



Administrative Authorization Application

Portland, Maine
 Planning and Urban Development Department, Planning Division

PROJECT NAME: Shalom House, 385 Cumberland Avenue, Portland, Maine

PROJECT ADDRESS: 385 Cumberland Avenue, Portland, Maine **CHART/BLOCK/LOT:** 33/1/9

APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Shalom House, Inc.
Address: 106 Gilman Street
 Portland, Maine 04102
Work #: 207 874 1087
Cell #: _____
Fax #: _____
Home #: _____
E-mail: _____

CONSULTANT/AGENT

Name: John Shields
Address: Shields Architecture
 216 Range Road, Cumberland, ME 04021
Work #: _____
Cell #: 207 776 8926
Fax #: _____
Home #: _____
E-mail: jshields1@maine.rr.com

Criteria for an Administrative Authorizations:
 (see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment Planning Division
 Y(yes), N(no), N/A

	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Y(yes), N(no), N/A
a) Is the proposal within existing structures?	Y	<u>N</u>
b) Are there any new buildings, additions, or demolitions?	Y	<u>N</u>
c) Is the footprint increase less than 500 sq. ft.?	Y (247 sf)	<u>Y</u>
d) Are there any new curb cuts, driveways or parking areas?	N	<u>N - change to parking</u>
e) Are the curbs and sidewalks in sound condition?	Y	<u>Y</u>
f) Do the curbs and sidewalks comply with ADA?	Y	<u>Y</u>
g) Is there any additional parking?	N	<u>N</u>
h) Is there an increase in traffic?	N	<u>N</u>
i) Are there any known stormwater problems?	N	<u>N</u>
j) Does sufficient property screening exist?	Y	<u>Fence req by parking</u>
k) Are there adequate utilities?	Y	<u>Y</u>
l) Are there any zoning violations?	N	<u>N</u>
m) Is an emergency generator located to minimize noise?	N/A	<u>N/A</u>
n) Are there any noise, vibration, glare, fumes or other impacts?	N	<u>N</u>

Signature of Applicant: 	Date: <u>11/16/11</u>
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Planning Division Use Only

Authorization Granted Partial Exemption Exemption Denied

With conditions

- 1) The stockade fence along *Parris Street* shall be installed as shown on the plan dated *12/7/11*, prior to the issuance of a C of O.
- 2) Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization

Barbara Barkhoff
Dec. 9, 2011

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	Yes	N
b) Are there any new buildings, additions, or demolitions?	Yes	N
c) Is the footprint increase less than 500 sq. ft.?	Yes	Y
d) Are there any new curb cuts, driveways or parking areas?	No	N- changes to the parking lot, still three spaces
e) Are the curbs and sidewalks in sound condition?	Yes	Y
f) Do the curbs and sidewalks comply with ADA?	Yes	Y
g) Is there any additional parking?	No	N
h) Is there an increase in traffic?	No	N
i) Are there any known stormwater problems?	No	N
j) Does sufficient property screening exist?	Yes	Fencing required to screen and separate parking
k) Are there adequate utilities?	Yes	Y
l) Are there any zoning violations?	No	N
m) Is an emergency generator located to minimize noise?	n/a	N/A
n) Are there any noise, vibration, glare, fumes or other impacts?	No	N

The Administrative Authorization for 385 Cumberland Avenue was approved by Barbara Barhydt, Development Review Services Manager on December 9, 2011 with the following Conditions of Approval listed below:

1. The stockade fence along Parris Street shall be installed as shown on the site plan dated 12/7/11 prior to the issuance of a certificate of occupancy.
2. Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

Shields Architecture
216 Range Road
Cumberland, Maine 04021

Date: 11/16/2011

To: Barbara Barhydt
Development Review Services Manager
City of Portland
Planning Department
389 Congress Street
Portland, Maine 04101

Re: Site Plan Review - Administrative Authorization Application
Shalom House
385 Cumberland Avenue
Portland, Maine

Hello Barbara,

Attached are the following documents regarding the site plan review of the proposed work at 385 Cumberland Avenue.

