-2192</i>
3 Inspector	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, ME 04039-9586 (207) 657-2866</i>
4 Testing Agency		
5. Testing Agency		
6. Other		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Quality Assurance Plan

Quality Assurance for Seismic Resistance

Seismic Design Category *N/A*

Quality Assurance Plan Required (Y/N) *N*

Description of seismic force resisting system and designated seismic systems:

No change to the existing lateral bracing system will be made as part of this project

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) *N/A*

Wind Exposure Category *N/A*

Quality Assurance Plan Required (Y/N) *N*

No change to the existing lateral bracing system will be made as part of this project

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility. *N/A*

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Other

Soils and Foundations

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Shallow Foundations	Y	2 (P.E.)	<i>Inspect soils below footings.</i>
2. Controlled Structural Fill	N		
3. Deep Foundations	N		
4. Load Testing	N		
4. Other:	N		

Cast-in-Place Concrete

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Mix Design	Y	3 (ACI- CFTT)	Review concrete batch tickets and verify compliance with approved mix design. Verify that water added at the site does not exceed that allowed by the mix design.
2. Material Certification	N		
3. Reinforcement Installation	Y	3 (ACI- CFTT)	Inspect size, spacing, cover, positioning and grade of reinforcing steel. Verify that reinforcing bars are free of form oil or other deleterious materials. Inspect bar laps and mechanical splices. Verify that bars are adequately tied and supported on chairs or bolsters
4. Post-Tensioning Operations	N		
5. Welding of Reinforcing	N		
6. Anchor Rods/Column Base Anchors	N		
7. Concrete Placement	Y	3 (ACI- CFTT)	Inspect placement of concrete. Verify that concrete conveyance and depositing avoids segregation or contamination. Verify that concrete is properly consolidated.
8. Sampling and Testing of Concrete	Y	3 (ACI- CFTT or ACI-LTT)	Test concrete compressive strength (ASTM C31 & C39), slump (ASTM C143), air-content (ASTM C231 or C173) and temperature (ASTM C1064).
9. Curing and Protection	Y	3 (ACI- CFTT)	Inspect curing, cold weather protection and hot weather protection procedures.
10. Other:	N		

Wood Construction

Item	Req'd Y/N	Agency # (Qualif.)	Scope
1. Fabricator Certification/ Quality Control Procedures	N		
2. Material Grading	Y	1 (P.E.)	Verify material grading marks.
3. Connections	Y	1 (P.E.)	Verify that connections and fastenings comply with Contract Documents
4. Framing and Details	Y	1 (P.E.)	Verify conformance with Contract Documents
5. Diaphragms and Shearwalls	N		
6. Prefabricated Wood Trusses	Y	1 (P.E.)	Inspect installation of prefabricated wood trusses, bracing and bearing details.

Accessibility Building Code Certificate



Designer: Shields Architecture

Address of Project: 385 Cumberland Avenue

Nature of Project: Renovation of an existing 8 unit apartment building.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *J. Shields*

Title: Architect

Firm: Shields Architecture

Address: 216 Range Road, Cumberland, Maine 04021

Phone: 207 776 8926

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Certificate of Design




Date: 1/4/2012

From: Shields Architecture
216 Range Road
Cumberland, Maine 04021

These plans and / or specifications covering construction work on:

Shalom House
385 Cumberland Avenue
Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.

Signature: 

Title: Architect

Firm: Shields Architecture

Address: 216 Range Road, Cumberland, Maine

Phone: 207 776 8926



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STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

Construction Permit

No.20497

In accordance with the provisions of M.R.S.A. Title 25, Chapter 317, Sec.317 and Title 5, Section 4594-F, permission is hereby granted to construct or alter the following referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from application form/plans shall be made without prior approval in writing. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Each permit issued shall be displayed at the site of construction.

Building: SHALOM HOUSE
Location: 385 CUMBERLAND AVE, PORTLAND, ME 04101-2965
Owner: SHALOM HOUSE
Owner Address: 106 GILMAN ST, PORTLAND, ME 04102-3034

Occupancy Type: Apartments
Use Layout: Single Use
Supervised Sprinkler System
Monitored Fire Alarm System
Barrier Free
Construction Mode: Renovation
Unprotected Wood Frame: Type V (000)
Final Number of Stories: 5

Permit Date: 01/14/2012

Expiration Date: 07/13/2012

A handwritten signature in black ink that reads "John E. Moran".

COMMISSIONER OF PUBLIC SAFETY

Copy 2 - Architect











Shields Architecture
216 Range Road
Cumberland, Maine 04021

Date: 2/7/2012

To: City Hall
Building Inspection Department
Jeannie Bourke
Code Enforcement Officer
389 Congress Street
Portland, Maine 04101

Re: Building Permit Application
Shalom House
385 Cumberland Avenue
Portland, Maine

Hello Jeannie,

Thanks for sitting down with Steve and I at the Fire Station with Ben Wallace on Monday, February 1st. Attached are the following documents you requested during the meeting.

- Specifications Book – Fire Stopping and Smoke Seals are included in Section 07860.
- Updated Life Safety Drawing LP1-4 – (2) hour walls are shown in red, ½ hour corridor walls are shown in green. Please see that Ben gets a copy of these.
- State Fire Marshal Permit – a copy of the Fire Marshal's Construction and Barrier Free permit is attached.

Please call me if you have any questions, my cell is (207) 776 8926.

Regards,



John Shields
Architect

Cc: Norman Maze – Shalom House

RECEIVED
FEB 08 2012
Dept. of Building Inspections
City of Portland, Maine



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
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COMMISSIONER OF PUBLIC SAFETY

Copy 2 - Architect



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

Jan 6, 2012

Received from The Theater Co.

Location of Work 375 Commercialville

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 033 I 009

Check #: 35 237 Total Collected \$ 5,260.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy