

The Schlotterbeck Block

117 Preble Street, Portland, Maine
 Level III Site Plan and Subdivision Plan
 Revised per Conditions of Approval: February 25, 2015



PREPARED BY:

LANDSCAPE ARCHITECT AND SITE PLANNER:

MITCHELL & ASSOCIATES
 70 CENTER STREET
 PORTLAND, MAINE 04101
 PHONE: 207.774.4427
 FAX: 207.874.2460
 CONTACT: MICHAEL W. KING, RLA
 E-MAIL: MKING@MITCHELLASSOCIATES.BIZ

ARCHITECT:

GODUTI-THOMAS ARCHITECTS
 44 OAK STREET, #2
 PORTLAND, MAINE 04101
 PHONE: 207.775.3184
 CONTACT: RICHARD GODUTI, NCARB
 EMAIL: GTARICK@GMAIL.COM

CIVIL ENGINEER:

RANSOM CONSULTING ENGINEERS
 400 COMMERCIAL STREET, NO.4
 PORTLAND, MAINE 04101
 PHONE: 207.772.2891
 CONTACT: STEPHEN BRADSTREET, P.E.
 E-MAIL: STEPHEN.BRADSTREET@RANSOMENV.COM

LAND SURVEYOR

OWEN HASKELL, INC.
 390 U.S. ROUTE ONE, SUITE 10
 FALMOUTH, MAINE 04105
 PHONE: 207.774.0424
 CONTACT: JOHN SWAN, P.L.S.

TRAFFIC ENGINEER

GORRILL-PALMER
 15 SHAKER ROAD
 GORHAM, MAINE 04038
 PHONE: 207.675.6910
 CONTACT: RANDALL DUNTON, P.E.

UTILITIES:

ELECTRIC:

CENTRAL MAINE POWER
 ELECTRICAL DISTRIBUTION ENGINEERING
 162 CANCO ROAD
 PORTLAND, MAINE 04103
 PHONE: 207.842.2367
 CONTACT: JAMIE COUGH
 E-MAIL: JAMES.COUGH@CMPCO.COM

WATER:

PORTLAND WATER DISTRICT
 225 DOUGLASS STREET
 P.O. BOX 3553
 PORTLAND, MAINE 04104-3553
 PHONE: 207.774.5961 x.3199
 FAX: 207.761.8307
 CONTACT: GLISSEN HAVU
 E-MAIL: MEANS@PWD.ORG

SANITARY SEWER:

CITY OF PORTLAND
 PUBLIC SERVICES DEPARTMENT
 55 PORTLAND STREET
 PORTLAND, MAINE 04101
 PHONE: 207.874.8832
 FAX: 207.874.8816
 CONTACT: DAVID MARGOLIS-PINEO
 E-MAIL: DMP@PORTLANDMAINE.GOV

CABLE:

TIME WARNER CABLE OF MAINE
 118 JOHNSON ROAD
 PORTLAND, MAINE 04102
 PHONE: 207.253.2324
 CONTACT: MARK PELLETIER, CONSTRUCTION PROJECT COORDINATOR
 E-MAIL: MARK.PELLETIER@TWCABLE.COM

NATURAL GAS:

UNITIL SERVICE CORPORATION
 1075 FOREST AVENUE
 PORTLAND, MAINE 04103
 PHONE: 207.541.2505
 CONTACT: BRIDGET MATHERS

OWNER AND APPLICANT

SCHLOTTERBECK BLOCK LLC

77 SPRUCE STREET
 PORTLAND, MAINE 04101
 PHONE: 207.650.8979

PERMITS:

TYPE OF PERMIT:

SITE PLAN REVIEW:

GOVERNING BODY:

CITY OF PORTLAND
 389 CONGRESS STREET
 4TH FLOOR
 PORTLAND, MAINE 04101
 TEL: 207.874.8728
 CONTACT: RICHARD KNOWLAND
 E-MAIL: RWK@PORTLANDMAINE.GOV

STATUS:

SUBMITTED: OCTOBER 5, 2015

SITE LOCATION MAP:



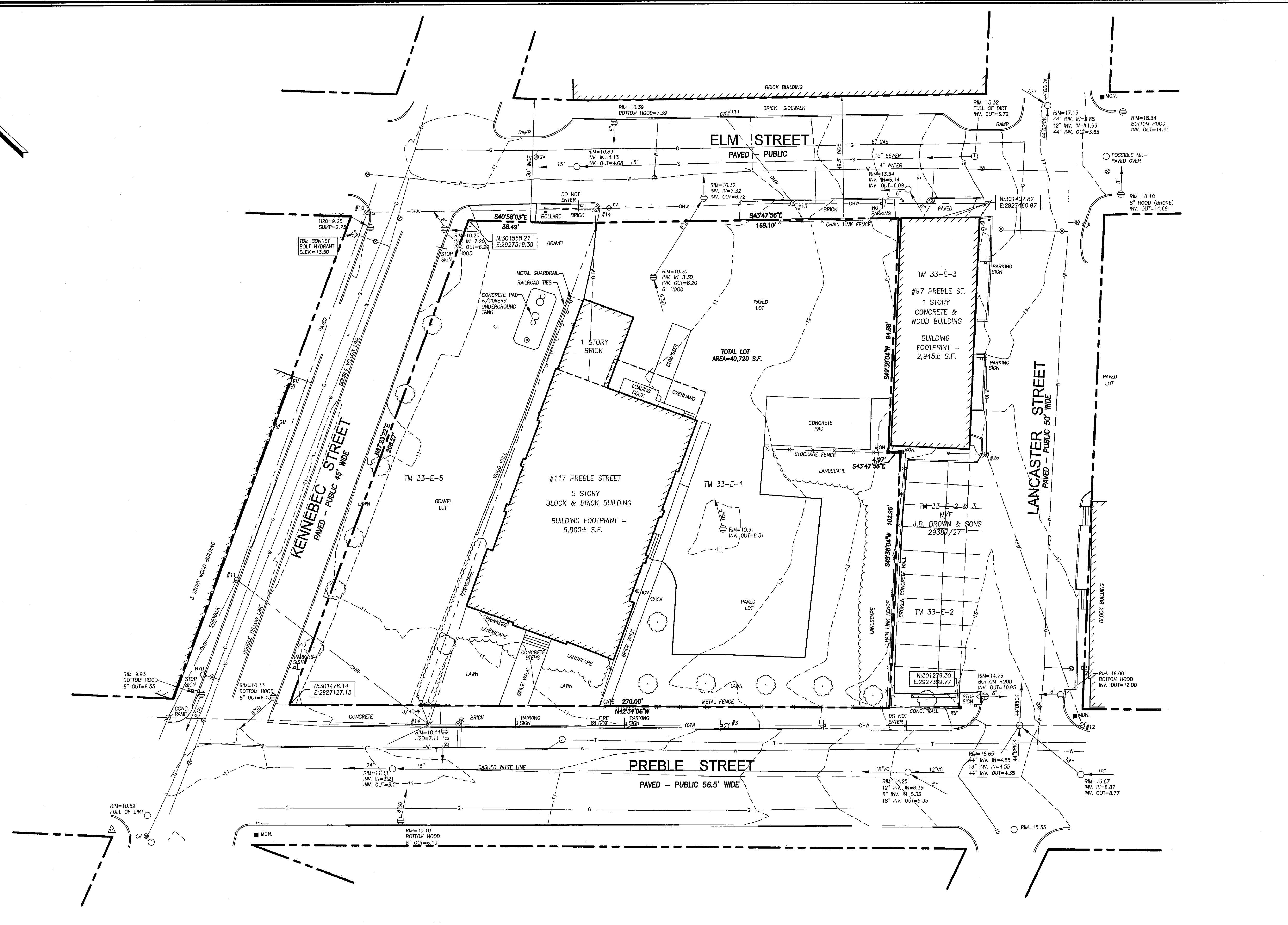
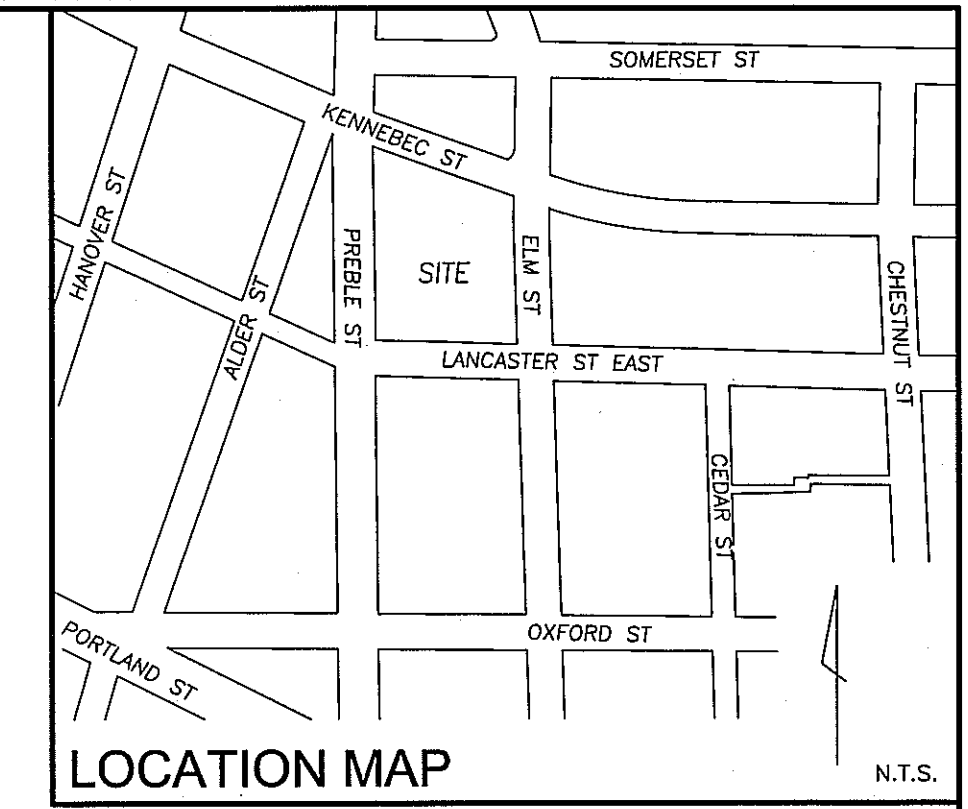
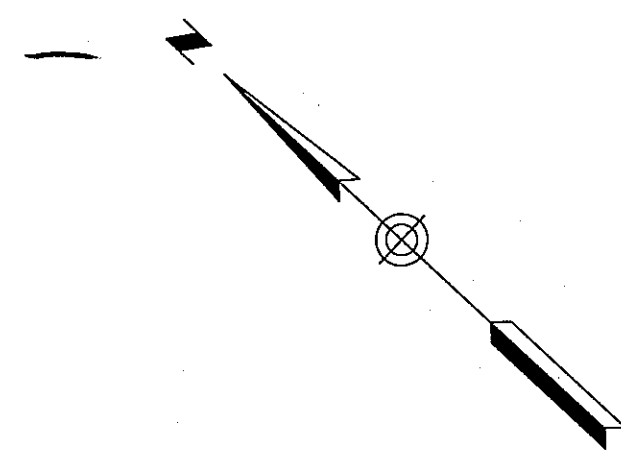
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A2.3	MASONRY REPAIRS ELEVATIONS
A2.4	MASONRY REPAIRS ELEVATIONS



CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Conditions of Approval
 and Standard Conditions

DATE OF APPROVAL: 12.15.2015
 PLANNER: Shukria Wiar
 PROJECT NO.: 2015-174



- LEGEND**
- IRON PIPE OR ROD FOUND
 - MONUMENT FOUND
 - UTILITY POLE
 - MANHOLE
 - ⊗ EM/GM ELECTRIC/GAS METER
 - ⊕ SIGN
 - ⊕ CATCH BASIN
 - ⊕ HYDRANT
 - ⊕ WATER VALVE OR SHUTOFF
 - LIGHT POLE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - FENCE
 - CURB
 - OHW OVERHEAD WIRES
 - W WATER LINE
 - G GAS LINE
 - T TELEPHONE
 - SD STORM DRAIN
 - S SANITARY SEWER
 - 10 1' CONTOUR

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

PLAN REFERENCES

- ELM STREET, STREET LINE RETRACEMENT PLAN, SOMERSET STREET TO LANCASTER STREET, CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION DATED OCT. 16, 2012.
- BAYSIDE TRAIL SOMERSET STREET EXTENSION, ELM STREET TO KENNEBEC STREET, CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION DATED JULY 3, 2012.
- ALTA/ACSM LAND TITLE SURVEY ON PREBLE STREET, LANCASTER STREET EAST, ELM STREET & OXFORD STREET, PORTLAND, MAINE MADE FOR BAYSIDE 1, LLC, JAN. 26, 2000 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 200 PAGE 40.

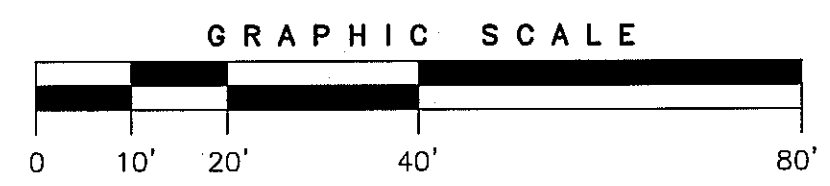
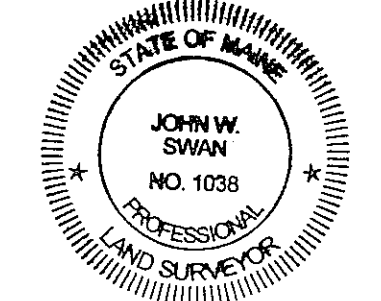
GENERAL NOTES

- OWNER OF RECORD: J.B. BROWN & SONS
TAX MAP 33-E-1 & 5
C.C.R.D. BOOK 26354 PAGE 312 & 314
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATE SYSTEM MAINE WEST NAD 83, BASED ON CITY POINT 55 N:301742.42 E: 2927203.69 AND POINT 59 N:301442.06 E:2927035.61 FROM PLAN REFERENCE 1.
- ELEVATIONS BASED ON NGVD 1929. CITY BENCHMARK TBM 307 PLAN REFERENCE 1. MDOT DISK "612-(1)-10 1983" IN CONCRETE BASE OF LIGHT POLE AT NORTHEAST CORNER ELM/SOMERSET ELEV. = 9.02.

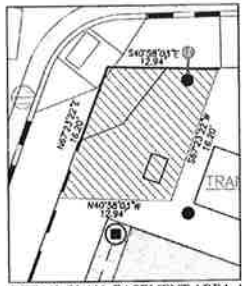
CERTIFICATE

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE, WITH THE EXCEPTION OF MARKERS NOT SET AT ALL CORNERS.

DATE: 9/29/15
JOHN W. SWAN, PLS NO. 1038



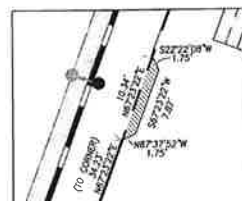
REV. 1 9-28-15 REVISE LOT AREA		
BOUNDARY & TOPOGRAPHIC SURVEY		
AT 117 PREBLE STREET, PORTLAND, MAINE MADE FOR MITCHELL & ASSOCIATES 70 CENTER STREET, PORTLAND, MAINE		
OWEN HASKELL, INC. 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424 PROFESSIONAL LAND SURVEYORS		
Drawn By	RS	Date
Trace By	JLW	JULY 7, 2015
Check By	JWS	Scale
Book No.	1134	1" = 20'
Job No.	2015-109 P	Drwg. No.
		1



DETAIL PLAN: EASEMENT AREA A
SCALE: 1" = 10'



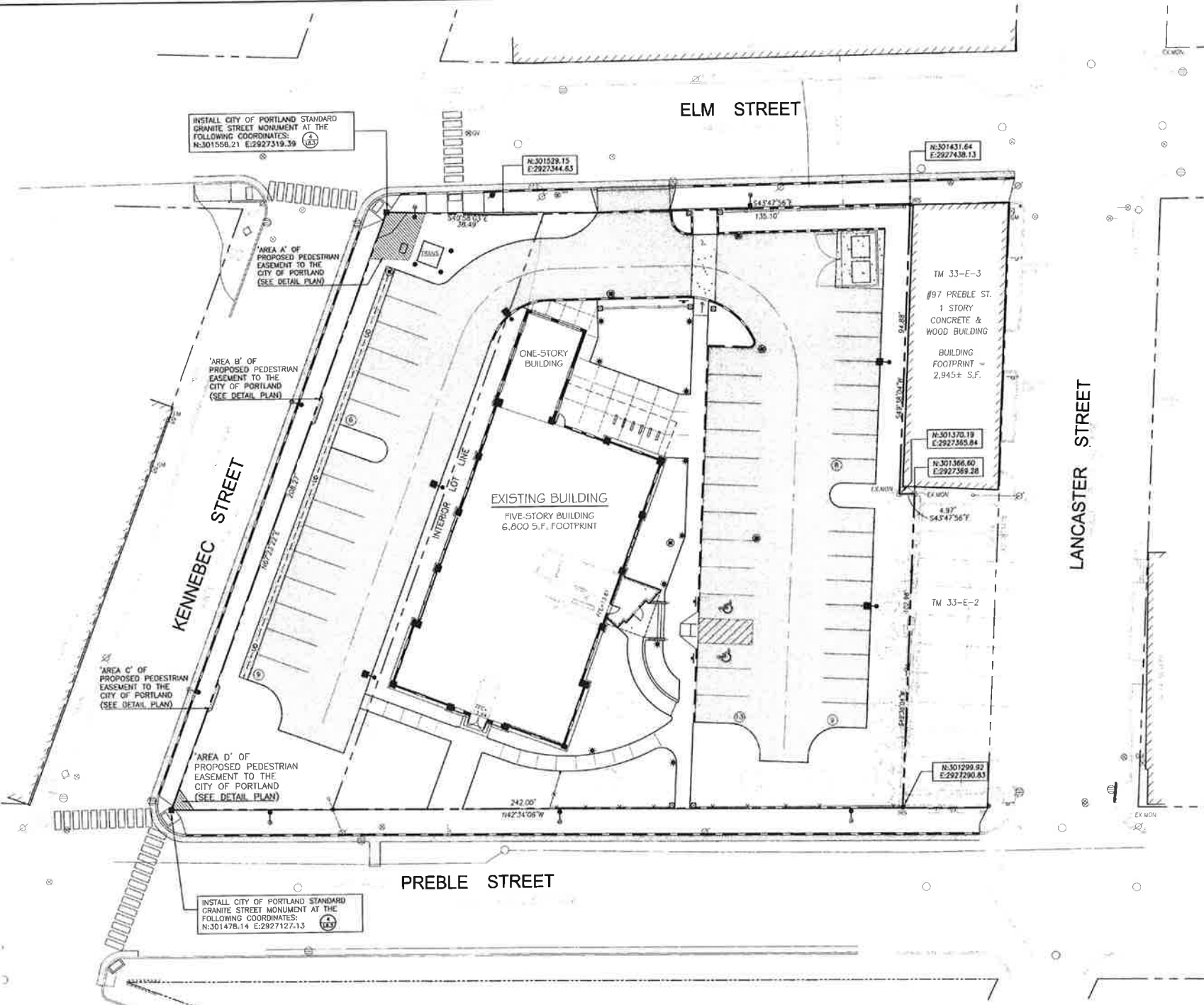
DETAIL PLAN: EASEMENT AREA B
SCALE: 1" = 10'



DETAIL PLAN: EASEMENT AREA C
SCALE: 1" = 10'



DETAIL PLAN: EASEMENT AREA D
SCALE: 1" = 10'



GENERAL NOTES

- SITE AREA: 40,720 S.F. OR 0.93 ACRE
- RECORD OWNER: SCHLOTTERBECK BLOCK, LLC
104 GRANT STREET
PORTLAND, MAINE 04101
- LOT DATA: TAX MAP 33, BLOCK E, LOT 1
C.C.R.D BOOK 26354, PAGE 312
AREA: 30,492 S.F.

TAX MAP 33, BLOCK E, LOT 5
C.C.R.D BOOK 26354, PAGE 314
AREA: 10,314 S.F.
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1 AND 5, BLOCK E, ON THE CITY OF PORTLAND'S ASSESSORS MAP 33.
- A PORTION OF THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230851-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1985. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 N.G.V.D. 1929. HOWEVER, THE TOPOGRAPHICAL SURVEY OF THE PARCEL SHOWS THE LOT ABOVE THE ELEVATION OF 10 N.G.V.D. (1929).
- UTILITIES SHOWN ARE BASED ON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 117 PREBLE STREET," PERFORMED BY OWEN HASKELL, INC., DATED JULY 7, 2015.
- ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
- PROPOSED DWELLING UNITS: 55 UNITS
PROPOSED COMMERCIAL OFFICE SPACE: 1,750 S.F.
- SPACE AND BULK STANDARDS:

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	40,720 S.F.
MINIMUM FRONTAGE:	NONE	242 FEET
FRONT SETBACK:	NONE REQUIRED	18 FEET
SIDE SETBACK:	NONE REQUIRED	5 FEET
REAR SETBACK:	NONE REQUIRED	31 FEET
MAX. STREET SETBACK:	10 FEET	18 FEET (EXISTING)
MAX. BUILDING LOT COVERAGE:	100 PERCENT	68 PERCENT
MAX. BUILDING HEIGHT:	105 FEET	N/A
MIN. BUILDING HEIGHT:	45 FEET	N/A
- BICYCLE PARKING:

REQUIRED:	24 SPACES
PROPOSED:	24 SPACES (12 INTERIOR AND 12 EXTERIOR)
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- PARKING SUMMARY:

PARKING REQUIRED PER PARKING ANALYSIS:	55 - 28 SPACES
PROPOSED PARKING:	45 SPACES
PROPOSED COMPACT (8' X 15"):	17 SPACES (38%)
REQUIRED A.D.A. ACCESSIBLE SPACES:	2 SPACES
PROPOSED A.D.A. ACCESSIBLE SPACES:	2 SPACES
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATE SYSTEM MAINE WEST NAD 83, BASED ON CITY POINT 55 N:301742.42 E: 292703.68 AND POINT 59 N:301442.06 E:292703.61 FROM PLAN REFERENCE 1.
- ELEVATIONS BASED ON NGVD 1929. CITY BENCHMARK TBM 307 PLAN REFERENCE 1. MDOIT/DISK "612-11-10 1983" IN CONCRETE BASE OF LIGHT POLE AT NORTHEAST CORNER ELM/SOMERSET ELEV. = 9.02.