1. Administrative Authorization Application.
2. Payment of \$50.00.
3. Drawings S-1 Site Plan, A-4 South & East Exterior Elevations, A-5 North & West Exterior Elevations. Included are one set each in 11x17 and 24x36 formats.

In summary the project consists of the renovation of an existing 5 story (including basement) 8 unit wood apartment building. The building will remain in use as an 8 unit apartment building and the renovation includes the addition of an enclosed stair tower replacing an exterior fire escape. The footprint of the addition totals 247 square feet.

Presently there is space in the rear gravel surfaced back yard to park 3 cars, the proposed site plan provides the same.

Please call me if you have any questions.

Regards,

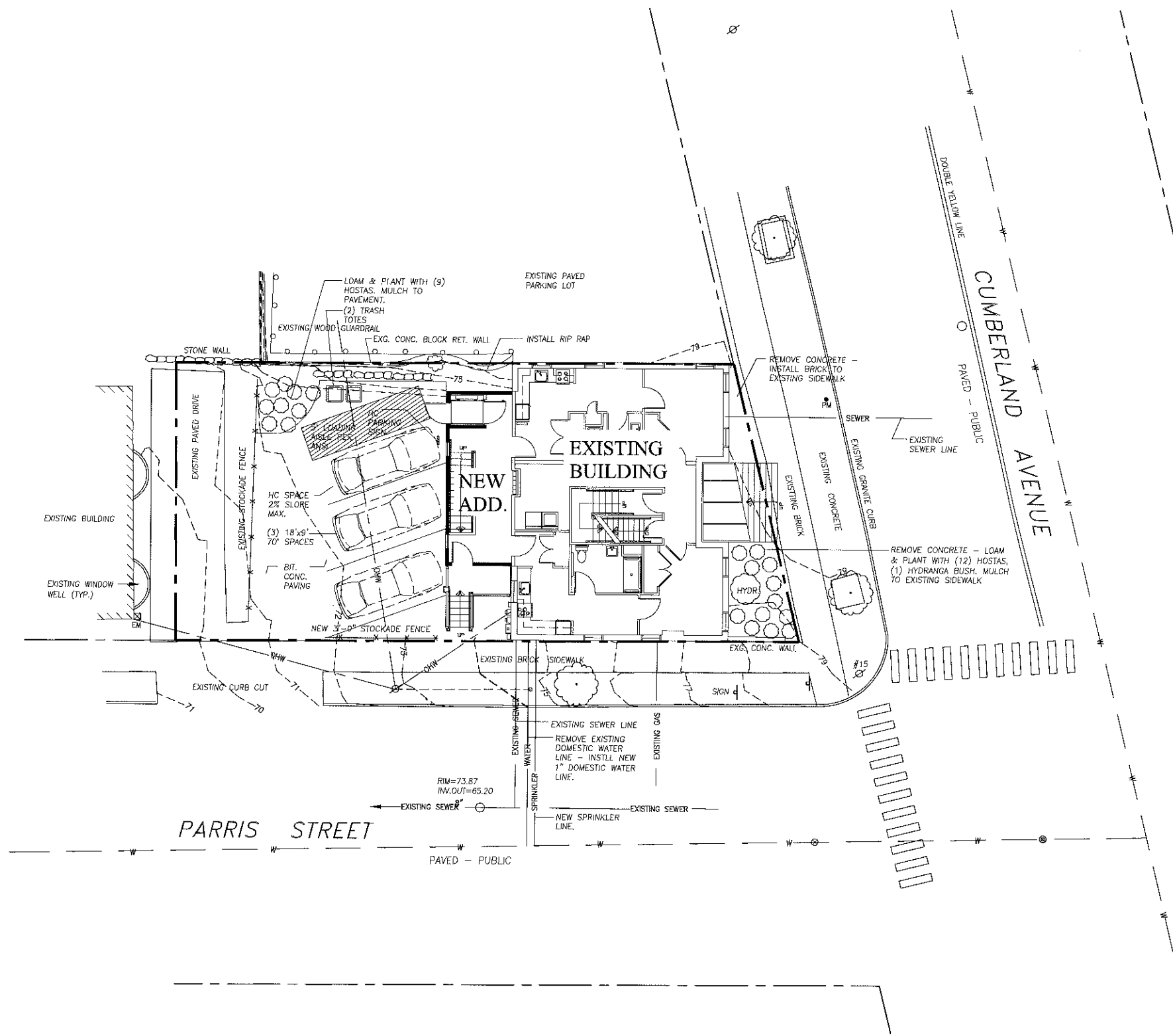


John Shields
Architect

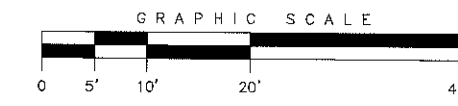
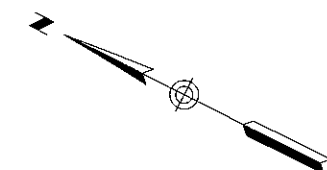
Cc: Norman Maze – Shalom House

Final Approved Plan
 Stockade fence required as
 shown along Parris Street

Barbara Burkhoff
 12/9/11



- LEGEND:**
- ⊙ GAS VALVE
 - ⊗ WATER VALVE
 - ⊕ UTILITY POLE
 - MANHOLE
 - ⊠ ELECTRIC METER
 - ⊙ EM PARKING METER
 - ⊙ PM SIGN
 - ⊙ DECIDUOUS TREE
 - X — FENCE
 - ○ — STONE WALL
 - — — CURB
 - OHW — OVERHEAD WIRES
 - G — GAS LINE
 - 100 — 1" CONTOUR
 - W — WATER LINE
 - — — PROPERTY LINE



SHIELDS ARCHITECTURE
 216 Range Road, Cumberland, Maine
 (207) 776-8926

ADDITION & RENOVATION
 385 CUMBERLAND AVENUE
 PORTLAND, MAINE

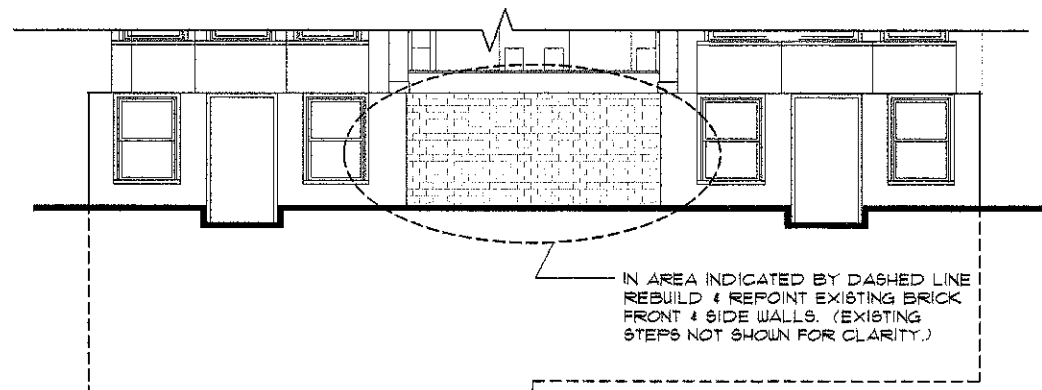
Project:
 Scale: 1/8" = 1'-0"
 Date: 12/07/11
 City of Portland - Administrative
 Authorization Site Plan Application.