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- BOUNDARY AND TOPOGRAPHIC SURVEY AT 117 PREBLE STREET, PORTLAND, MAINE, MADE FOR MITCHELL & ASSOCIATES, PREPARED BY OWEN HASKELL, INC., FALMOUTH, MAINE, DATED JULY 7, 2015, REVISED SEPTEMBER 28, 2015.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	●	○
UTILITY POLE	⊗	⊗
MANHOLE	⊙	⊙
ELECTRIC/GAS METER	⊗/⊙	⊗/⊙
SION	+	+
CATCH BASIN	⊕	⊕
HYDRANT	⊕	⊕
WATER VALVE	⊕	⊕
LIGHT POLE	⊗	⊗
FENCE	⊗	⊗
GRANITE CURB	---	---
GRANITE MONUMENT	⊗	⊗
EASEMENT AREA	---	---
IRON ROD TO BE SET	⊗	⊗

Prepared For:
Owner and Applicant:
SCHLOTTERBECK BLOCK L.L.C.
104 Grant Street
Portland, Maine 04101
Tel.: 207-650-8979

Prepared By:
MITCHELL & ASSOCIATES
Landscape Architects
78 Center Street
Portland, Maine 04101
Tel.: 207-774-4427

RANSOM CONSULTING ENGINEERS
400 Commercial Street #4
Portland, Maine 04101
Phone: 207-772-3891

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The Schlotterbeck Block

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117 Preble Street

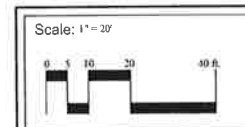
Date: OCTOBER 5, 2015

Issued For:

Revisions:
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS
DEC. 10, 2015: REVISED PER STAFF REVIEW COMMENTS
JAN. 5, 2016: REVISED PER STAFF REVIEW COMMENTS

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Title:
SUBDIVISION PLAN



North:

Sheet No:
1 of 1

REGISTRY BLOCK
State of Maine
Cumberland County
Registry of Deeds

Received January 26, 2016
At 2:11:30 P.M. and Recorded
In Planbook 216 Page 23

Attest:
Registrar

WAIVERS
On the basis of the application plans, reports and other information submitted by the applicant, findings, recommendations, contained in the Planning Board Report for The Schlotterbeck Block site plan and subdivision, including but not limited to Section VIII Technical Waivers, of the report and the staff reviews relevant to Portland's Technical and Design Standards and other regulations, as well as the Planning Board deliberations and the testimony presented at the Planning Board hearing, the Planning Board voted unanimously (6-0) to grant the following waivers:

- The Planning Board found, based upon the consulting transportation engineer's review, that extraordinary conditions exist or undue hardship may result from strict compliance with the Technical Manual standard (Section 7.14) which requires that aisle width for right-angle parking be 34 feet per Figure 7.27 that the variation is consistent with the intent of the ordinance. The Planning Board waives the Technical Manual standard (Section 7.14) to allow a 20 foot wide aisle in the parking area;
- The Planning Board found, based upon the consulting transportation engineer's review, that extraordinary conditions exist or undue hardship may result from strict compliance with the Technical Manual standard (Section 1.14 and Figures 1.27 to 1.29) limiting compact spaces to 20% of total parking supply that the variation is consistent with the intent of the ordinance. The Planning Board waives the Technical Manual standard (Section 1.14 and Figures 1.27 to 1.29) to allow 38% compact spaces; and
- The Planning Board found that the applicant has demonstrated that due to site constraints, the dumpster location needs to be within 20 feet of a public street and the dumpster is screened from public view with landscaping and fencing. The Planning Board waives the Design Manual, B-7 Mixed Use Urban District Zone, Principle C, Standard C-8, requiring the areas for outdoor storage and trash collection or compaction shall not be visible from public rights of way, or located within 20 feet of any public street, sidewalk, or open space.

SUBDIVISION PLAT CONDITIONS OF APPROVAL:
The Planning Board voted unanimously (6-0) that the plat is in conformance with the subdivision standards of the Land Use Code, subject to the following conditions of approval, which must be met prior to the signing of the plat:

- The applicant shall finalize the subdivision plat for review and approval by Corporation Counsel, the Department of Public Services, and the Planning Authority; and
- The applicant shall provide a pedestrian access easement for the portions of sidewalk that do not lie within the right-of-way for adoption by the City Council.

CERTIFICATION:
Owen Haskell, Inc. hereby certifies that this Plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information and belief, it conforms to the Board of Licensure for Professional Land Surveyors current standards of practice.

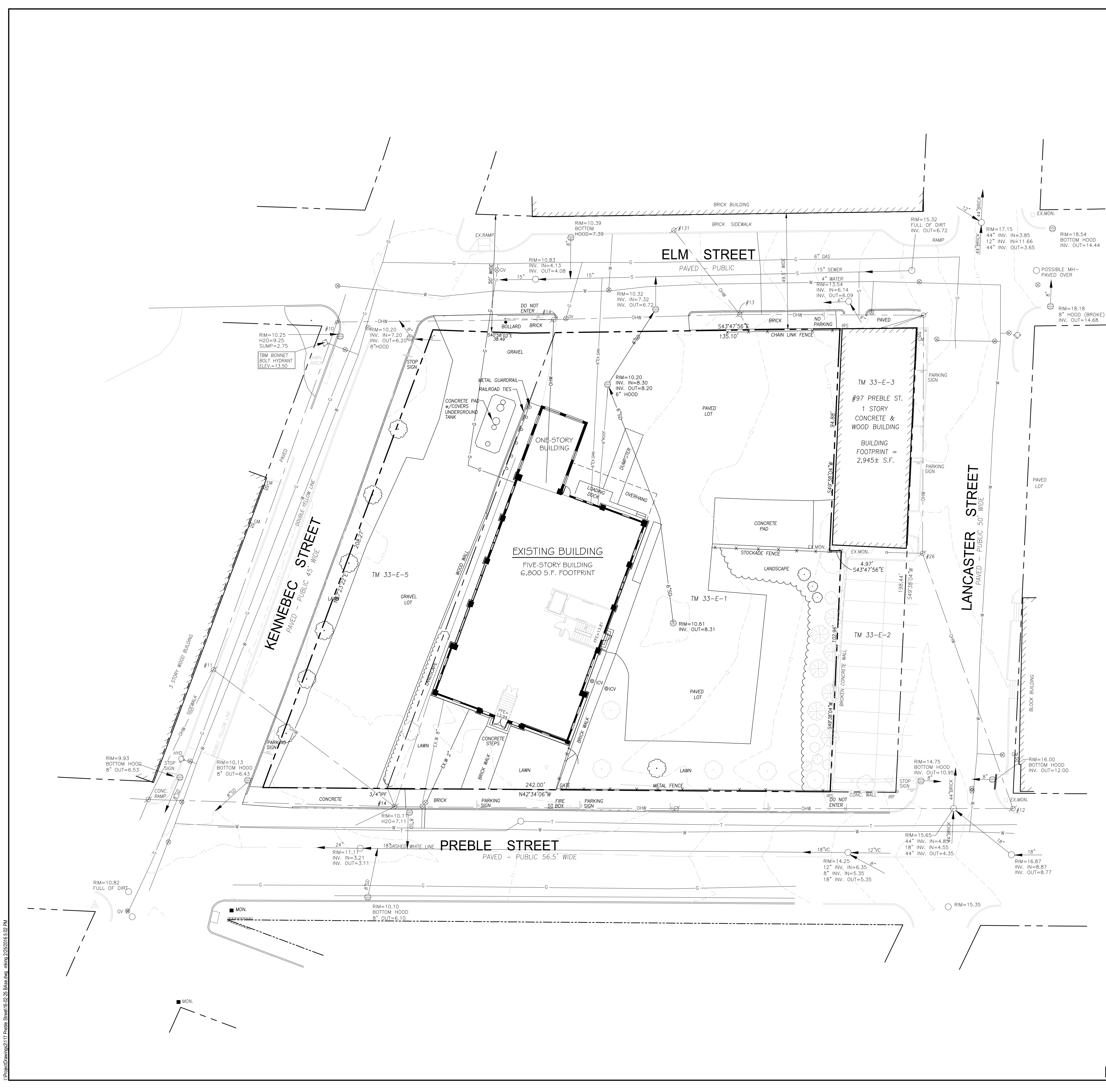


Approved: Portland Planning Board

Date: _____

Chair, _____

Board Members:



- GENERAL NOTES**
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 - APPLICANT: SCHLOTTERBECK BLOCK, LLC
77 SPRUCE STREET
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LEGEND

PROPERTY LINE	---
IRON PIPE OR ROD FOUND	—●—
MONUMENT FOUND	—■—
UTILITY POLE	—○—
MANHOLE	—○—
ELECTRIC/GAS METER	—EM/GM—
SIGN	—T—
CATCH BASIN	—CB—
HYDRANT	—H—
WATER VALVE	—V—
LIGHT POLE	—LP—
FENCE	—X—X—
GRANITE CURB	—C—
OVERHEAD WIRES	—OHW—
WATER LINE	—W—
GAS LINE	—G—
TELEPHONE	—T—
STORM DRAIN	—SD—
SANITARY SEWER	—S—
1" CONTOUR	—10—

Prepared For:
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GODUTI-THOMAS ARCHITECTS
44 Oak Street # 2
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Phone: 207-775-3184

The Schlotterbeck Block

Portland, Maine

117 Preble Street

Date: **OCTOBER 5, 2015**

Issued For:

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 - FEB. 25, 2016: REVISED PER CONDITIONS OF APPROVAL

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Title: **EXISTING CONDITION PLAN**

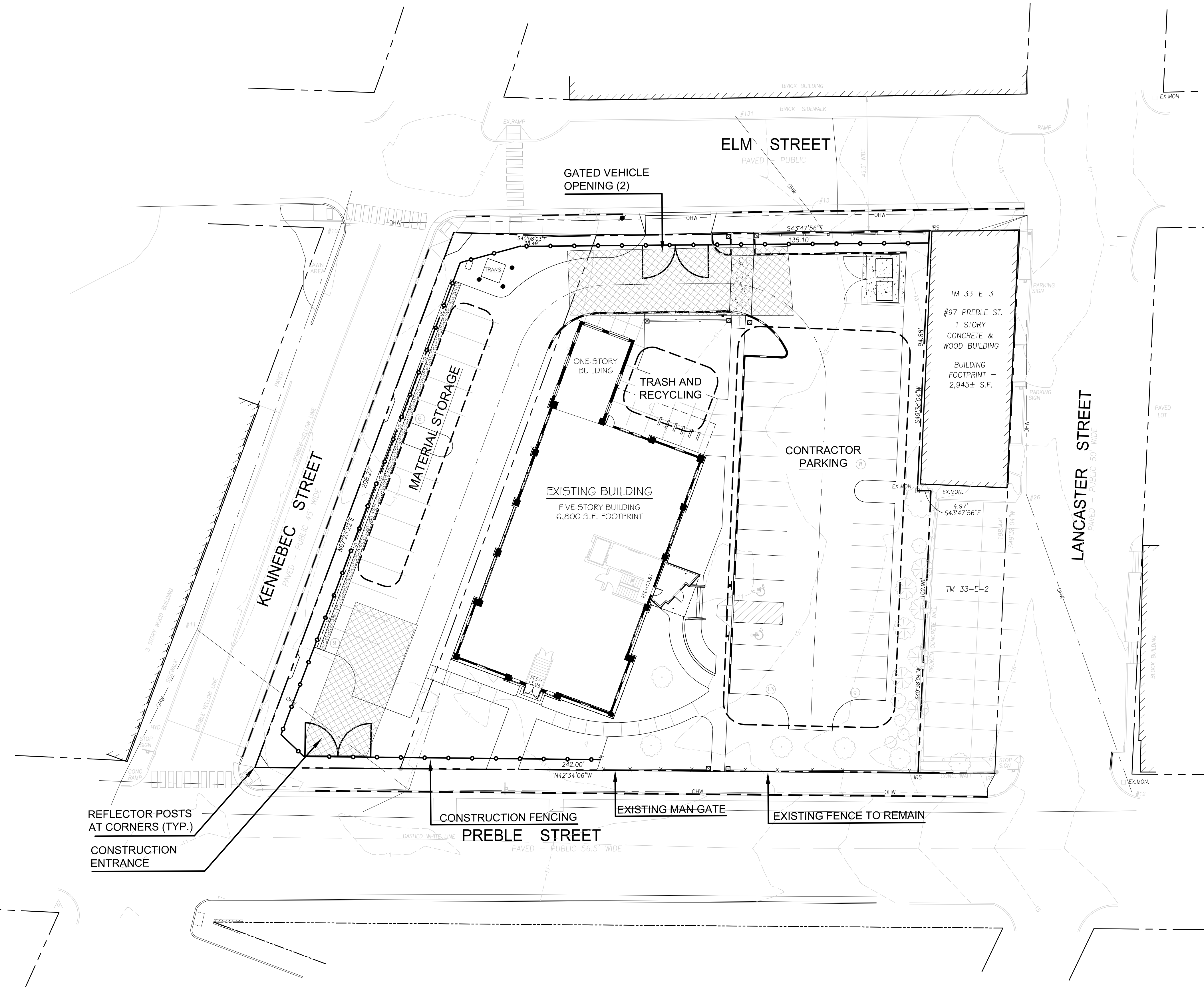
Scale: 1" = 20'

North:

Sheet No.: **L1.0**

I:\Public\Drawings\3117 Preble Street\15-02-25 Blake.dwg mwa 2/25/2016 5:02 PM

I:\Projects\Drawings\3117_Preb\Sheet 15-02-15_Sketch.dwg mha 2/25/2015 5:03 PM



- 1. CONSTRUCTION MANAGEMENT PLAN NOTES**
- THE SITE CAN ACCOMMODATE A TOTAL OF 30 (THIRTY) CONTRACTOR AND SUB-CONTRACTOR VEHICLES. THE OWNER AND CONTRACTOR WILL NOT PROVIDE PARKING BEYOND THESE 30 PARKING SPACES. IF PARKING DEMAND EXCEEDS THESE 30 SPACES, IT WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO UTILIZE LEGAL CITY OF PORTLAND PARKING SPACES IN THE VICINITY OF THE PROJECT.
 - THE CONTRACTOR ANTICIPATES MAINTAINING THE ACCESSIBILITY OF THE ELM STREET AND PREBLE STREET SIDE WALKS UNTIL SIDEWALK RE-CONSTRUCTION OF THESE SIDEWALKS OCCURS.
 - HOURS OF CONSTRUCTION: 6:30 AM -- 5:00 PM, MONDAY THROUGH FRIDAY.
 - SITE WILL HAVE SECURITY LIGHTING AT NIGHT.
 - STREETS MUST MAINTAIN A 20' WIDTH FOR FIRE DEPARTMENT ACCESS AT ALL TIMES.
 - FIRE HYDRANTS SHALL NOT BE BLOCKED OR ENCLOSED BY FENCING. A 3' FOOT CLEARANCE MUST BE KEPT AT ALL TIMES AROUND THE FIRE HYDRANT.
 - IF GATES ARE LOCKED, A PORTLAND FIRE DEPARTMENT KNOX PADLOCK MUST BE PURCHASED BY THE APPLICANT TO ALLOW ACCESS FOR THE FIRE DEPARTMENT.
 - THE CONSTRUCTION COMPANY'S EMERGENCY CONTACT INFORMATION SHALL BE POSTED ON THE PROPERTY IN CASE OF AN AFTER HOURS EMERGENCY.
 - ALL CONSTRUCTION SHALL COMPLY WITH 2009 NFPA 1 CHAPTER 16 SAFEGUARDS DURING BUILDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
 - ANY CUTTING AND WELDING DONE WILL REQUIRE A HOT WORK PERMIT FROM FIRE DEPARTMENT.

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 Owner and Applicant:
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 Tel.: 207-650-8979

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The Schlotterbeck Block

Portland, Maine

117 Preble Street

Date: **OCTOBER 5, 2015**

Issued For:

- Revisions:
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 - FEB. 25, 2016: REVISED PER CONDITIONS OF APPROVAL

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Title:
CONSTRUCTION MANAGEMENT PLAN

Scale: 1" = 20'

North:

Sheet No.: **L1.1**

LEGEND	EXISTING	PROPOSED
PROPERTY LINE		
IRON PIPE OR ROD FOUND		
MONUMENT FOUND		
UTILITY POLE		
MANHOLE		
ELECTRIC/GAS METER		
SIGN		
CATCH BASIN		
HYDRANT		
WATER VALVE		
LIGHT POLE		
FENCE		
GRANITE CURB		
OVERHEAD WIRES		
WATER LINE		
GAS LINE		
TELEPHONE		
STORM DRAIN		
SANITARY SEWER		
1' CONTOUR		
BRICK PAVERS		
CONCRETE PAVERS		
GRANITE PILLAR		



PERMITTING DRAWINGS -- NOT FOR CONSTRUCTION

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GENERAL NOTES

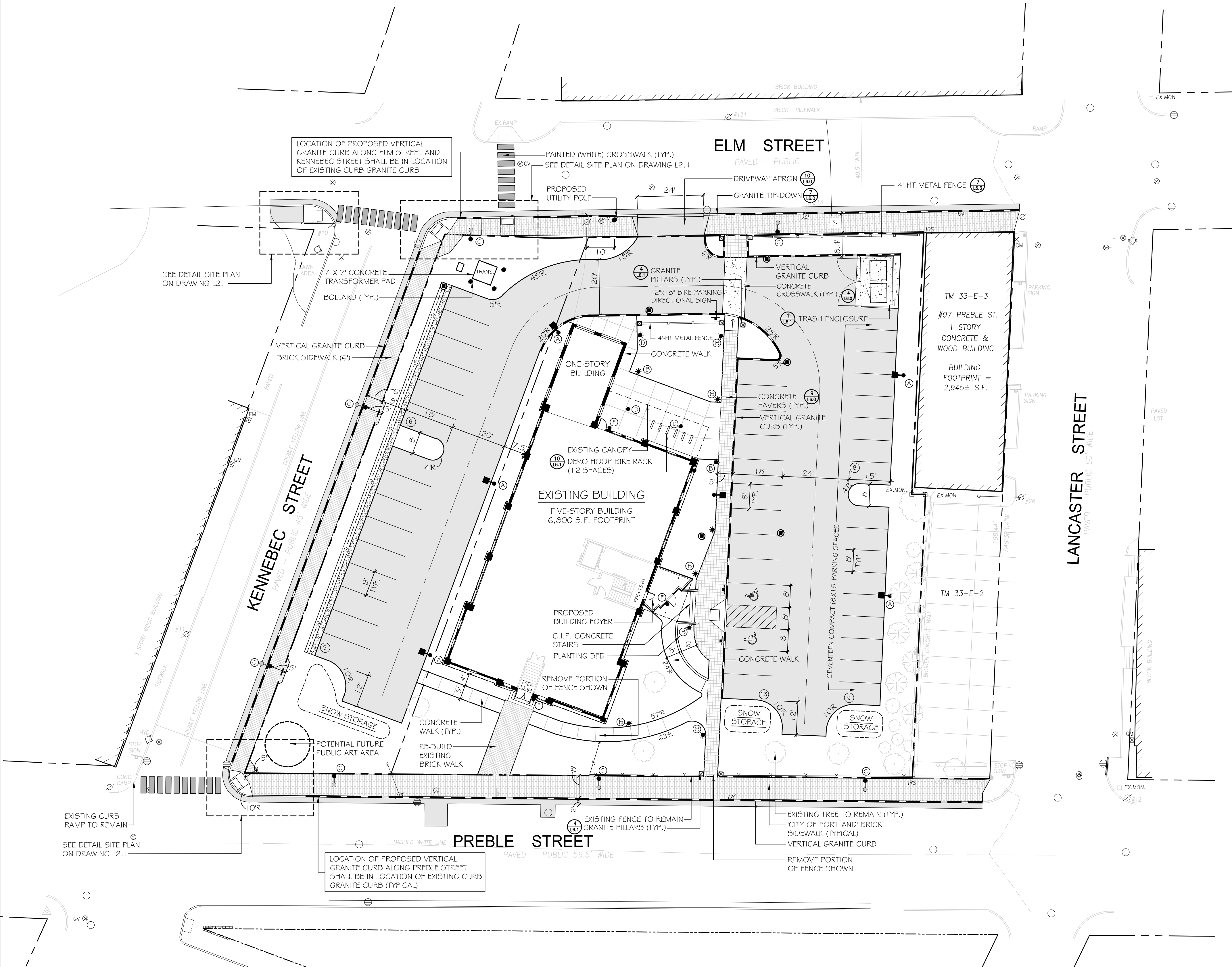
- SITE AREA: 40,720 S.F. OR 0.93 ACRE
- APPLICANT: SCHLOTTERBECK BLOCK, LLC
77 SPRUCE STREET
PORTLAND, MAINE 04101
- RECORD OWNER: J.B. BROWN & SONS
482 CONGRESS STREET
P.O. BOX 207
PORTLAND, MAINE 04112
- LOT DATA: TAX MAP 33, BLOCK E, LOT 1
C.C.R.D BOOK 26354, PAGE 312
AREA: 30,492 S.F.

TAX MAP 33, BLOCK E, LOT 5
C.C.R.D BOOK 26354, PAGE 314
AREA: 10,314 S.F.
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1 AND 5, BLOCK E, ON THE CITY OF PORTLAND'S ASSESSORS MAP 33.
- A PORTION OF THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 N.G.V.D. 1929. HOWEVER, THE TOPOGRAPHICAL SURVEY OF THE PARCEL SHOWS THE LOT ABOVE THE ELEVATION OF 10 N.G.V.D. (1929).
- UTILITIES SHOWN ARE BASED ON A PLAN ENTITLED 'BOUNDARY AND TOPOGRAPHIC SURVEY OF 117 PREBLE STREET, PERFORMED BY OWEN HASKELL, INC., DATED JULY 7, 2015.
- ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
- SPACE AND BULK STANDARDS:

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	40,720 S.F.
MINIMUM FRONTAGE:	NONE	242 FEET
FRONT SETBACK:	NONE REQUIRED	18 FEET
SIDE SETBACK:	NONE REQUIRED	5 FEET
REAR SETBACK:	NONE REQUIRED	31 FEET
MAX. STREET SETBACK:	10 FEET	18 FEET (EXISTING)
MAX. BUILDING LOT COVERAGE:	100 PERCENT	68 PERCENT
MAX. BUILDING HEIGHT:	105 FEET	N/A
MIN. BUILDING HEIGHT:	45 FEET	N/A
- BICYCLE PARKING:

REQUIRED:	24 SPACES (22 RESIDENTIAL, 2 COMMERCIAL)
PROPOSED:	24 SPACES (12 EXTERIOR, 12 INTERIOR)
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- PARKING SUMMARY:

PARKING REQUIRED PER PARKING ANALYSIS:	55 - 28 SPACES
PROPOSED PARKING:	45 SPACES
PROPOSED COMPACT (8' X 15'):	17 SPACES (38%)
REQUIRED A.D.A. ACCESSIBLE SPACES:	2 SPACES
PROPOSED A.D.A. ACCESSIBLE SPACES:	2 SPACES



LIGHTING SCHEDULE

KEY	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
● (A)	6	KIM	RA17-3-E35-GOL	KIM 17" ERA LED -- PARKING LOT LIGHT	LED, TYPE III, FULL CUT-OFF
● (B)	9	KIM	VSB1-15L-3K-UV-DB	KIM VANDAL RESISTANT BOLLARD	15L LED, FULL CUTOFF
● (C)	7	HOLOPHANE	ESL 110 4K AS X	BAYSIDE DISTRICT FIXTURE MEDIUM LED TEARDROP	110 W 100 LED ARRAY
● (D)	2	KIM	PGL71-E35-GOL	KIM PGL7 LED -- CANOPY LIGHT	GOL - LED
● (E)	3	KIM	SW3-18L3KUV	KIM SITE WALLFORMS LED -- BUILDING MOUNTED LIGHT (DOOR)	GOL - LED

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	●	○
MONUMENT FOUND	■	□
UTILITY POLE	⊙	⊙
MANHOLE	○	○
ELECTRIC/GAS METER	⊗ EM/GM	⊗
SIGN	---	---
CATCH BASIN	⊗	⊗
HYDRANT	⊗	⊗
WATER VALVE	⊗	⊗
LIGHT POLE	⊗	⊗
FENCE	--- X ---	---
GRANITE CURB	---	---
OVERHEAD WIRES	--- OHW ---	---
WATER LINE	--- W ---	---
GAS LINE	--- G ---	---
TELEPHONE	--- T ---	---
STORM DRAIN	--- SD ---	---
SANITARY SEWER	--- S ---	---
1' CONTOUR	--- 1' ---	---
BRICK PAVERS	---	---
CONCRETE PAVERS	---	---
GRANITE PILLAR	---	---

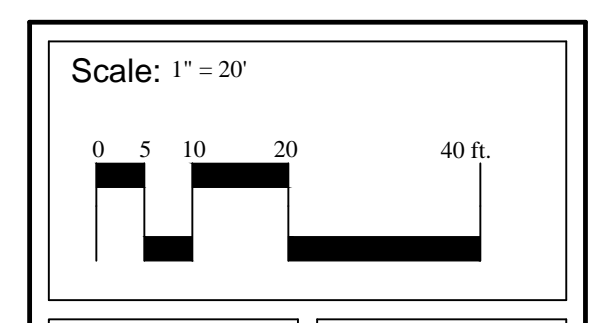
Date: OCTOBER 5, 2015

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Title: LAYOUT AND LIGHTING PLAN



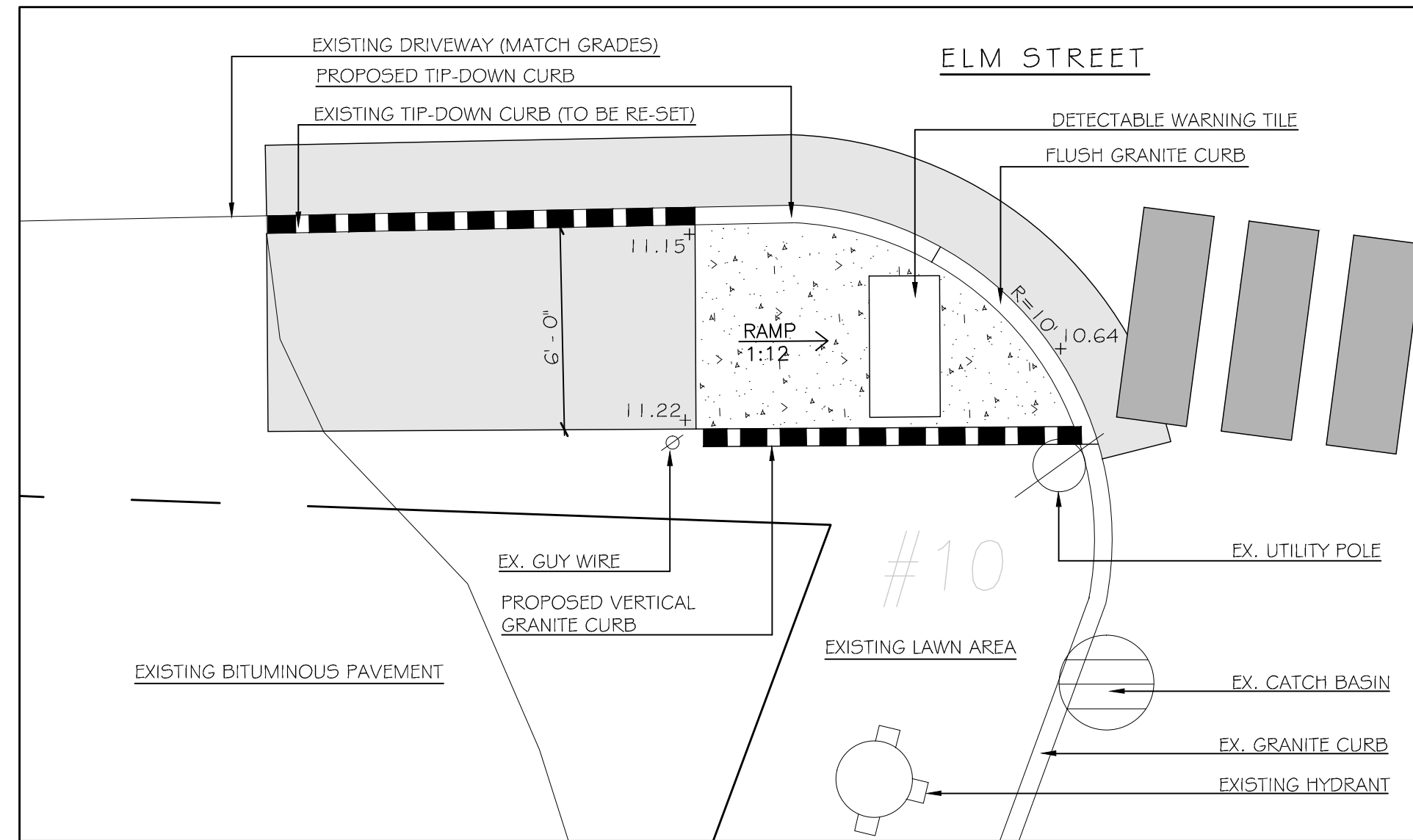
North:

Sheet No.: **L2.0**

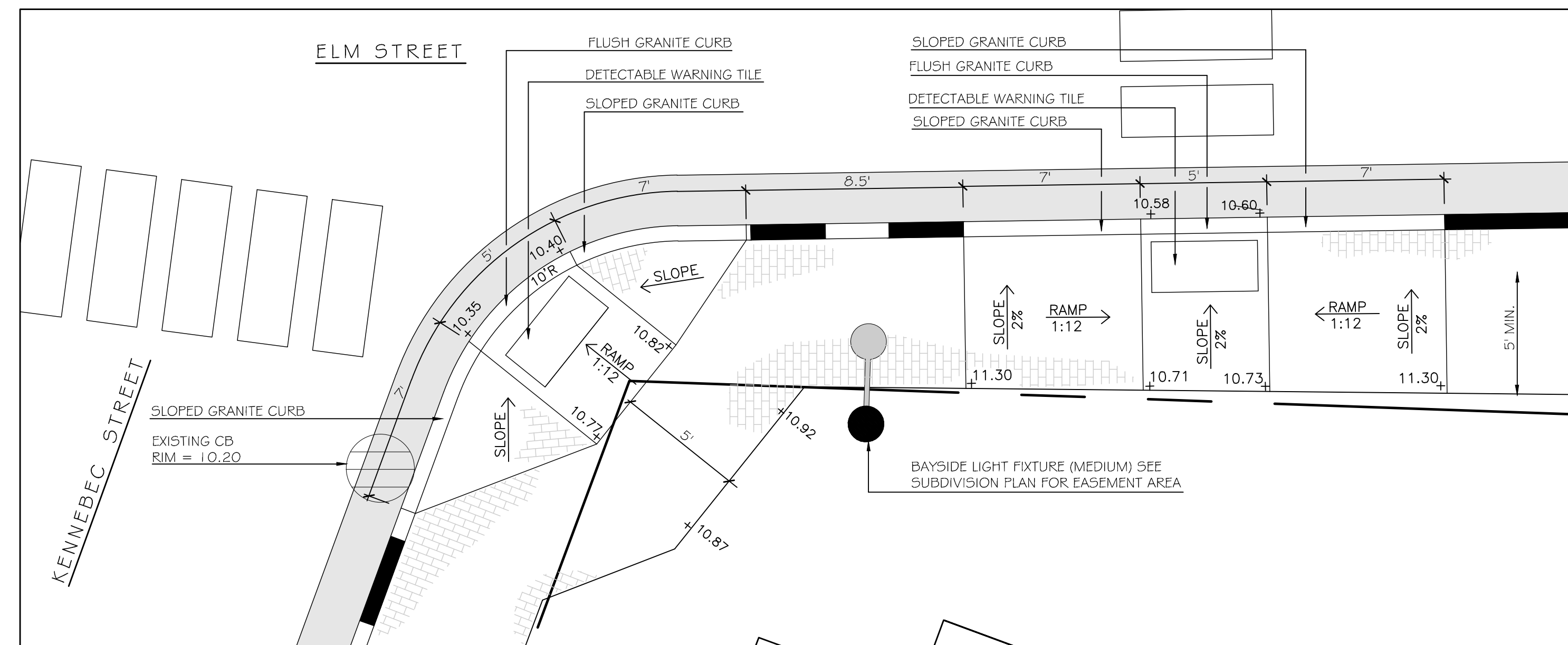


PERMITTING DRAWINGS -- NOT FOR CONSTRUCTION

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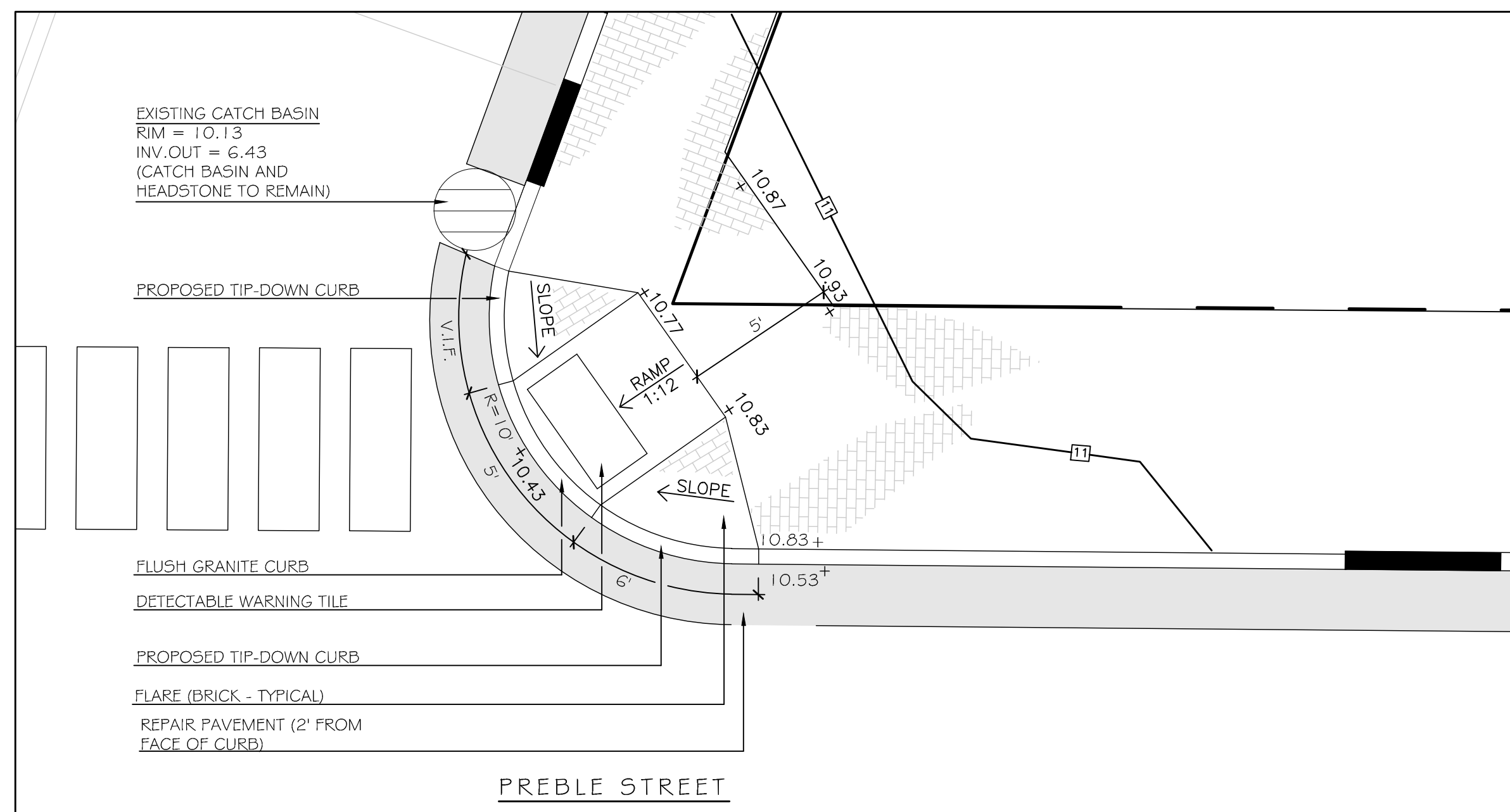


1
L2.1
NOT TO SCALE
SIDEWALK RAMP: KENNEBEC STREET AND ELM

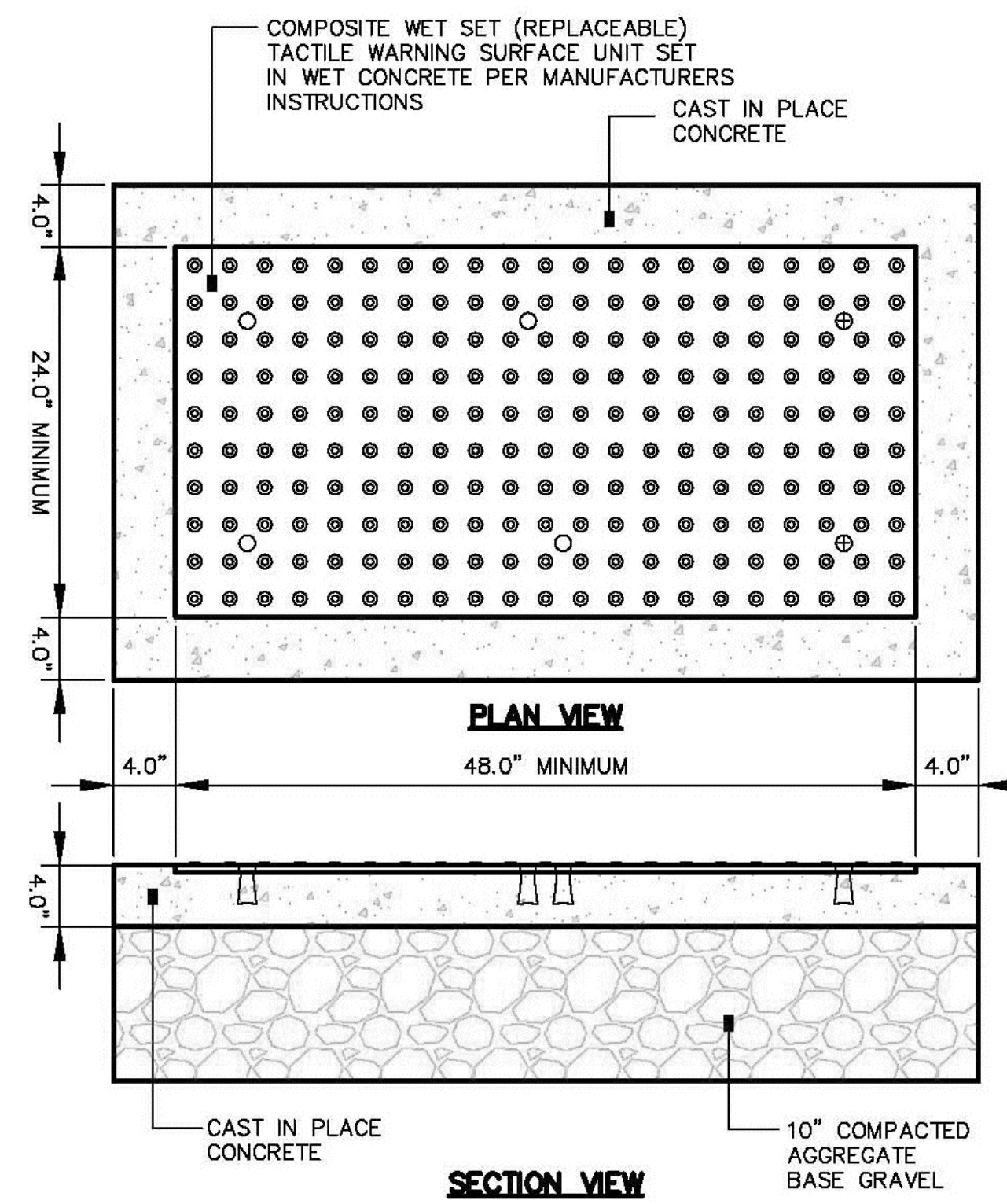


4
L2.1
SIDEWALK RAMP: KENNEBEC STREET AND ELM

NOTE: CONTRACTOR SHALL COORDINATE WITH CITY OF PORTLAND AND OWNER'S REPRESENTATIVE BEFORE CONSTRUCTING CURB CUTS.



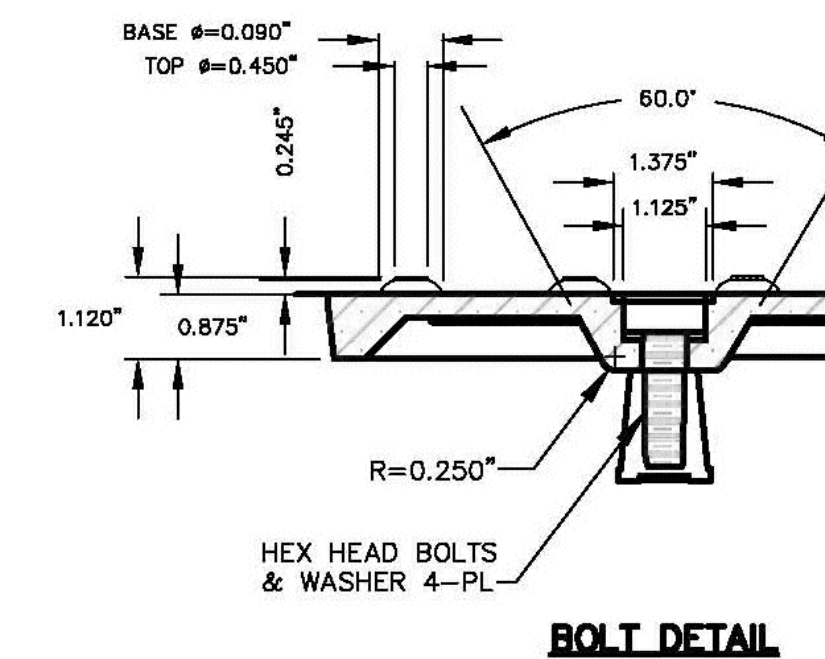
2
L2.1
SCALE: 1" = 4'
SIDEWALK RAMP: KENNEBEC STREET AND PREBLE STREET (NORTH)



5
L2.1
NOT TO SCALE
SIDEWALK RAMP DETECTABLE WARNING TILE

NOTES:

1. COMPOSITE WET SET (REPLACEABLE) TACTILE WARNING SURFACE UNITS SHALL BE AS MANUFACTURED BY ADA SOLUTIONS, INC. (WWW.ADATILE.COM), OR APPROVED EQUAL.
2. CAST IN PLACE CONCRETE SHALL MEET SPECIFICATIONS FOR MDT CLASS A STRUCTURAL CONCRETE, MINIMUM COMPRESSIVE STRENGTH 4,000 PSI. THE CONCRETE SHALL BE SEALED PRIOR TO SETTING PANELS. THE EXPOSED CONCRETE BORDER SHALL RECEIVE A GROOVED EDGE BETWEEN THE TILE AND CONCRETE, ALONG WITH A UNIFORM BROOM FINISH PERPENDICULAR TO THE FLOW OF PEDESTRIAN TRAFFIC.
3. TRUNCATED DOMES SHALL BE ALIGNED IN ROWS, PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. TRUNCATED DOME BRICKS AND GRANITE PAVERS ARE NOT ALLOWED.
4. FOR ALL SIDEWALK RAMPS MADE OF CONCRETE OR ASPHALT, FEDERAL YELLOW COLORED (#33538) TILES SHALL BE USED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
5. FOR ALL SIDEWALK RAMPS MADE OF BRICK, SEATTLE YELLOW (#23594) COATED COLORED TILES SHALL BE USED.



BOLT DETAIL



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Title: DETAIL SITE PLANS: SIDEWALK RAMPS

Scale: AS SHOWN

North: Sheet No.: L2.1

DRAINAGE STRUCTURE SCHEDULE

ALL CATCH BASIN PRECAST CONCRETE STRUCTURES SHALL BE 4'-0" DIAMETER (INSIDE).

CB#1
RIM: 10.75
INV.OUT (8"): 8.07

CB#2
RIM: 11.10
INV.IN (8"): 7.94
INV.OUT (12"): 7.84

CB#3
RIM: 10.80
INV.IN (12"): 7.54
INV.OUT (12"): 7.44

CB#4
RIM: 10.40
INV.IN (12"): 7.26
INV.OUT (12"): 7.16

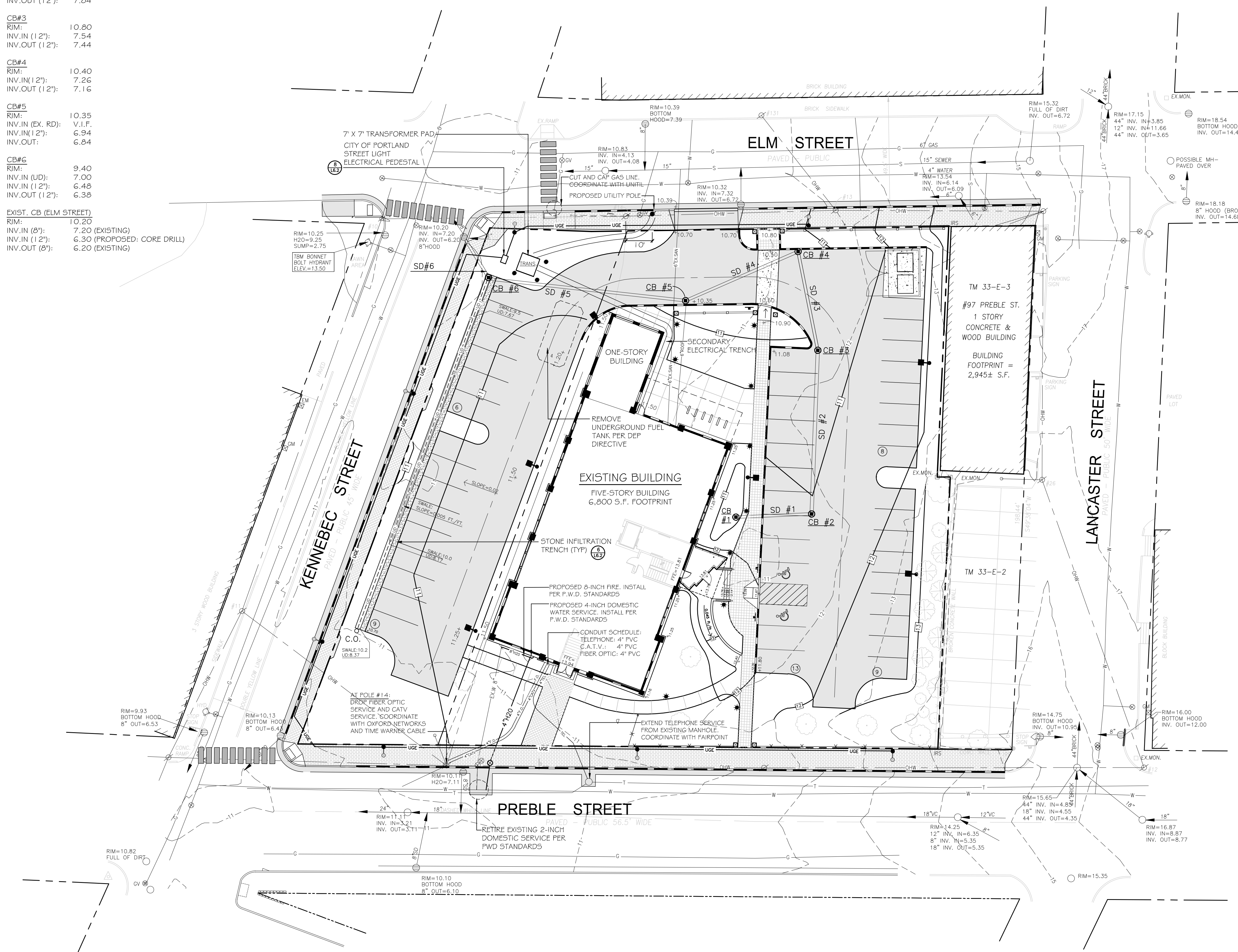
CB#5
RIM: 10.35
INV.IN (EX. RD): V.I.F.
INV.IN (12"): 6.94
INV.OUT: 6.84

CB#6
RIM: 9.40
INV.IN (UD): 7.00
INV.IN (12"): 6.48
INV.OUT (12"): 6.38

EXIST. CB (ELM STREET)
RIM: 10.20
INV.IN (8"): 7.20 (EXISTING)
INV.IN (12"): 6.30 (PROPOSED: CORE DRILL)
INV.OUT (8"): 6.20 (EXISTING)

STORM DRAIN SCHEDULE

SD NO.	PIPE TYPE	LENGTH	SLOPE (FT/FT)
SD#1	12" HDPE	26 L.F.	0.005
SD#2	12" HDPE	60 L.F.	0.005
SD#3	12" HDPE	36 L.F.	0.005
SD#4	12" HDPE	44 L.F.	0.005
SD#5	12" HDPE	73 L.F.	0.005
SD#6	12" SDR-35	16 L.F.	0.005



GRADING AND DRAINAGE NOTES:

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW UNDERGROUND ELECTRICAL, TELEPHONE AND CATV SERVICES ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE CATCHBASIN SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPE AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS; CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING WATER, GAS AND SANITARY SEWER SHALL BE PERMANENTLY CAPPED CONFORMING TO UTILITY COMPANY AND CITY OF PORTLAND STANDARDS, CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES AND/OR UTILITY COMPANY.
- THE PROJECT BENCH MARK IS BONNET BOLT OF FIRE HYDRANT LOCATED AT INTERSECTION OF ELM STREET AND KENNEBEC STREET. BENCHMARK ELEVATION: 13.50.
- BMP INSPECTIONS: THE OWNER SHALL HIRE A QUALIFIED POST-CONSTRUCTION STORMWATER INSPECTOR TO ANNUALLY, INSPECT THE BMPs, INCLUDING CATCH BASIN, DRYWELL, IN-LINE ROOF FILTERS, PIPES AND RELATED STRUCTURES, IN ACCORDANCE WITH ALL MUNICIPAL AND STATE INSPECTION, CLEANING AND MAINTENANCE REQUIREMENTS OF THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PER SECTION 32 OF THE CITY OF PORTLAND CODE OF ORDINANCES).
- SITE LIGHTING SHALL MEET THE CITY OF PORTLAND STANDARDS AS OUTLINED IN SECTION 12 OF THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS. SITE LIGHTING SHALL ADHERE TO SECTION 12.2.5 LIGHT TRESPASS-LIGHTING SHALL NOT BE GREATER THAN 0.1 FOOTCANDLES AT THE PROPERTY LINE.