SITE PLAN

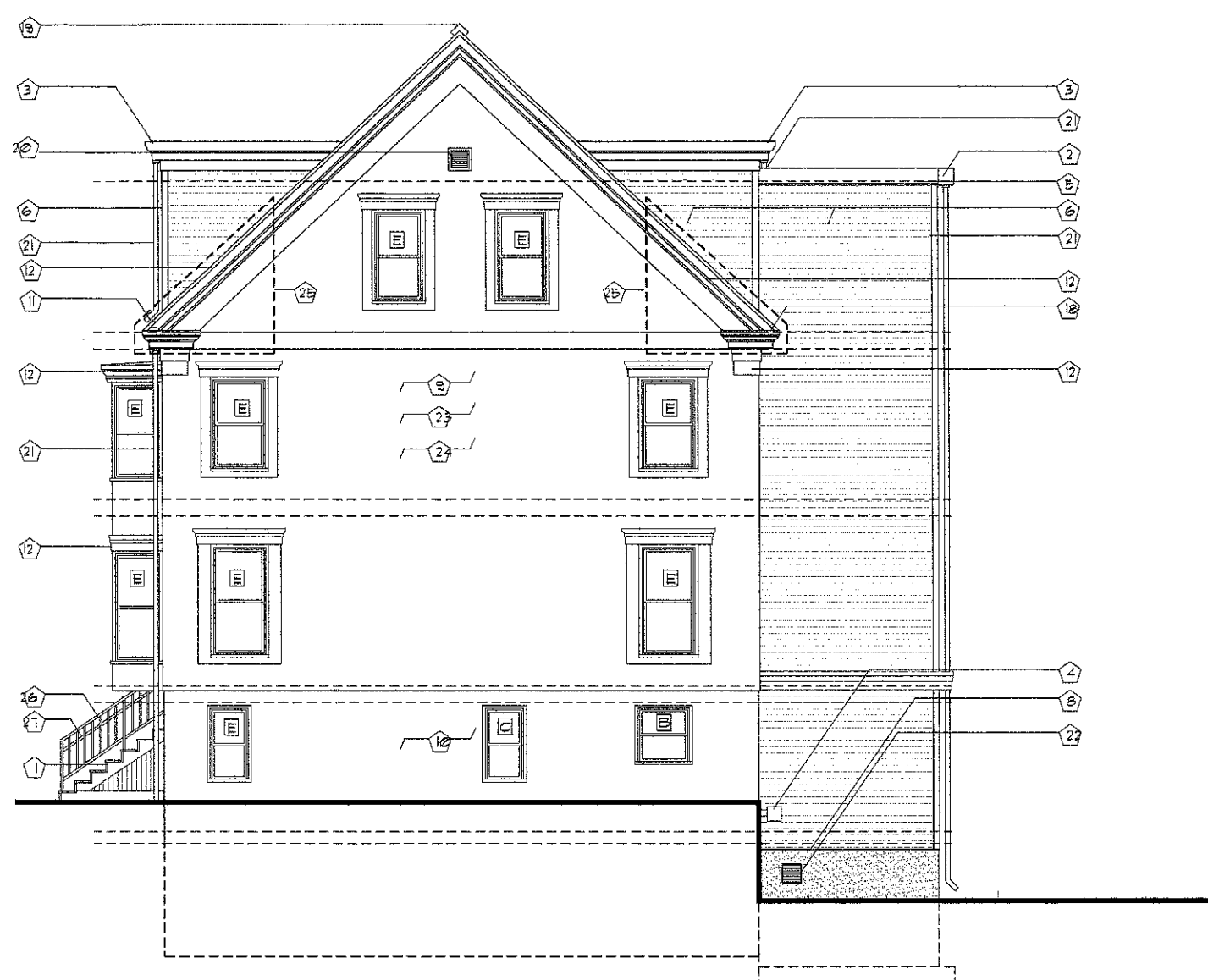
S-1



2 SOUTH ELEVATION
1/4" = 1'-0"



2a EXISTING SOUTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

LEGEND

- NEW DOOR
- NEW WINDOW
- EXISTING WINDOW TO REMAIN

KEYED NOTES

- 1 EXISTING WOOD STEPS - PAINT & SCRAPE.
- 2 SCUFFER & LEADER.
- 3 ALUM. WRAPPED EAVE TRIM - PTD.
- 4 DIRECT VENT FROM BOILER.
- 5 METAL EDGE TERMINATION.
- 6 VINYL SIDING.
- 7 NOT USED.
- 8 CONCRETE FOUNDATION.
- 9 EXISTING ALUMINUM SIDING.
- 10 EXISTING BRICK WALL.
- 11 EXISTING GUTTER.
- 12 EXISTING WOOD TRIM - SCRAPE & PAINT (TYP.).