LEGEND	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
IRON PIPE OR ROD FOUND	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
ELECTRIC/GAS METER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
GRANITE CURB	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
TELEPHONE	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
1' CONTOUR	[Symbol]	[Symbol]
BRICK PAVERS	[Symbol]	[Symbol]
CONCRETE PAVERS	[Symbol]	[Symbol]
GRANITE PILLAR	[Symbol]	[Symbol]
CLEANOUT	[Symbol]	[Symbol]
STONE INFILTRATION TRENCH	[Symbol]	[Symbol]
SECONDARY ELECTRIC (FOR CITY LIGHTS)	[Symbol]	[Symbol]

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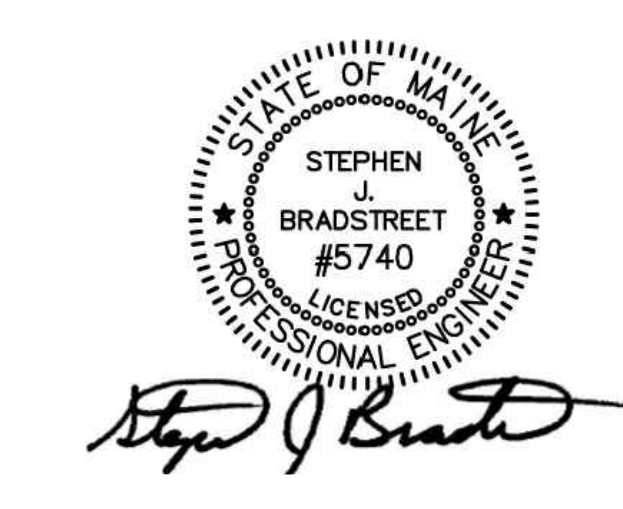
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Title:
GRADING, DRAINAGE AND UTILITIES PLAN

Scale: 1" = 20'

North:

Sheet No.: **L3.0**



PERMITTING DRAWINGS -- NOT FOR CONSTRUCTION

I:\Public\Drawings\3117 Preble Street\15-02-25 Blake.dwg mha 2/25/2016 5:11 PM

EROSION AND SEDIMENT CONTROL PLAN

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE RE-DEVELOPMENT OF THE SCHLOTTERBECK AND FOSS BUILDING AT 117 PREBLE STREET IN PORTLAND, MAINE. THIS PLAN IS BASED ON THE MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES, MARCH, 2003.

A. PROPOSED DEVELOPMENT

THE PROJECT CONSISTS OF THE RE-DEVELOPMENT OF AN EXISTING FIVE-STORY, 6,800 SQUARE FOOT BUILDING. THE BUILDING WILL INCLUDE 55 APARTMENT UNITS AND 2,000 S.F. OF COMMERCIAL OFFICE SPACE. THE 40,702 S.F. PARCEL CURRENTLY CONSISTS OF THE BUILDING AND A PAVED PARKING LOT AND A GRAVEL PARKING LOT; 73% OF THE EXISTING SITE IS IMPERVIOUS. THE PROPOSED IMPERVIOUS LOT IMPERVIOUS IS 27,300 S.F. OR 67% OF THE SITE.

B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATUTE APPLIES TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

TEMPORARY SEEDING: SEED SHALL BE AROOSTOOK RYE APPLIED AT 2.60#/1,000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 1.35#/1,000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 1.35#/1,000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1,000 SF. TEMPORARY SEEDINGS SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

TEMPORARY MULCHING: MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1,000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

PERMANENT BASE GRAVEL: BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:
 a) SLOPES SHALL BE LESS THAN EIGHT PERCENT;
 b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

C. EROSION CONTROL PRACTICES/PERMANENT MEASURES

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDINGS SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

SEED: THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED. HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

LAWN:	
CREeping RED RESCUE:	0.69#/1,000 SF
KENTUCKY BLUEGRASS:	0.57#/1,000 SF
PERENNIAL RYEGRASS:	0.46#/1,000 SF
RETOP:	0.12#/1,000 SF
TOTAL:	1.84#/1,000 SF

LOAM: SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT FOUR INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

LIME: LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

MULCH: MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHALL BE THOROUGHLY WETTED. IN STEEP AREAS, THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED.

THE CONTRACTOR SHALL MAINTAIN THE SEEDED AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OR THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.

D. WINTER CONDITIONS

EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1,000 S.F. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

E. CONSTRUCTION SEQUENCE

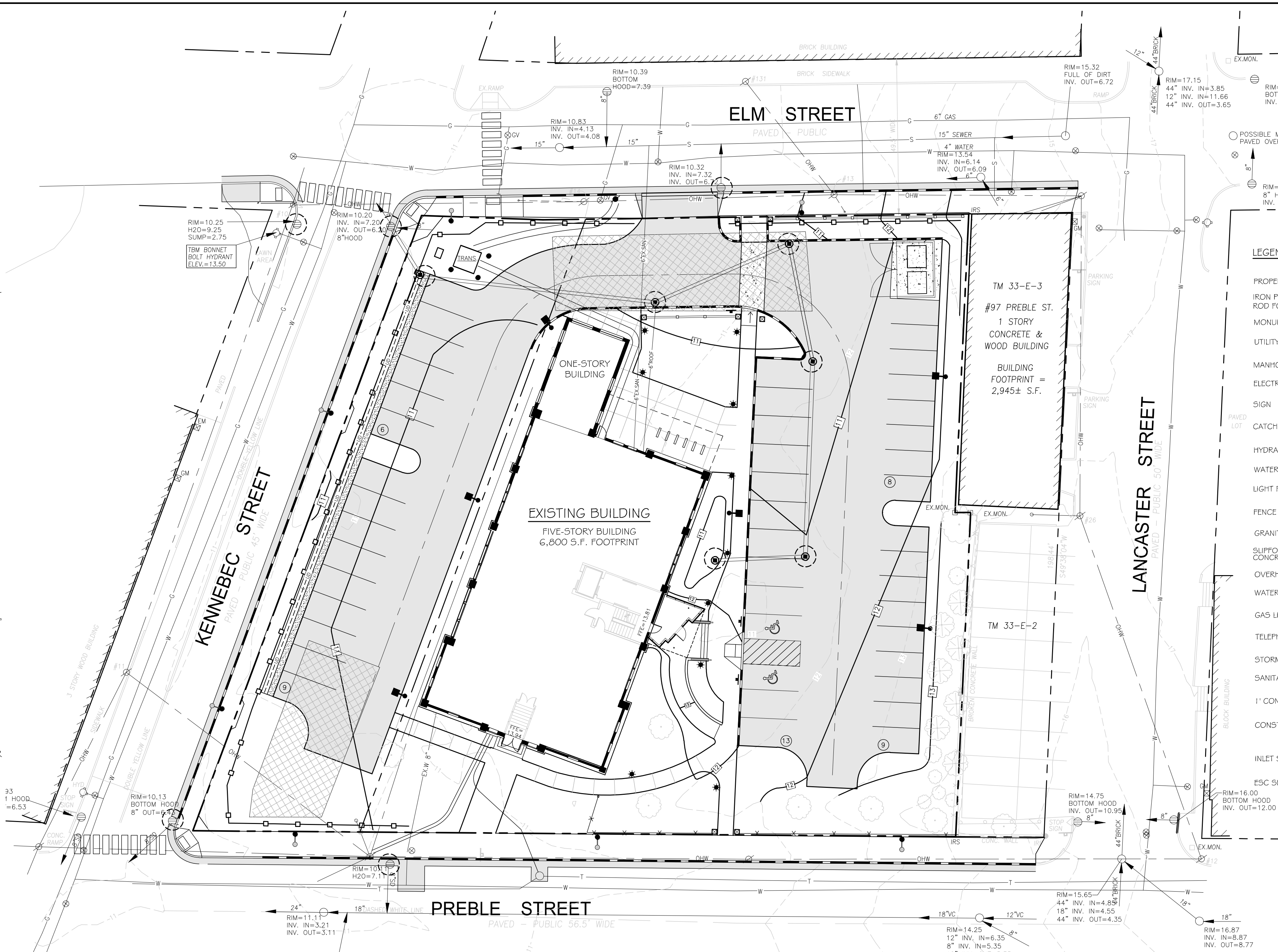
THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:

1. INSTALL EROSION CONTROL DEVICES. (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OR SEDIMENT BARRIER.)
2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
3. INSTALL STORMWATER SYSTEM.
4. COMPLETE SITE CONSTRUCTION WORK;
5. CONSTRUCT PAVED ACCESS AND PARKING AREAS;
6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING; AND
7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

F. SITE INSPECTION & MAINTENANCE

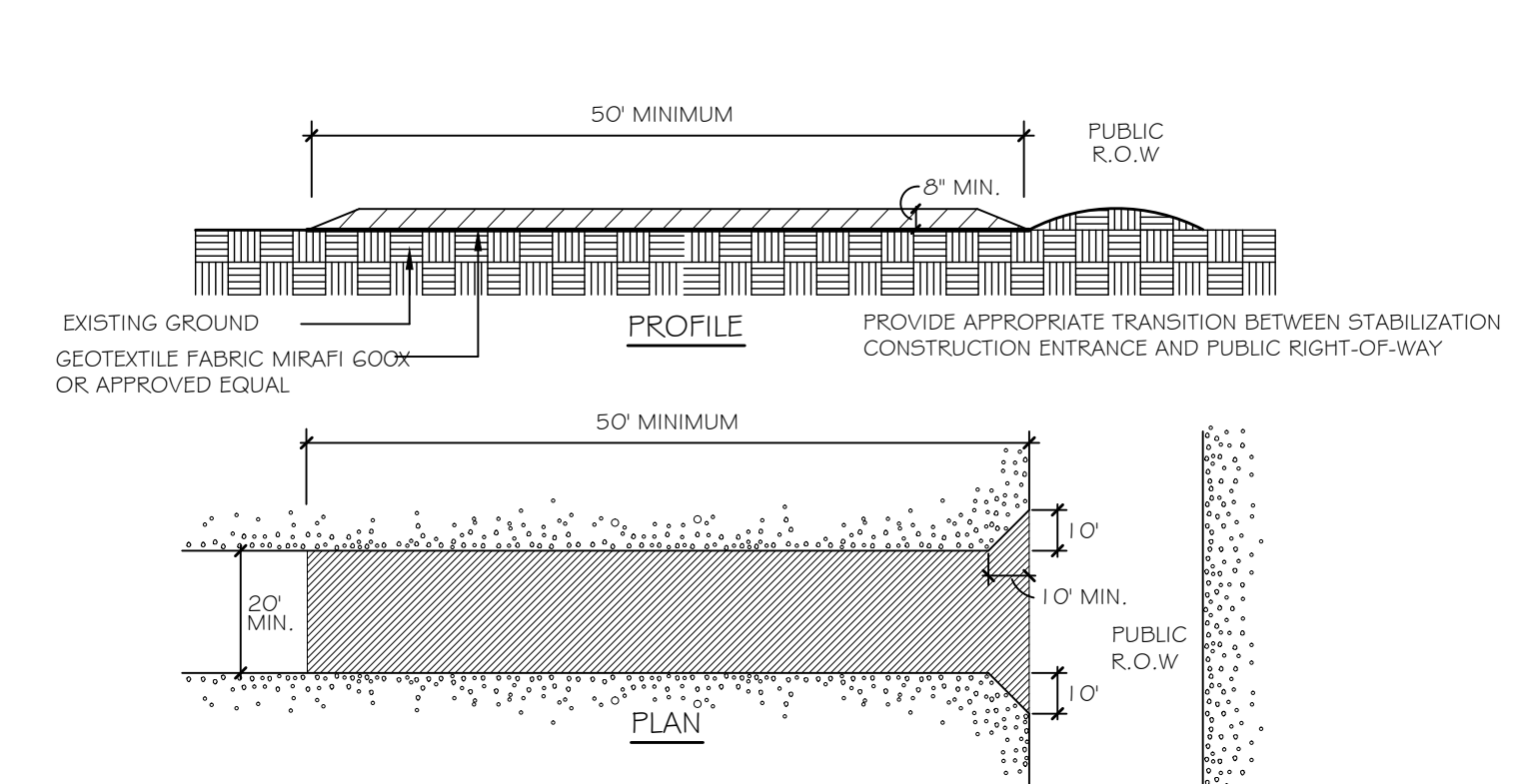
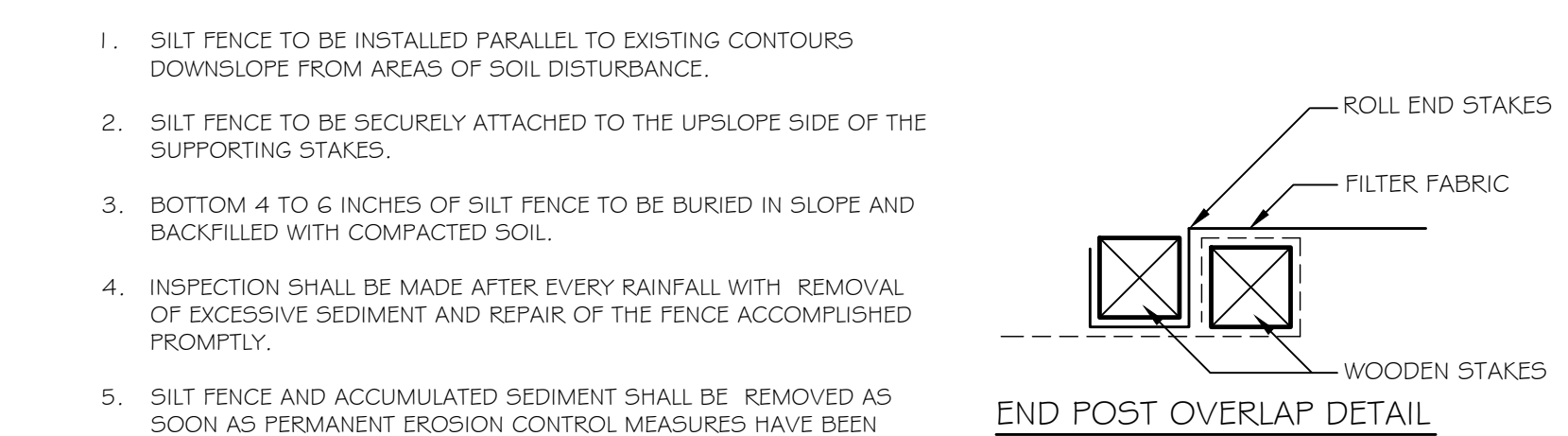
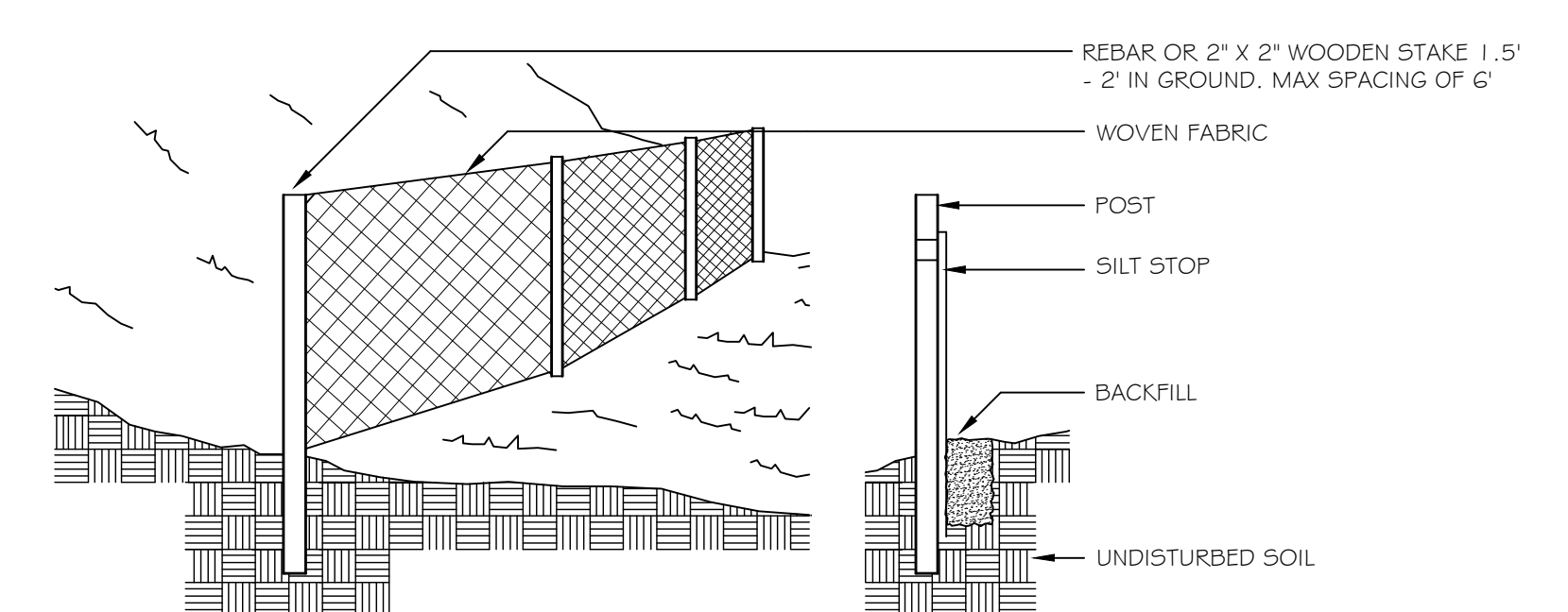
WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 0.5" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES, UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AFTER STORM EVENTS. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.

CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE SCHLOTTERBECK BLOCK LLC.

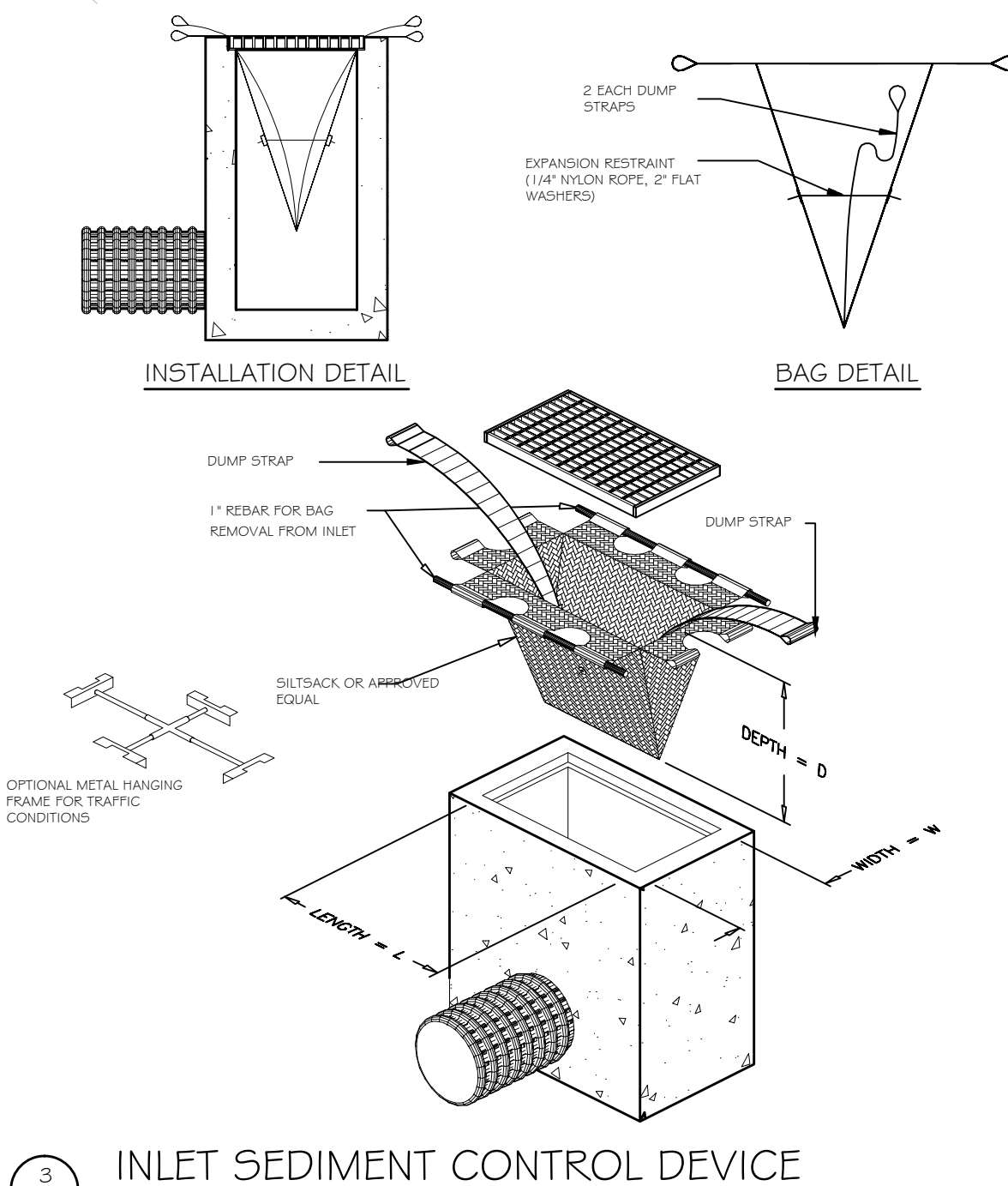


LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
IRON PIPE OR ROD FOUND	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
ELECTRIC/GAS METER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
GRANITE CURB	[Symbol]	[Symbol]
SURFORM CONCRETE CURB	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
TELEPHONE	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
1' CONTOUR	[Symbol]	[Symbol]
CONSTRUCTION ENTRANCE	[Symbol]	[Symbol]
INLET SEDIMENT CONTROL DEVICE	[Symbol]	[Symbol]
ESC SILT FENCE	[Symbol]	[Symbol]



CONSTRUCTION SPECIFICATIONS:
 1. STONE SIZE: ASTM DESIGNATION M 43, SIZE NO. 2 (2.5" TO 1.5"). USE CRUSHED STONE.
 2. LENGTH: AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS: NOT LESS THAN EIGHT (8) INCHES.
 4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
 5. WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
 6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.