1

A

E

12 ASPHALT SHINGLES.

14 BRICK INFILL TO MATCH EXISTING AT EXISTING DOOR OPENING (TYP. OF 2).

15 RAISED WOOD PANEL - PTD.

16 NOT USED.

17 NOT USED.

18 EXISTING GUTTER - CAP OVER WITH COPPER SHEETING.

19 RIDGE VENT.

20 1'-0" SQUARE VENT (TYP. OF 2).

21 LEADER.

22 1'-0" SQUARE CRAWLSPACE VENT (TYP. OF 2).

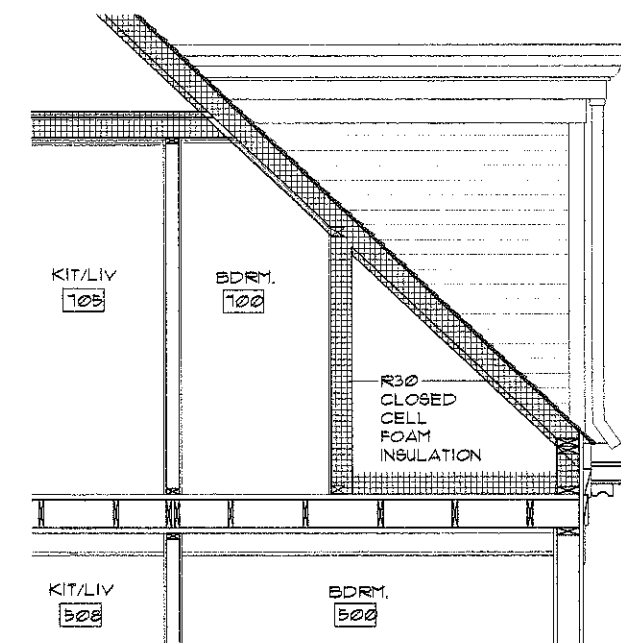
23 SEE ADD ALTERNATE NO. 1 - REMOVE EXISTING ALUM. SIDING, INSTALL VINYL SIDING.