1 SILT FENCE NOT TO SCALE

2 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

3 INLET SEDIMENT CONTROL DEVICE NOT TO SCALE

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 Owner and Applicant:
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The Schlotterbeck Block
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 117 Preble Street

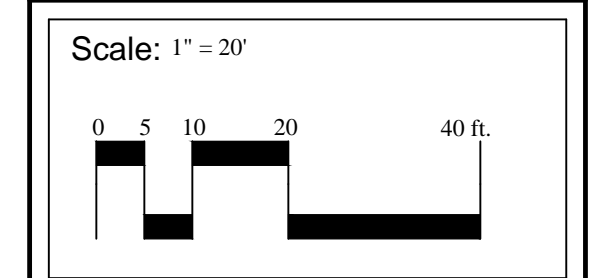
Date: **OCTOBER 5, 2015**

Issued For:

- Revisions:
- DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS
 - DEC. 10, 2015: REVISED PER STAFF REVIEW COMMENTS
 - FEB. 25, 2016: REVISED PER CONDITIONS OF APPROVAL

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Title:
EROSION AND SEDIMENT CONTROL PLAN



North: [Compass rose]

Sheet No.: **L4.0**

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN" LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

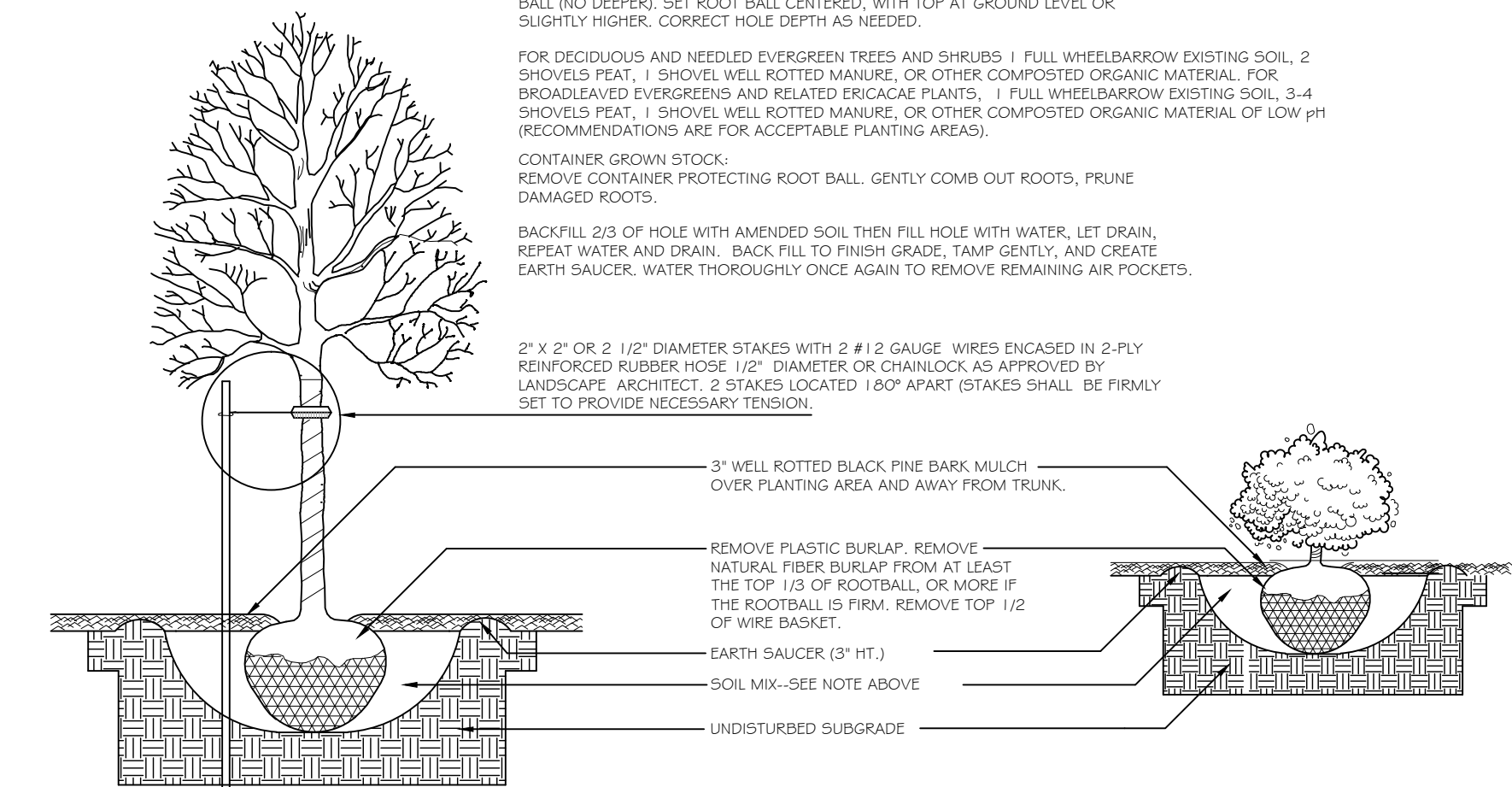
DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS: 1 FULL WHEELBARROW EXISTING SOIL, 2 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL. FOR BROADLEAVED EVERGREENS AND RELATED EPICACAE PLANTS: 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS. PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN. BACK FILL TO FINISH GRADE. TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" OR 2 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRTS ENCASED IN 2-PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 180° APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION).



TREE AND SHRUB INSTALLATION

NOT TO SCALE

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	●	○
MONUMENT FOUND	■	□
UTILITY POLE	⊗	⊗
MANHOLE	○	○
ELECTRIC/GAS METER	⊗	⊗
SIGN	—	—
CATCH BASIN	⊗	⊗
HYDRANT	⊗	⊗
WATER VALVE	⊗	⊗
LIGHT POLE	⊗	⊗
FENCE	—	—
GRANITE CURB	—	—
OVERHEAD WIRES	—	—
WATER LINE	—	—
GAS LINE	—	—
TELEPHONE	—	—
STORM DRAIN	—	—
SANITARY SEWER	—	—
1" CONTOUR	—	—
BRICK PAVERS	—	—
CONCRETE PAVERS	—	—
GRANITE PILLAR	—	—



PERMITTING DRAWINGS -- NOT FOR CONSTRUCTION

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The Schlotterbeck Block
 Portland, Maine
 117 Preble Street

Date: **OCTOBER 5, 2015**

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Revisions:
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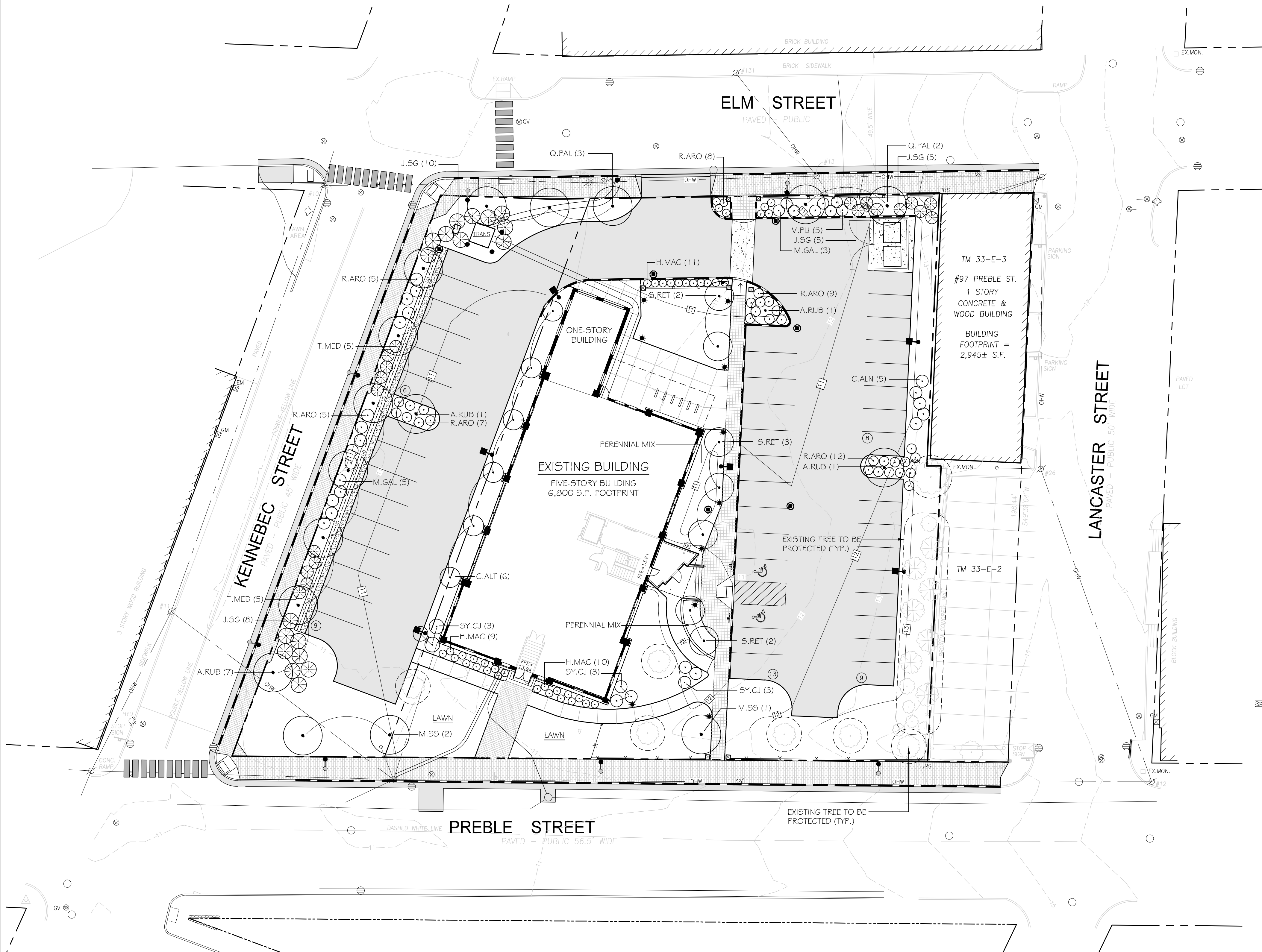
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Title:
PLANTING PLAN

Scale: 1" = 20'

North:

Sheet No.: **L5.0**



KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
A.RUB	10	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2.5" CAL.	
M.SS	3	MALUS 'SPRING SNOW'	'SPRING SNOW' CRABAPPLE	1.75" CAL.	
Q.PAL	5	QUERCUS FALLOSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	2" CAL.	
S.RET	7	SYRINGA RETICULATA	JAPANESE TREE LILAC	1.75" CAL.	
SHRUBS					
C.ALN	5	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD CLETHRA	2 GAL.	
C.ALT	4	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	5 GAL.	CLUMP
M.GAL	8	MYRICA GALE	SWEETGALE	3 GAL.	
H.MAC	30	HYDRANGEA MACROPHYLLA	ANNABELLE HYDRANGEA	2 GAL.	
J.SG	20	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	3 GAL.	
R.ARO	46	RHUS AROMATICA	GRO-LO SUMAC	2 GAL.	
V.PL	5	VIBURNUM PLICATUM TOM. SHOSHONI	SHOSHONI VIBURNUM	2 GAL.	
SY.CJ	9	SYRINGA 'CHARLES JOLY'	'CHARLES JOLY' LILAC	3 GAL.	
T.MED	10	TAXUS X MEDIA 'TAUNTONII'	TAUNTON YEW	24"	

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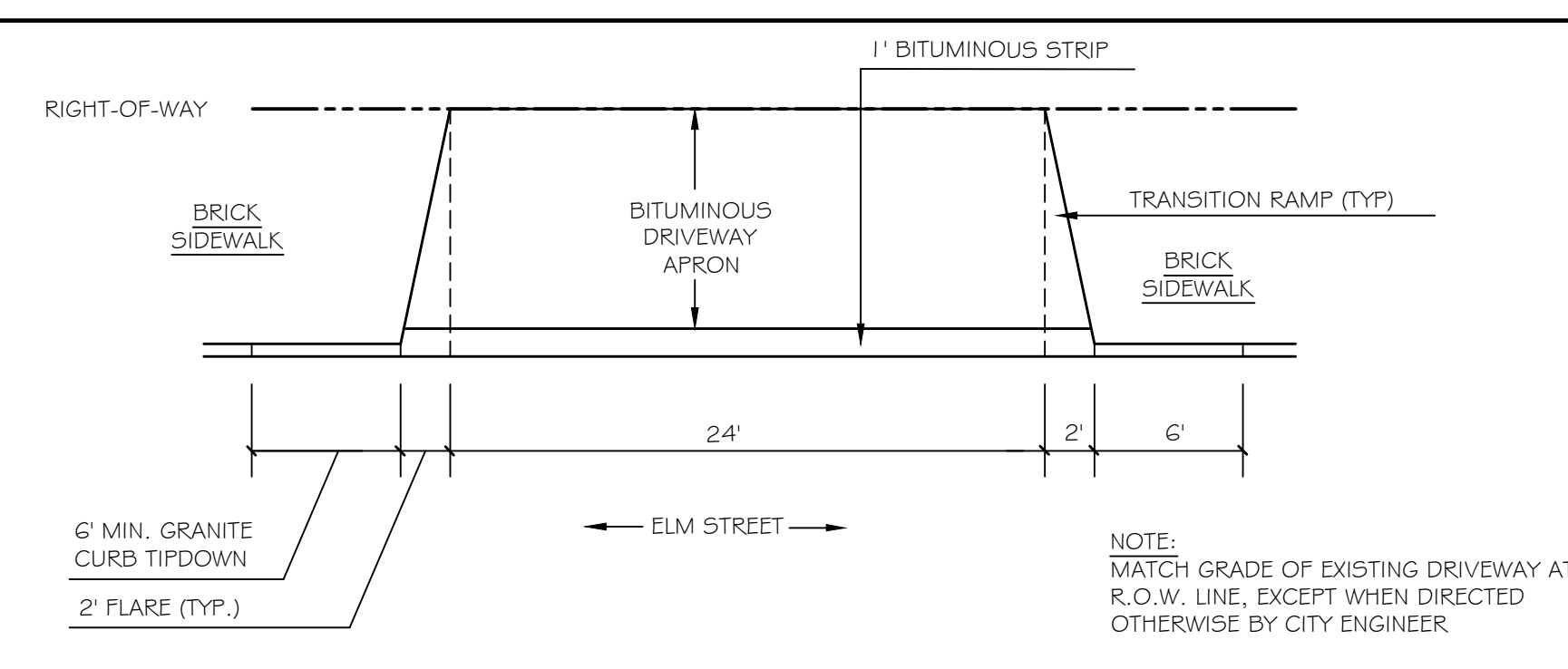
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Title: **SITE DETAILS**

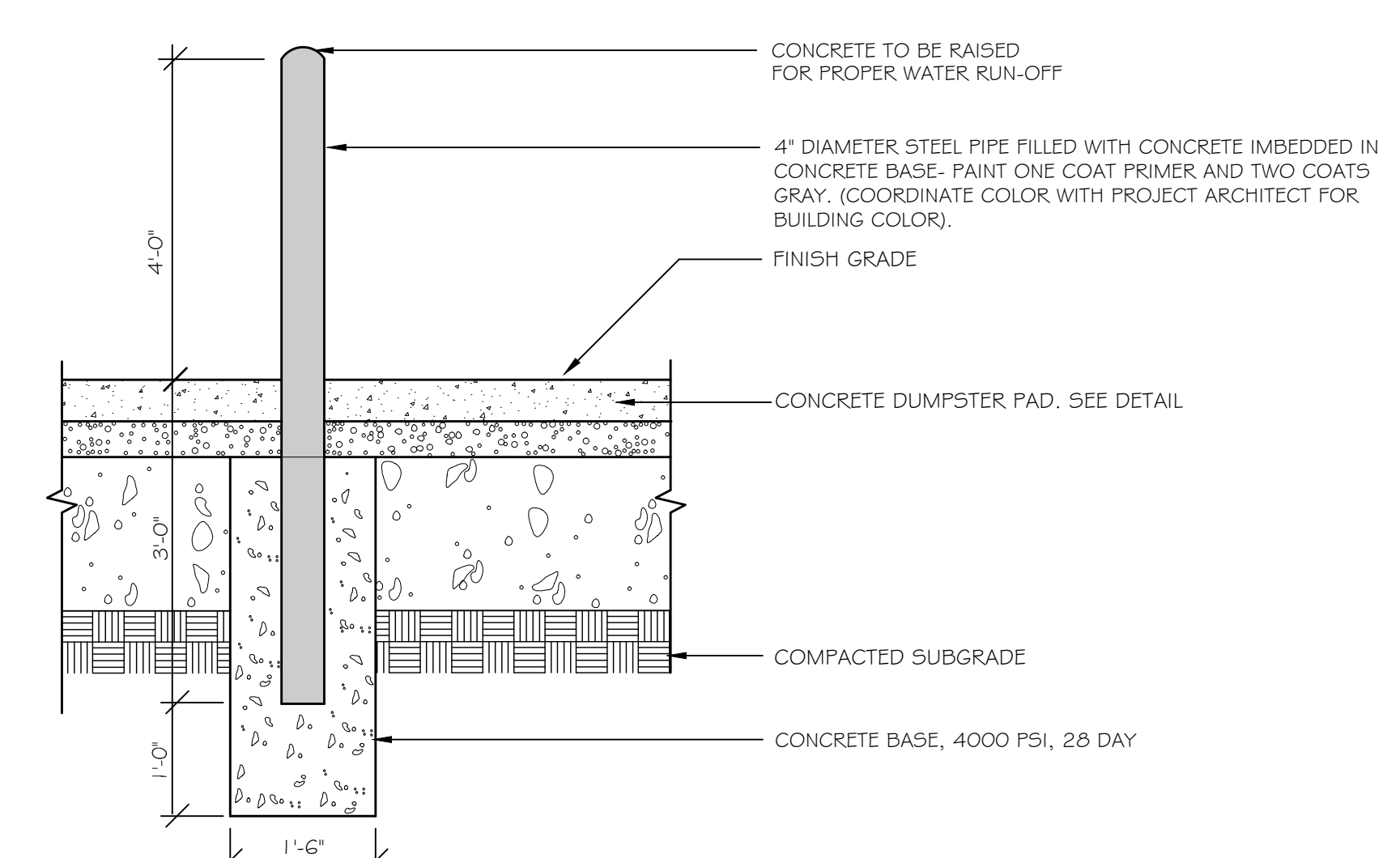
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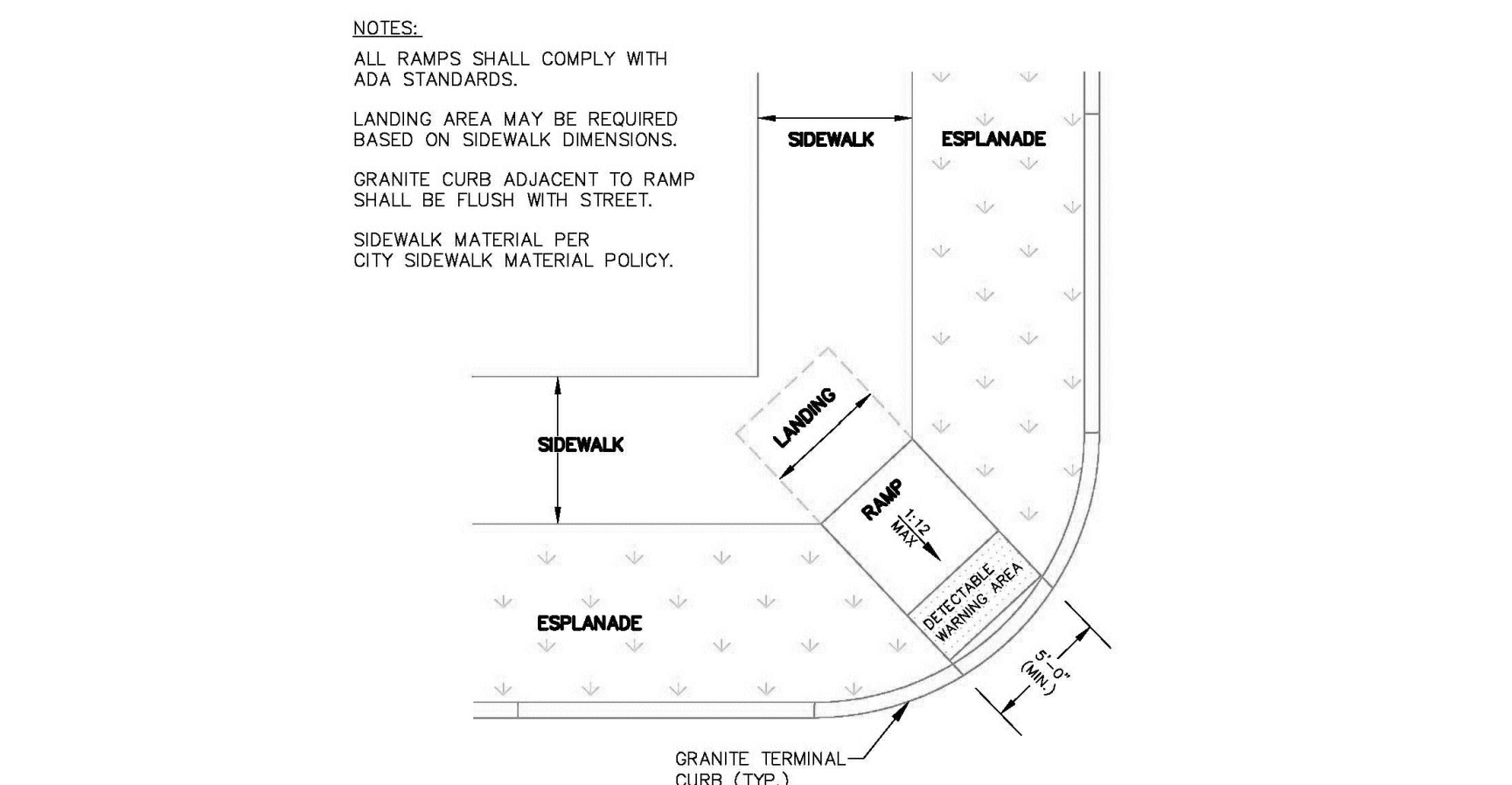
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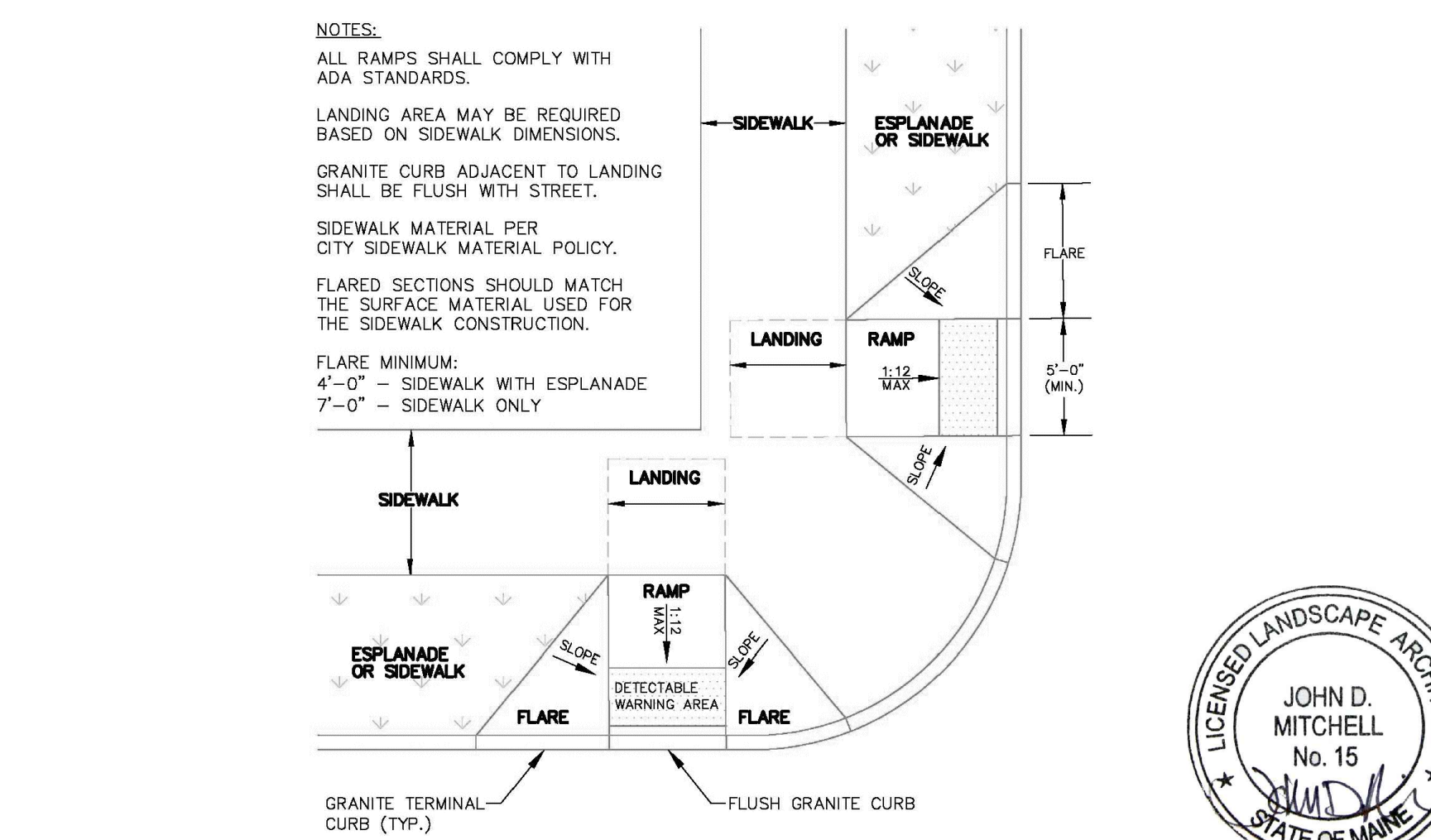
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11 PIPE BOLLARD DETAIL
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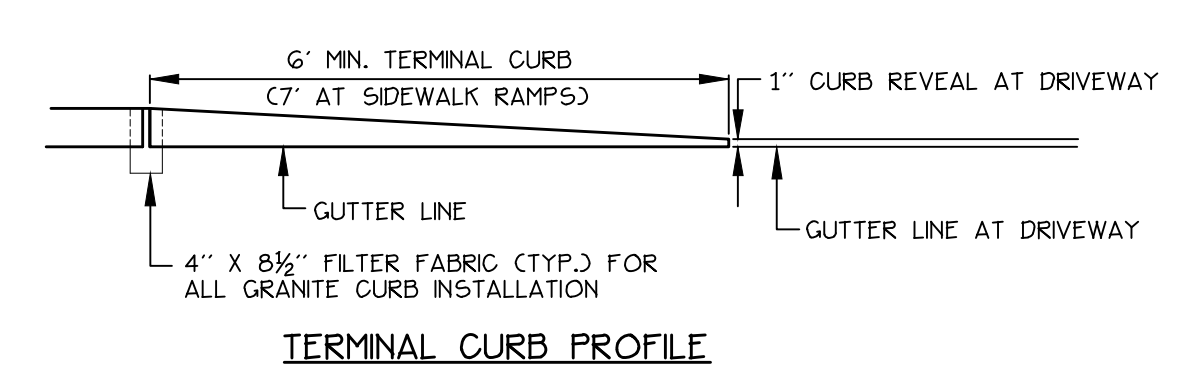


12 ADA RAMP AT PREBLE STREET/KENNEBEC STREET
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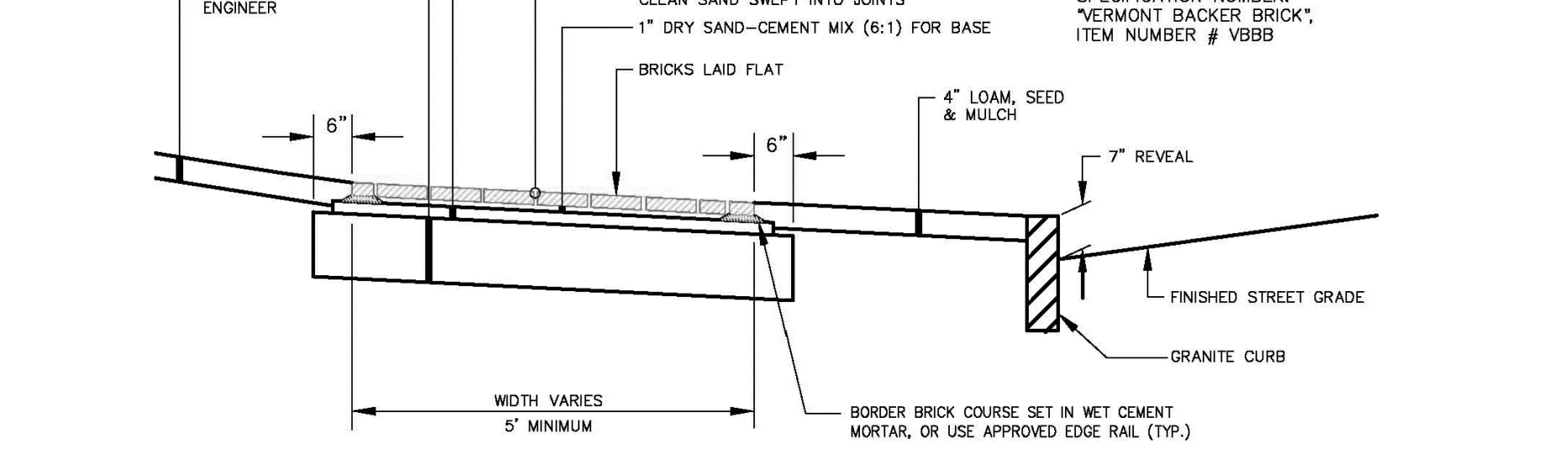
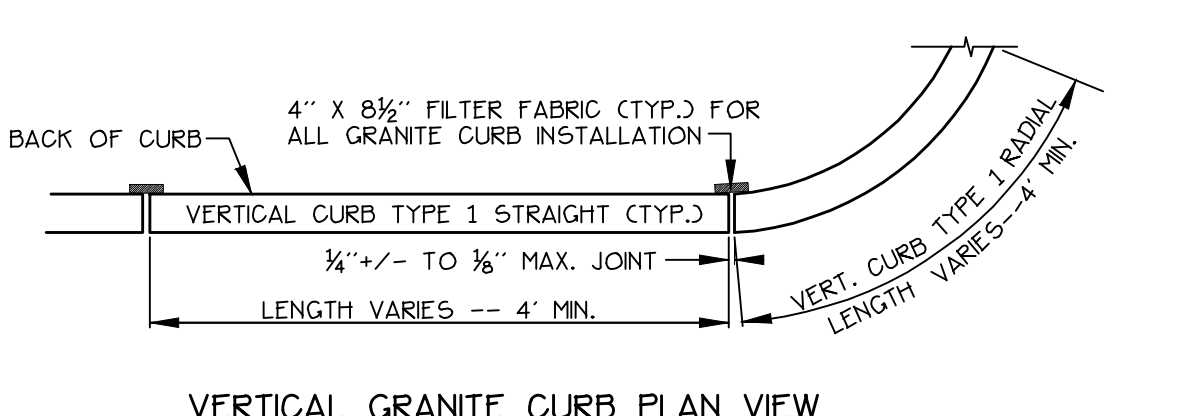


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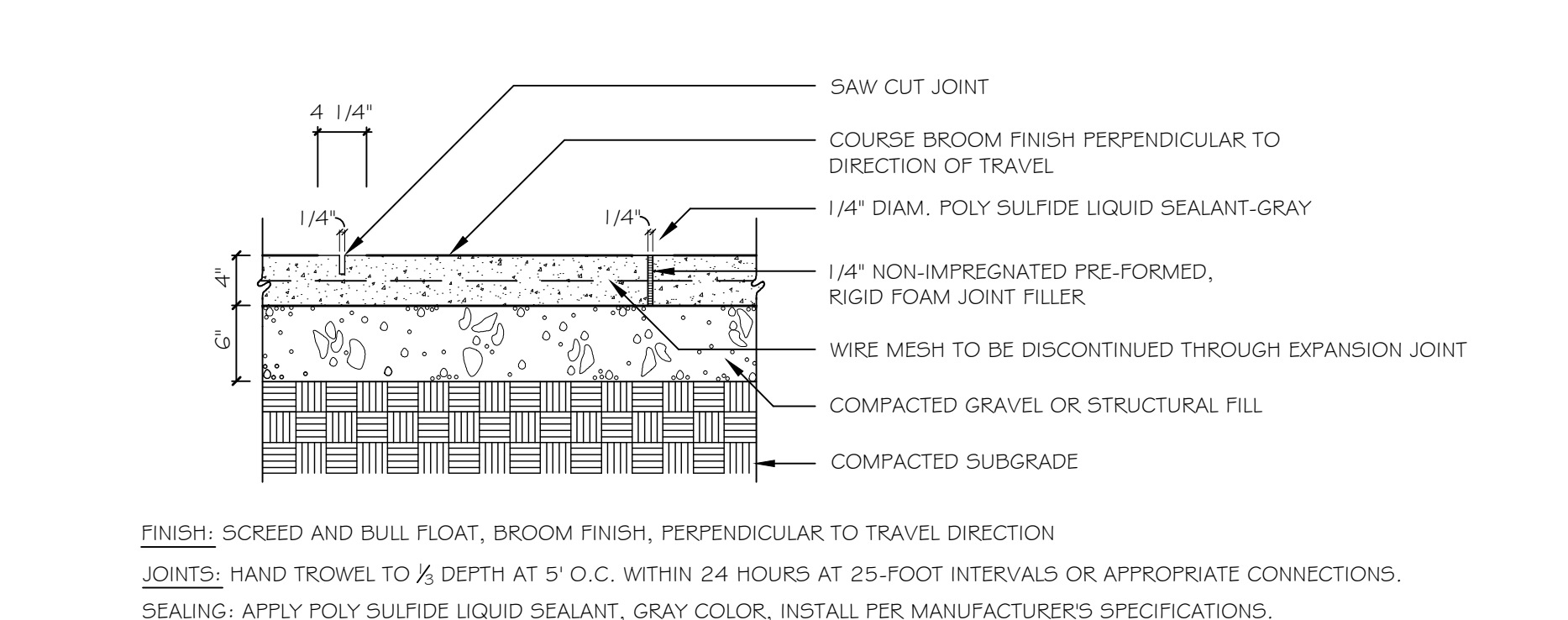
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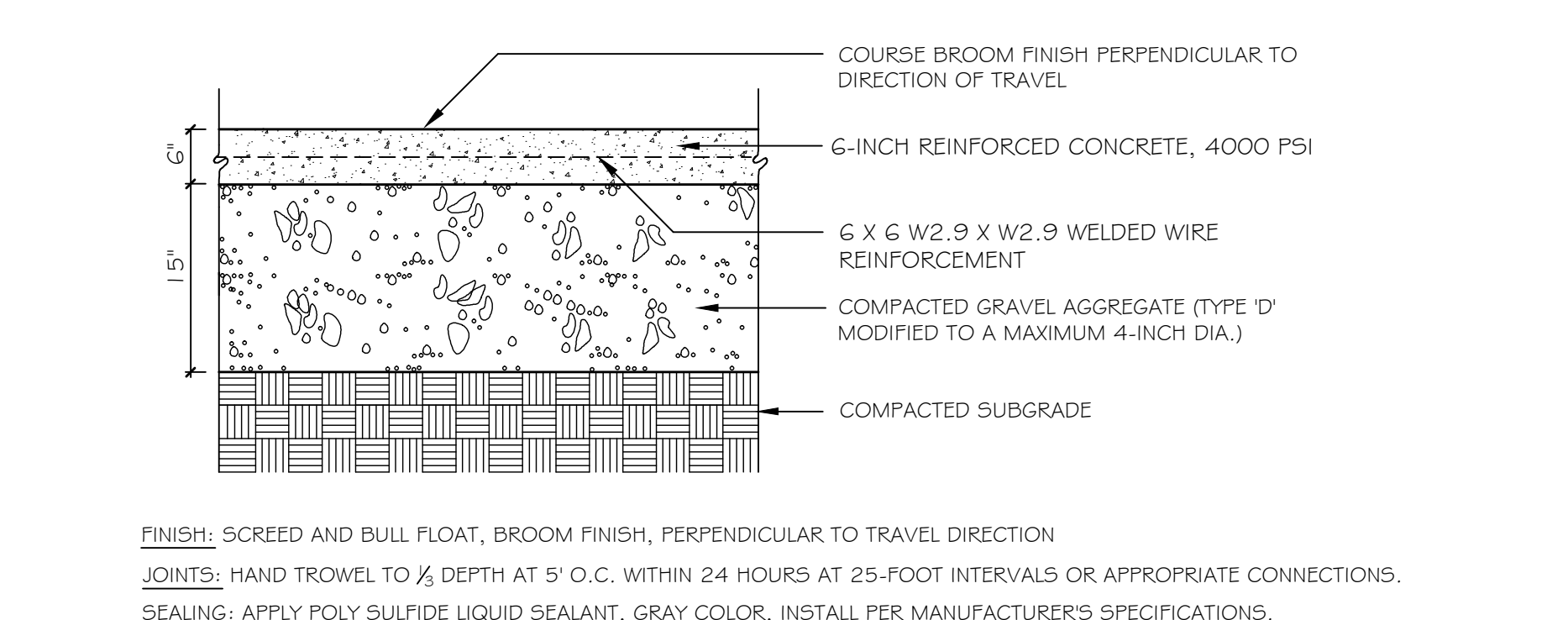
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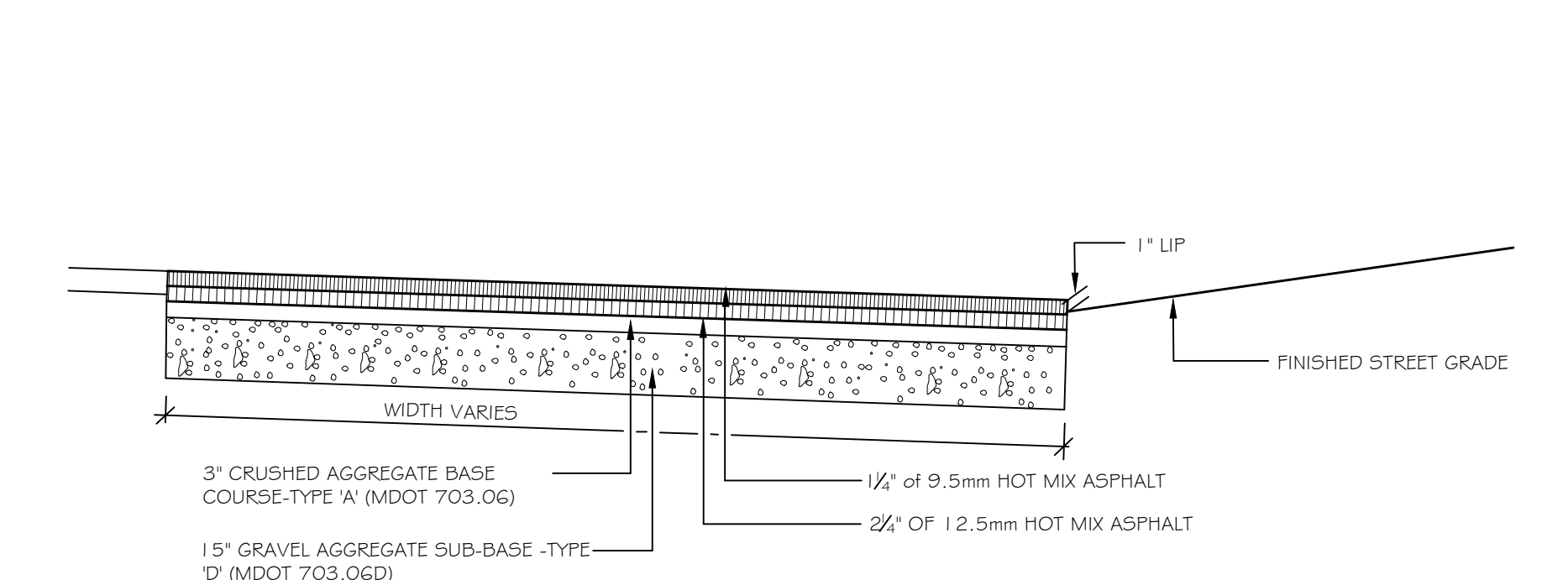
2 BRICK SIDEWALK WITH BITUMINOUS BASE AND GRANITE CURB
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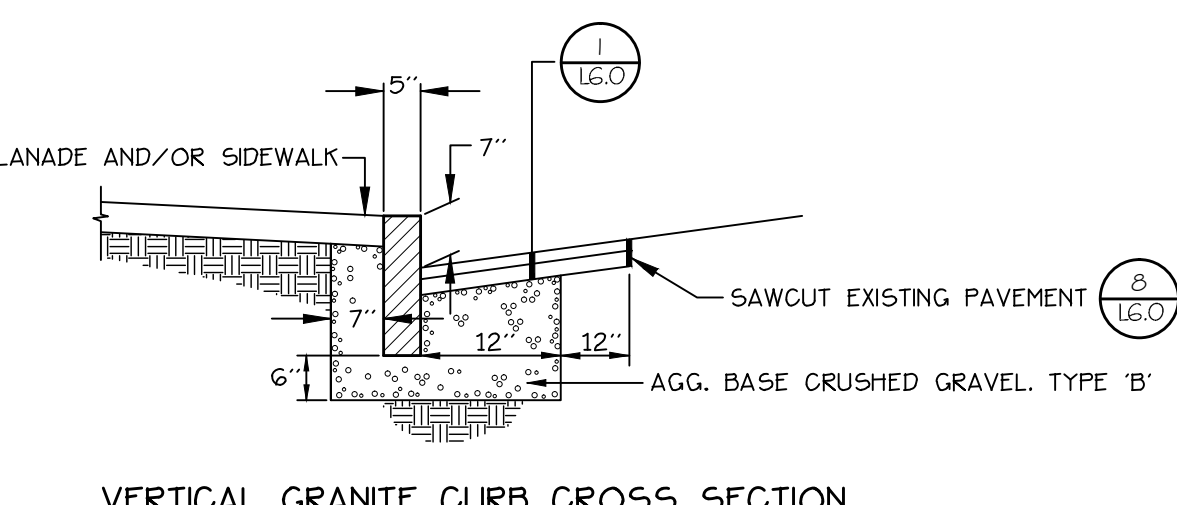
3 CONCRETE WALK
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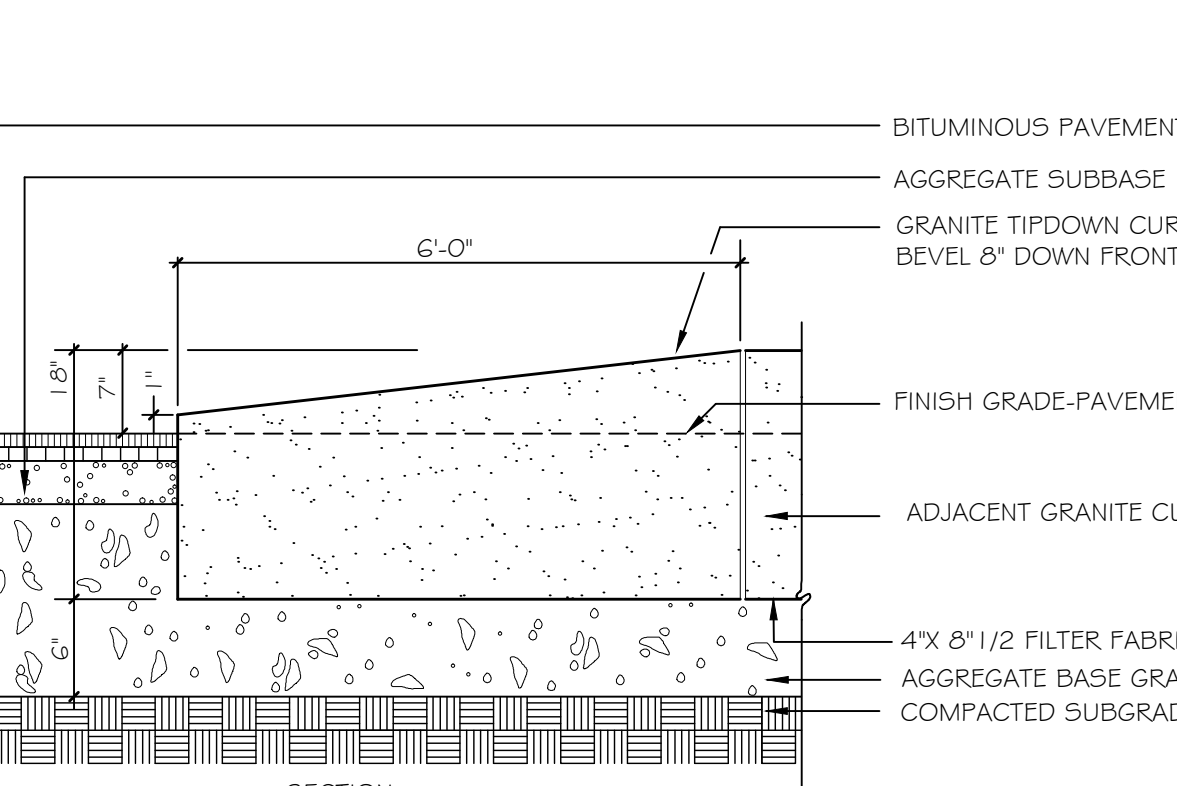
4 CONCRETE PAD: CROSSWALK AND DUMPSTER PAD
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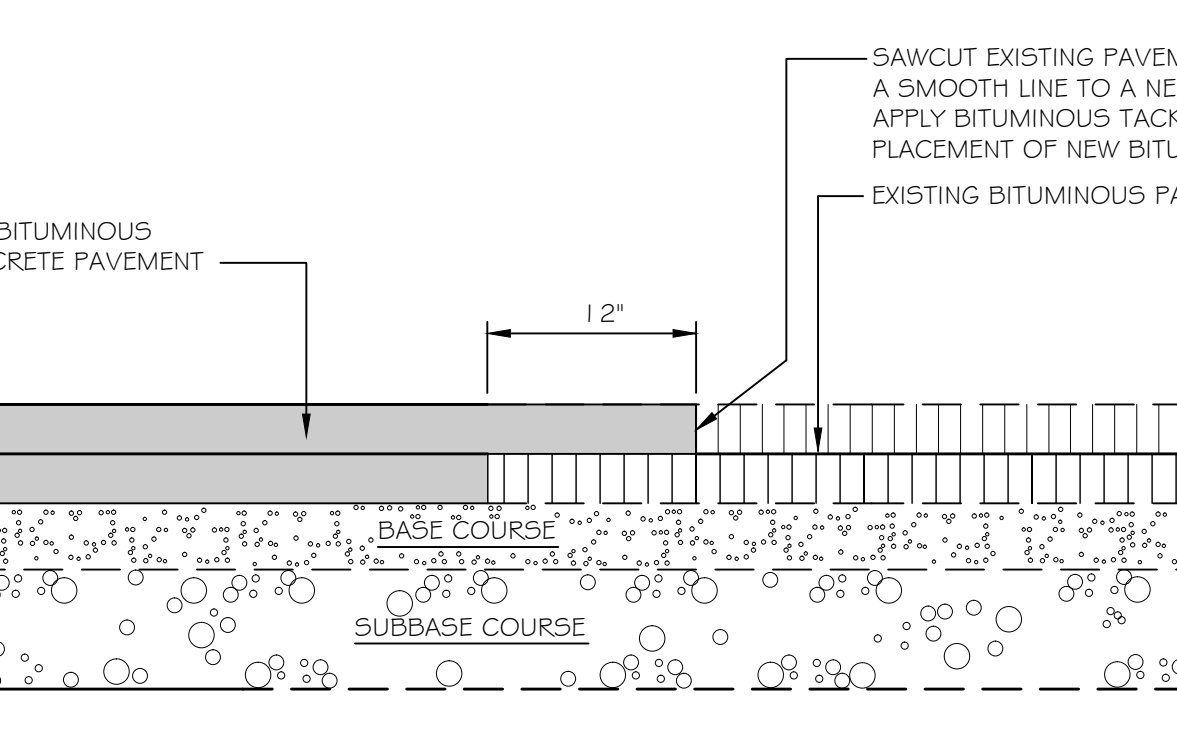
5 BITUMINOUS DRIVEWAY APRON
 NOT TO SCALE



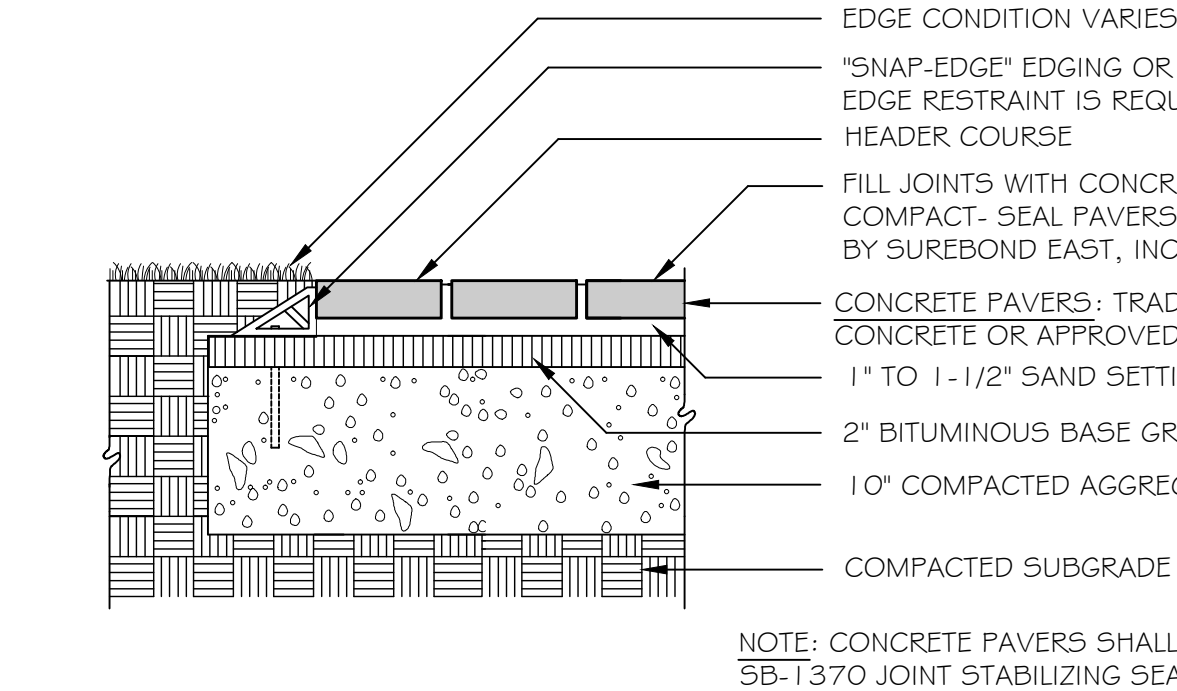
6 CITY OF PORTLAND STANDARD DETAIL: VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS
 NOT TO SCALE