24 SEE ADD ALTERNATE NO. 2 - INSTALL BLOW-IN CELLULOSE INSULATION IN EXTERIOR WALL.

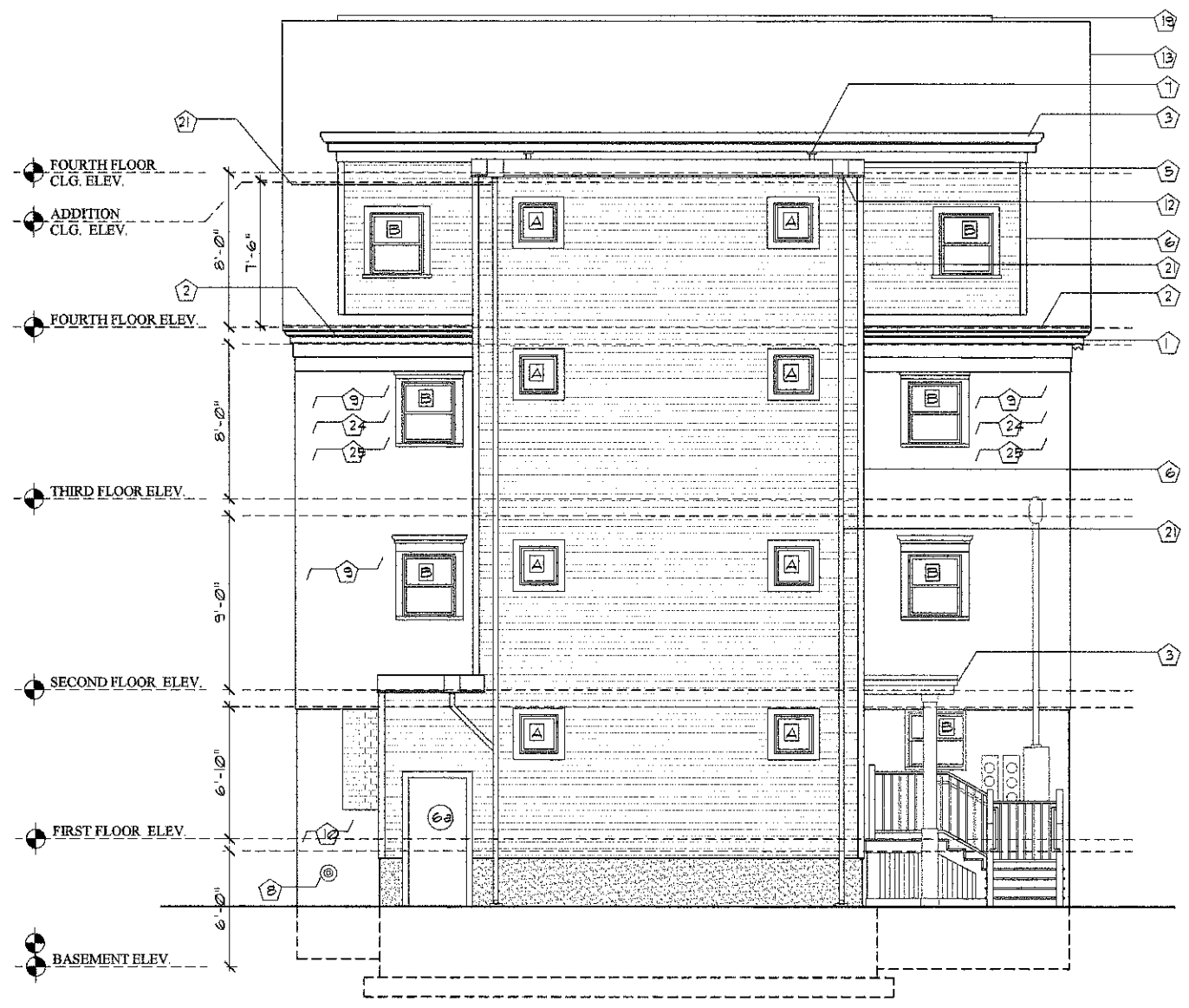
25 SEE DETAIL A/A-5 FOR INSULATION AT KNEE WALL SPACES - (TYP. OF 4).

26 3'-6" METAL GUARD RAIL (TYP.).

27 2'-10" METAL HAND RAIL (TYP.).



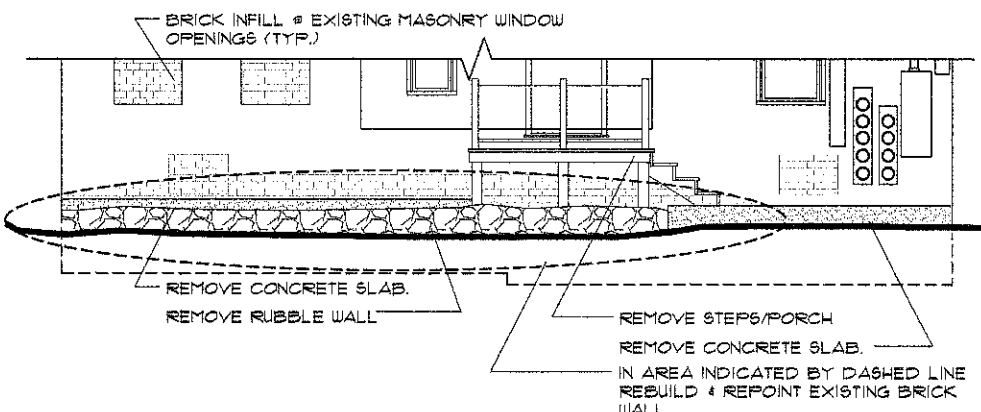
A INSULATION DETAIL AT KNEE WALL
1/2" = 1'-0"



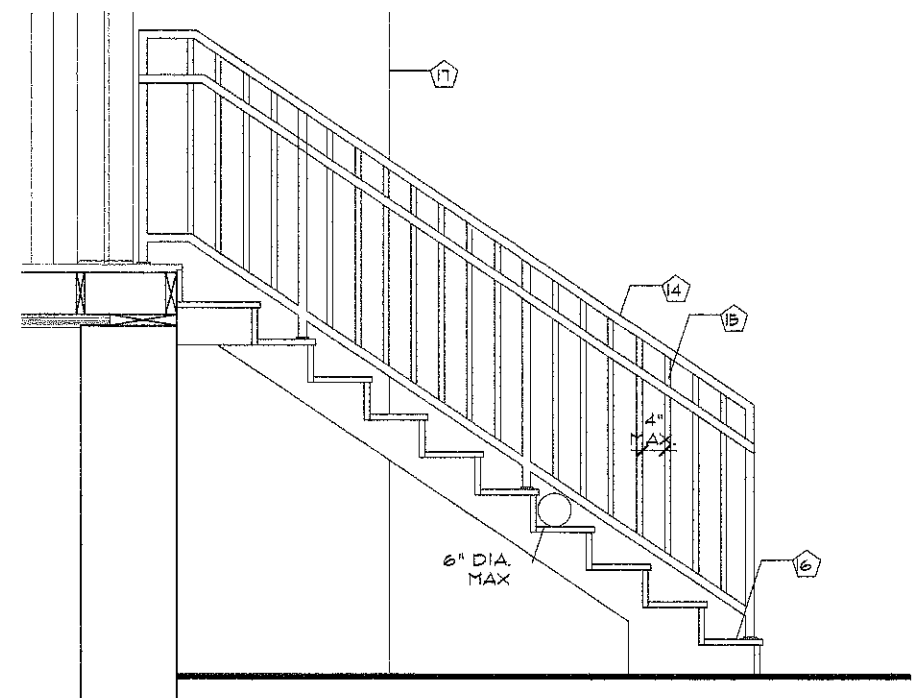
2 NORTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"



2a EXISTING NORTH ELEVATION
1/4" = 1'-0"



3 RAILINGS AT EXISTING FRONT STEPS
3/4" = 1'-0"

LEGEND

- NEW DOOR
- NEW WINDOW
- EXISTING WINDOW TO REMAIN

KEYED NOTES

- 1 EXISTING WOOD TRIM - SCRAPE & PAINT (TYP.)
- 2 EXISTING GUTTER - COVER WITH COPPER SHEETING.
- 3 ALUM. WRAPPED EAVE TRIM - FTD.
- 4 EXISTING WINDOW - SEAL JOINTS, INSTALL EXTERIOR STORM WINDOW.
- 5 METAL EDGE TERMINATION.
- 6 VINYL SIDING.
- 7 DOWNSPOUT - SEE DETAIL B/A3. (TYP. OF 2 PLACES)
- 8 DIRECT VENT.
- 9 EXISTING ALUMINUM SIDING.
- 10 EXISTING BRICK WALL.
- 11 EXISTING WOOD TRIM - SCRAPE & PAINT (TYP.)
- 12 SCUPPER (TYP.)

- 13 ASPHALT SHINGLES.
- 14 42" HIGH METAL GUARDRAIL - FTD. (TYP. OF 3)
- 15 34" HIGH METAL HANDRAIL - FTD. (RETURN ALL ENDS.) (TYP. OF 4)
- 16 EXISTING STEPS
- 17 FACE OF BUILDING.
- 18 EXISTING GUTTER
- 19 RIDGE VENT.
- 20 1'-0" SQUARE VENT (TYP. OF 2).
- 21 LEADER (TYP.)
- 22 1'-0" SQUARE CRAWLSPACE VENT
- 23 WOOD PORCH - FTD.
- 24 SEE ADD ALTERNATE NO. 1 - REMOVE EXISTING ALUM. SIDING, INSTALL VINYL SIDING.
- 25 SEE ADD ALTERNATE NO. 2 - INSTALL BLOW-IN CELLULOSE INSULATION IN EXTERIOR WALL.

SHIELDS ARCHITECTURE
216 Range Road, Cumberland, Maine
(207) 776-8926

ADDITION & RENOVATION
385 CUMBERLAND AVENUE
PORTLAND, MAINE

Project
Date 11/15/11
Scale As Noted
Drawing

City of Portland - Administrative
Authorization Site Plan Application.

NORTH & WEST EXTERIOR
ELEVATIONS

A-5