7 GRANITE TIP-DOWN CURB
 NOT TO SCALE

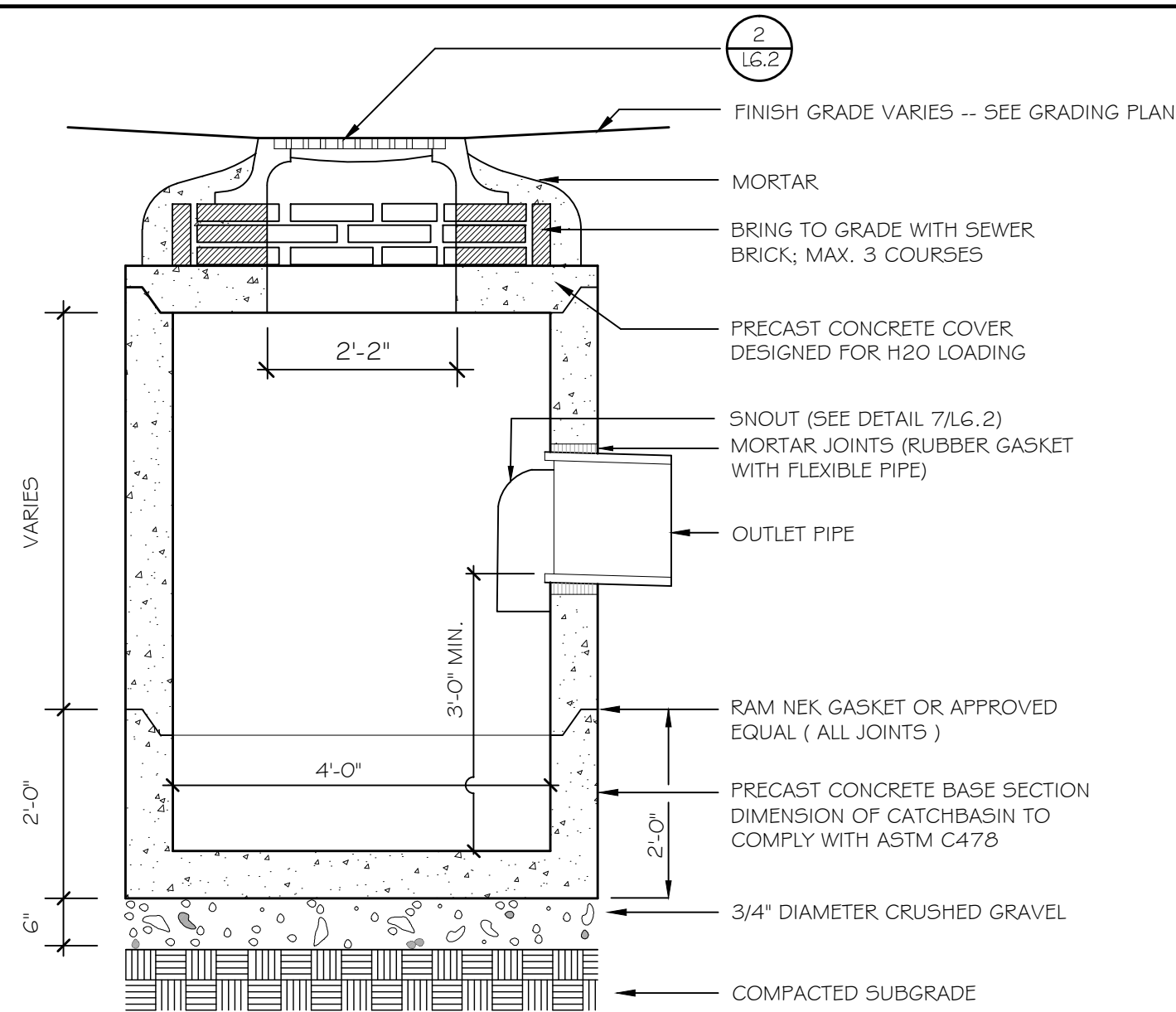


8 PAVEMENT SAWCUT DETAIL
 NOT TO SCALE



9 PRE-CAST CONCRETE MODULAR PAVERS
 NOT TO SCALE

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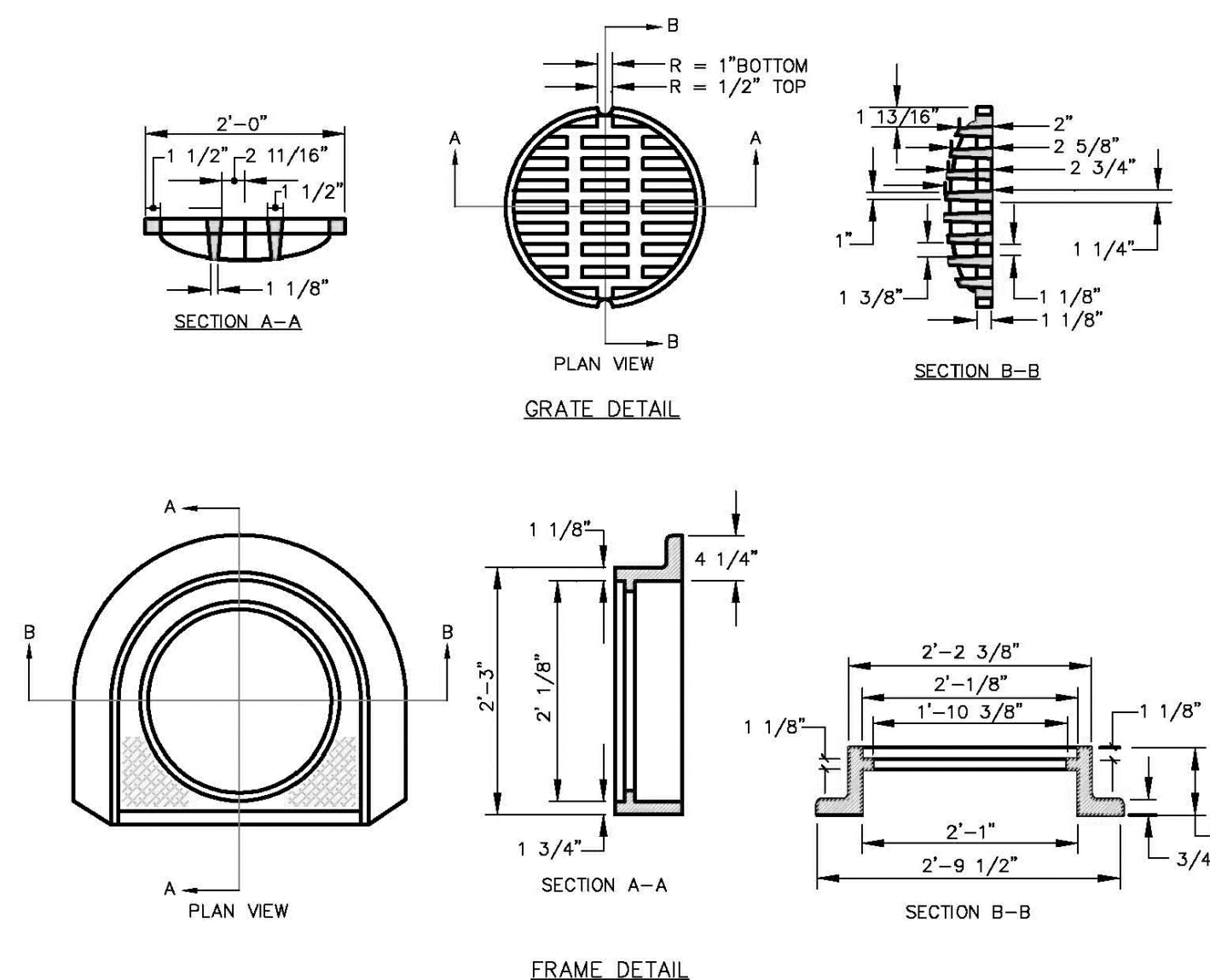


GENERAL NOTES FOR MANHOLES AND CATCH BASINS

- ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 50 INCH AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- MANHOLES MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- PRECAST REINFORCED CONE BARREL MANHOLES PER ASTM SPEC. C-478.
- ALL STORM AND SEWER MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE ONE 7/8" DIAMETER DRILLED PICK HOLE LOCATED 8" FROM THE CENTER OF THE COVER.
- ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE COVER. ALL STORMWATER/RAIN MANHOLE COVERS SHALL HAVE "RAIN" CAST INTO THE COVER.
- ALL MANHOLE RISERS SHALL BE EITHER 24" OR APPROVED EQUAL.
- SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE ON C-32-63, GRADE, WA AND SA.
- ALL SANITARY MANHOLES SHALL HAVE A WATERPROOFING COATING APPLIED TO THE EXTERIOR SURFACE.
- CATCH BASIN FRAMES FOR TYPE A4 CATCH BASIN CURB SLEETS SHALL BE EITHER DRAIN OR APPROVED EQUAL.
- CASTINGS SHALL CONFORM TO ASTM DESIGNATION A48-CLASS 35.
- EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
- ALL CATCH BASIN OUTLETS SHALL BE INSTALLED WITH A CASCO TRAP. SEE FIGURE FOR.

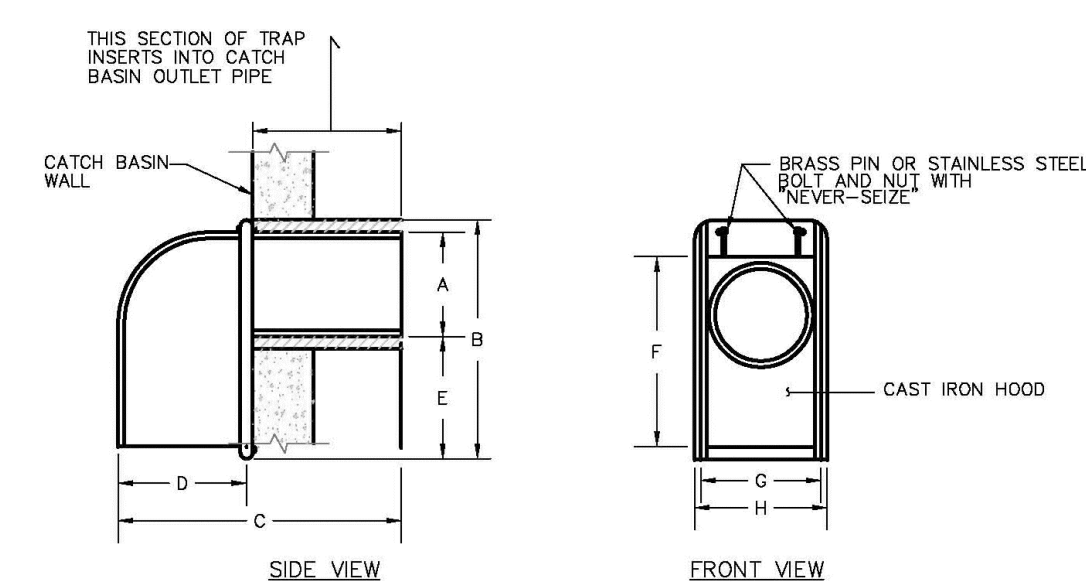
1 PRECAST CONCRETE CATCHBASIN

NOT TO SCALE



2 CAST IRON CATCH BASIN COVER AND FRAME

NOT TO SCALE



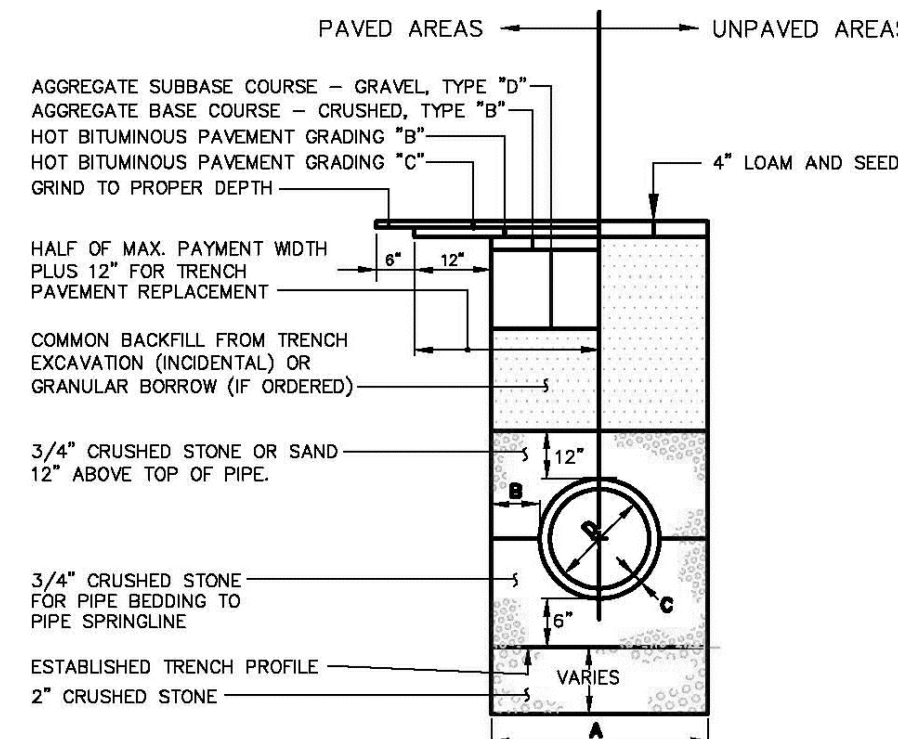
SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

(AS MANUFACTURED BY THE ETHERIDGE FOUNDRY IN PORTLAND, ME.)
NOTE: CONTRACTOR SHALL UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY, OR AN APPROVED EQUIVALENT.

3 CASCO TRAP (ALL CATCHBASIN DRAINAGE STRUCTURES)

NOT TO SCALE

NOTES:
DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.
ANY ALTERNATE TRENCHING OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.



TYPICAL PIPE TRENCH INSTALLATION

NOT TO SCALE

NOTES:
1. ALTERNATIVE CONSTRUCTION METHODS OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
2. IN PAVED AREAS, DEPTHS OF GRAVEL AND HOT MIX ASPHALT PAVEMENT SHALL MATCH THE GREATER OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
3. DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HAUNCHES OF THE PIPE. BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 9".
4. DIMENSION A IS THE MAXIMUM WIDTH ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BORROW, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER D, AS SET FORTH IN THE FOLLOWING TABLE.

PIPE DIAMETER, D (INCHES)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	4.0
15	5.0
18	5.0
21	5.0
24	6.0
27	6.0
30	6.0
36	6.0
42	7.0
48	7.0

TYPICAL PIPE INSTALLATION - NOTES

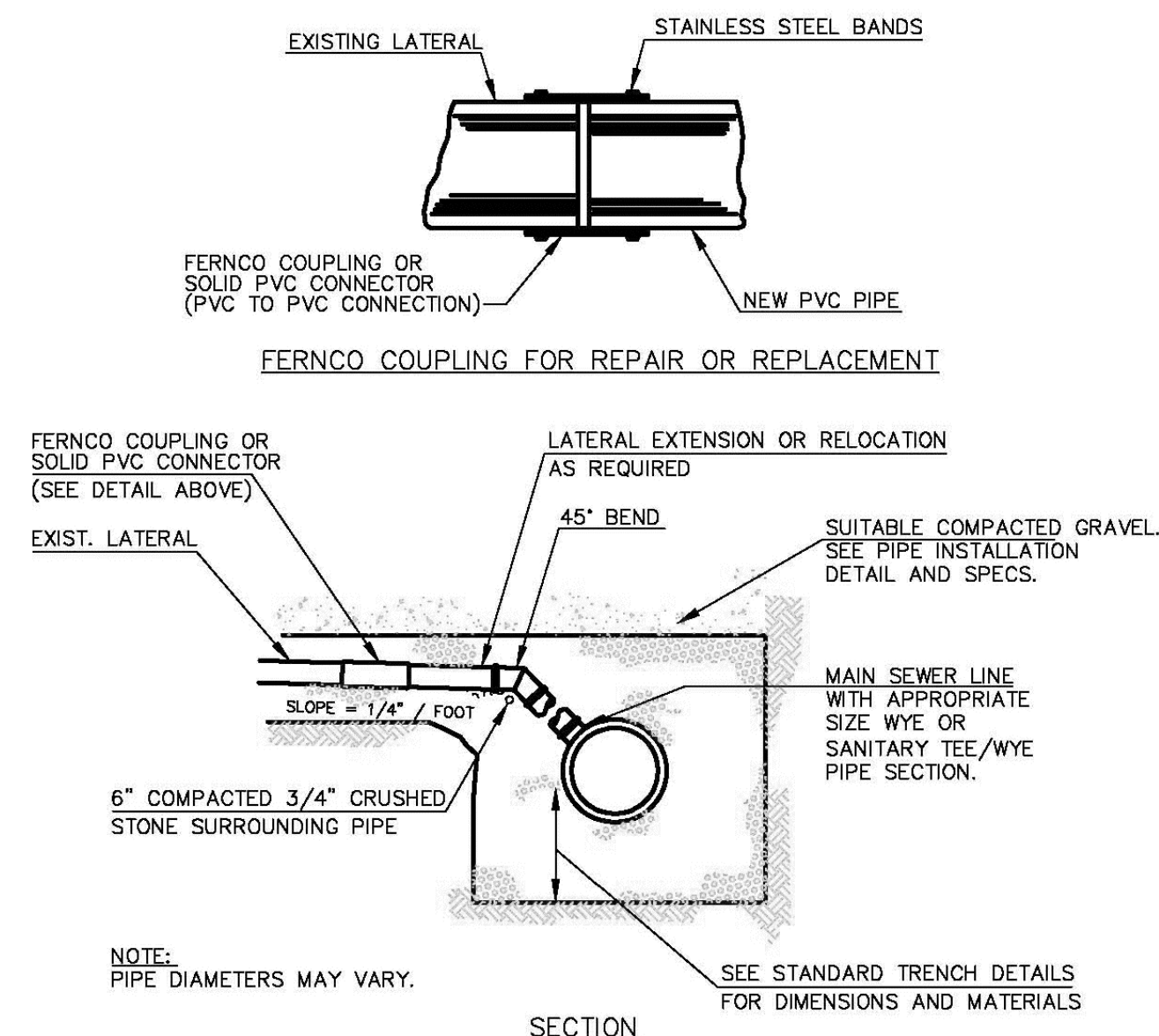
NOT TO SCALE

4 CITY OF PORTLAND TRENCH DETAIL

NOT TO SCALE

NOTE:
LOCATIONS AND ELEVATIONS OF STUBS SHOWN ON THE PLANS ARE TO BE CONSIDERED AS APPROXIMATE AND MAY BE ADJUSTED AS DIRECTED TO SUIT FIELD CONDITIONS.

HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS TO THE MAIN LINE OF THE SEWER, SHALL CONSIST OF AN APPROPRIATE "Y" BRANCH CONNECTION AS SHOWN ON THE PLANS, OR AS DIRECTED. ACTUAL "Y" LOCATIONS FOR HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS SHALL BE DETERMINED DURING CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF "Y" LOCATIONS WHICH SHALL BE GIVEN TO THE CITY OF PORTLAND UPON COMPLETION OF THE CONTRACT. ALL PVC TO PVC COUPLING SHALL BE "SOLID PVC COUPLINGS".

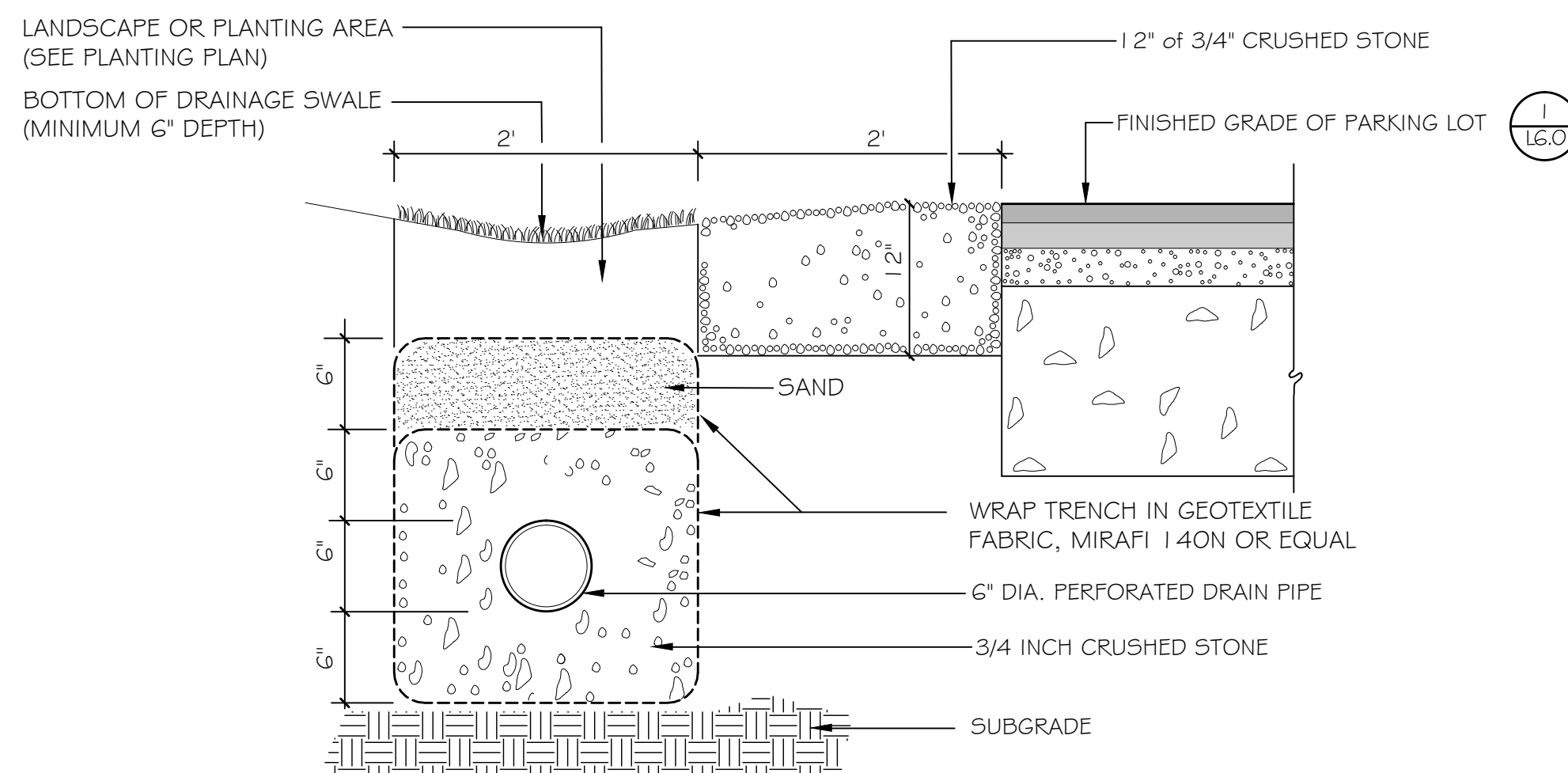


TYPICAL EXISTING LATERAL CONNECTION

NOT TO SCALE

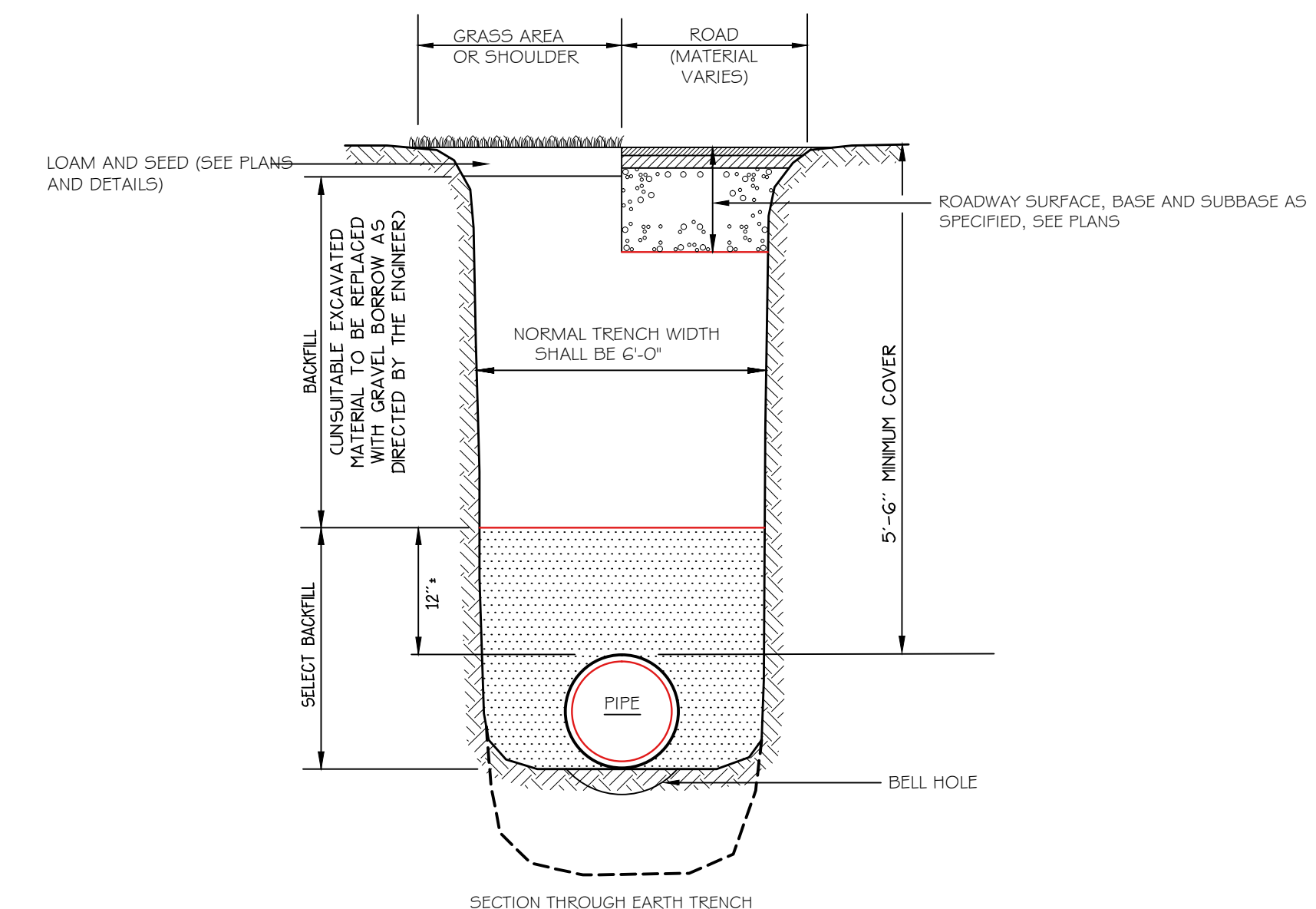
5 CITY OF PORTLAND LATERAL CONNECTION DETAIL

NOT TO SCALE



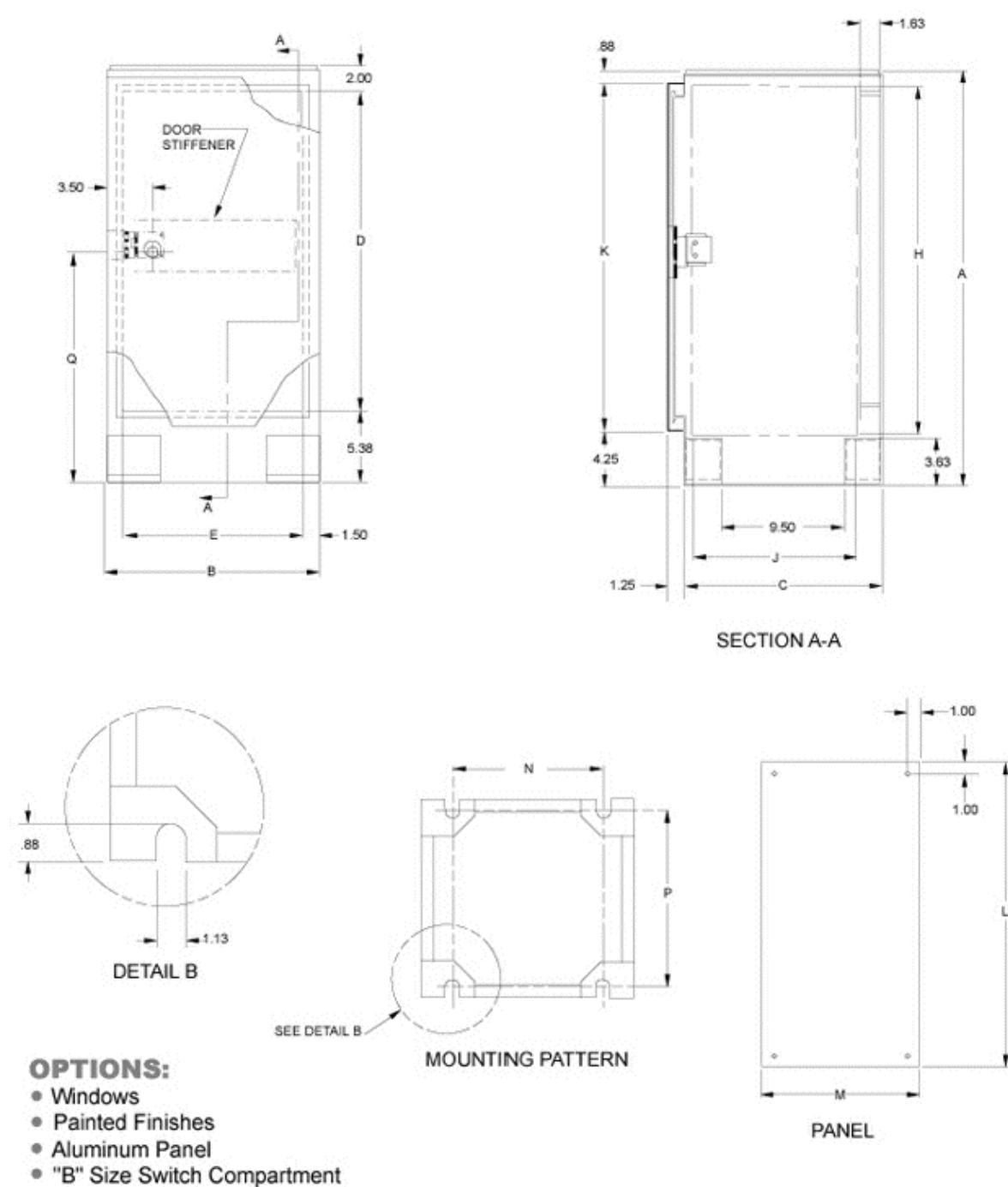
6 SAND INFILTRATION TRENCH DETAIL

NOT TO SCALE



7 PORTLAND WATER DISTRICT PIPE TRENCH DETAIL

NOT TO SCALE



OPTIONS:

- Windows
- Painted Finishes
- Aluminum Panel
- "B" Size Switch Compartment

CATALOG NUMBER	MOUNTING OPTIONS	OVERALL ENCLOSURE			DOOR OPENING		SWITCH COMPARTMENT LOCATION	AVAILABLE SPACE			DOOR HEIGHT	PANEL			PAD MTG. PATTERN	GENERAL INFORMATION
		A	B	C	D	E		F	G	H		J	K	L		
TCPE401615	PAD ONLY	39.88	16.25	15.19	32.50	13.25	OPTIONAL	34.50	12.00	34.75	35.00	13.50	11.50	13.50	21.63	
TCPE531615	PAD ONLY	53.00	16.25	16.19	46.75	13.75	OPTIONAL	40.00	13.50	47.75	35.00	13.00	11.50	13.44	23.87	

8 CITY OF PORTLAND STREET LIGHT PEDESTAL (TCPE40 | G | 15)

NOT TO SCALE

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The Schlotterbeck Block

Portland, Maine

117 Preble Street

Date: OCTOBER 5, 2015

Issued For:

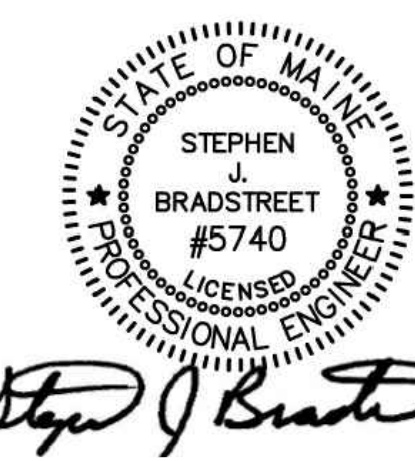
Revisions:
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS
DEC. 10, 2015: REVISED PER STAFF REVIEW COMMENTS
FEB. 25, 2016: REVISED PER CONDITIONS OF APPROVAL

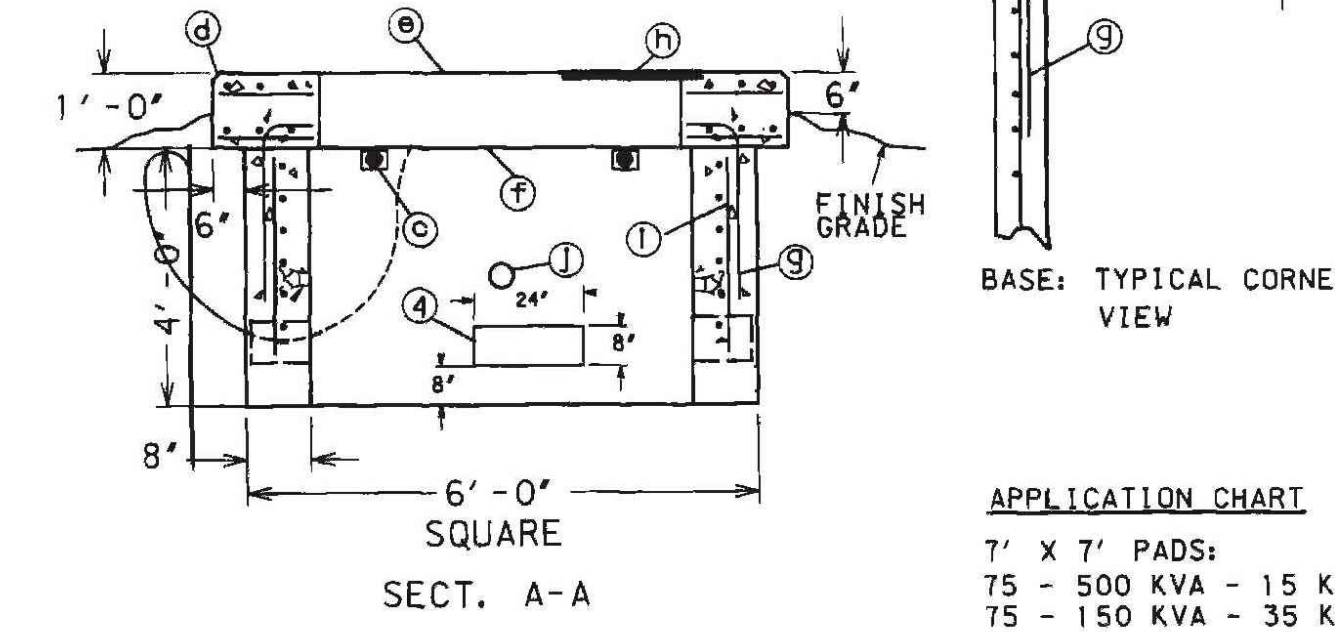
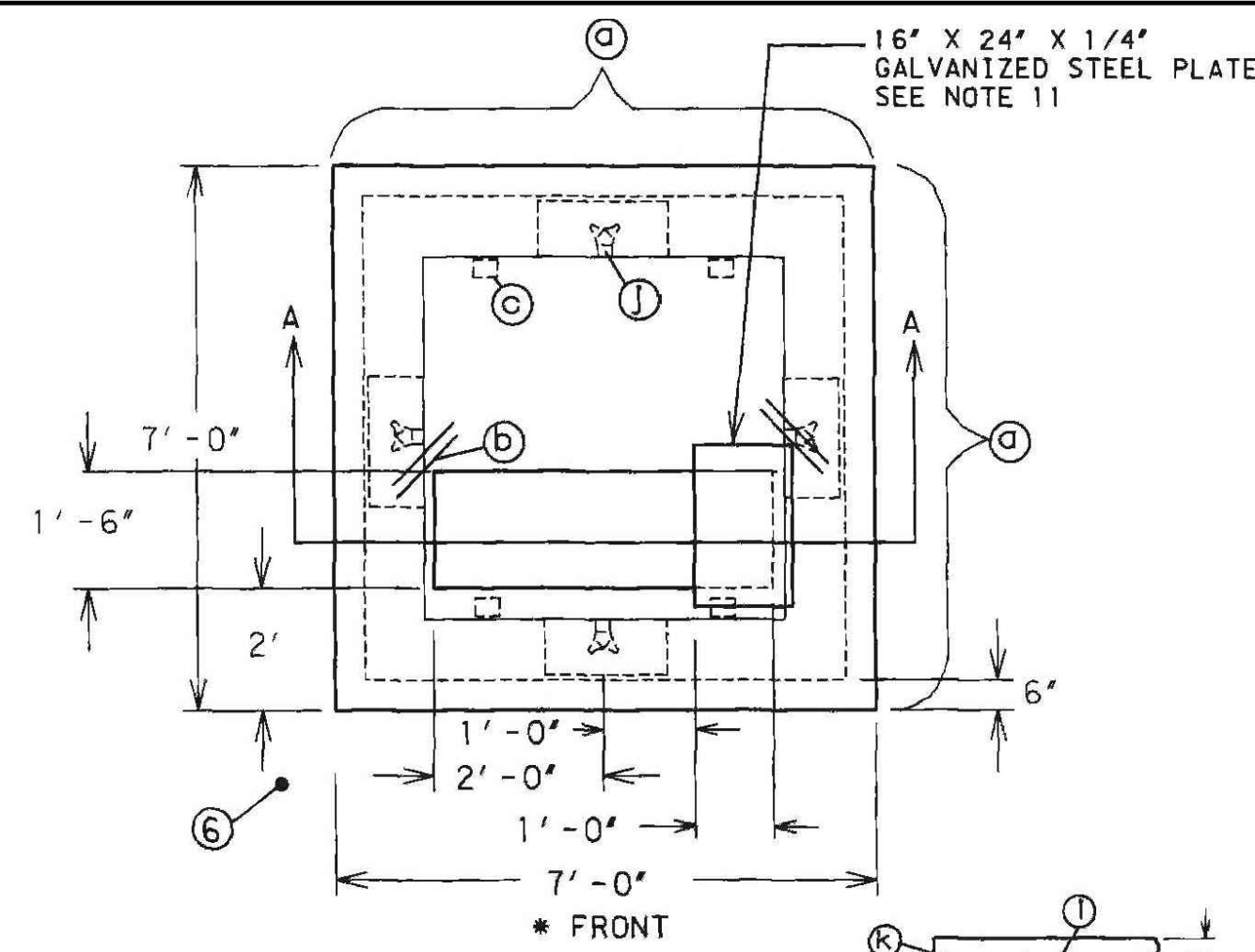
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Title: SITE DETAILS

Scale: AS SHOWN

North: Sheet No.: **L6.2**

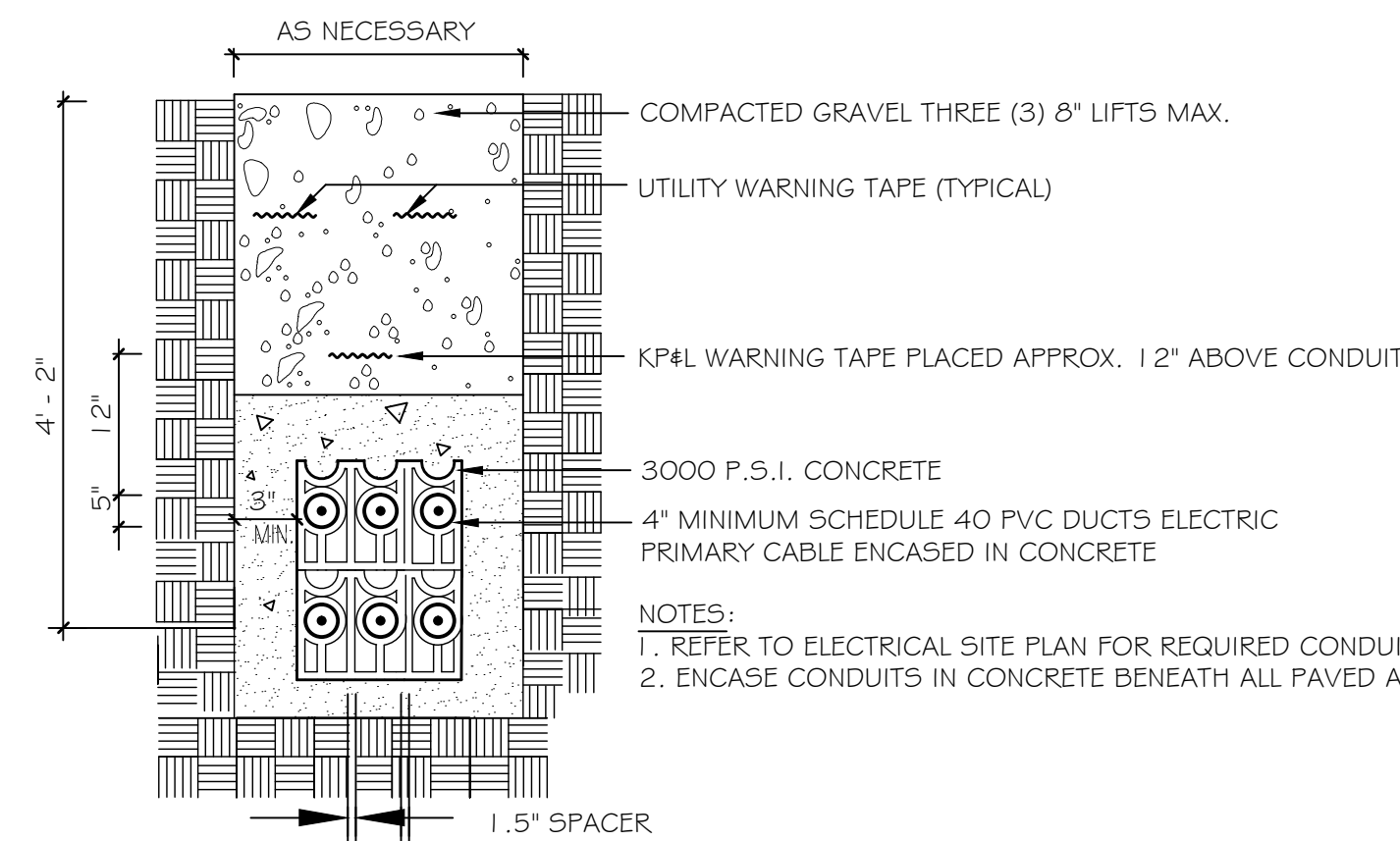




NOTES:

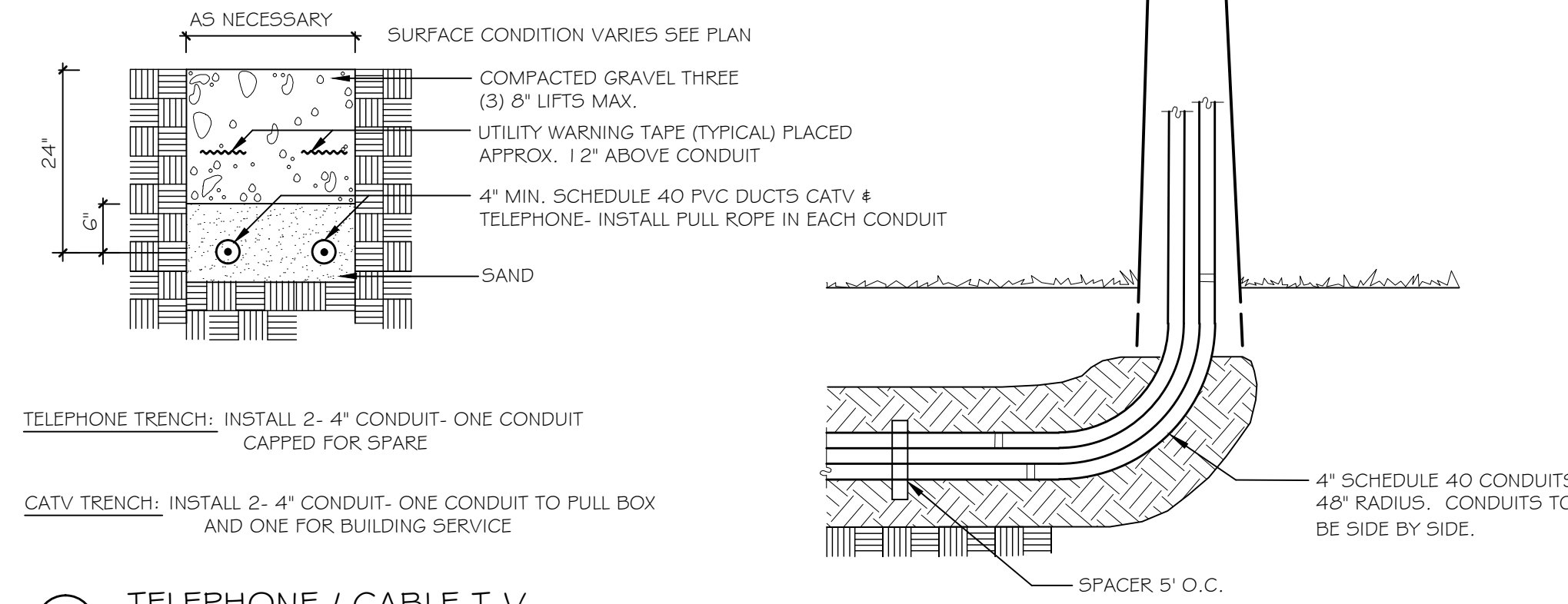
- * FRONT denotes the side on which the access doors are located. The concrete base shall be set on a suitable gravel base and located so the FRONT is accessible by truck and suitably protected from plow and traffic damage.
 - Before installing or requiring any active drainage structure (e.g., drain pipe) into the foundation or pad, the contractor, CMP Line Supervisor, or CMP Distribution Engineer must contact Central Maine Power Company's Environmental Services Department at 623-3521 ext. 3479 to request a site inspection.
 - Finish grade shall be graded in such manner to allow surface water to flow away from the pad.
 - Provide 8" x 24" cable holes (bond outs) 8' up the wall from the base. Locate one cable hole per wall, more if necessary. Line up cable holes with trench.
 - Conduits entering concrete structures shall be set back from the inside wall 1 to 2 inches and the space within the knockout surrounding the conduits completely filled with mortar to prevent soil from entering structure. Inside the structure the mortar shall be finished and banded from the conduit ends to the inside wall face to cover and smooth the edges of the knockouts.
 - A 3/4" x 8' galvanized ground rod is to be installed six inches in front of the left FRONT corner of the foundation. The top of the ground rod to be 6 inches below final grade.
 - A ground wire shall be installed from the ground rod through the cable hole at the bottom of the pad. 10 feet of ground wire shall be provided so that it can be installed through the two grounding lugs and connected to the neutral spade.
 - Concrete compressive strength shall be 4000 PSI @ 28 days. For cast-in-place early high strength may be used with a minimum of seven day cure time.
 - Reinforcing steel to have: FY = 60 KSI.
 - For precast units: The precast supplier shall provide lifting lugs in the slab (foundation) and base. The precast supplier shall assemble the slab to the base prior to shipping to the site to ensure that the slab and base fit properly with no rocking of the slab evident.
 - A 16" x 24" x 1/4" galvanized steel plate to cover a portion of the cable hole when the transformer does not completely cover it. Cut the steel plate to fit, if necessary.
- a. #5 Rebar evenly spaced each way top to bottom.
 b. 2" x 4" corner diagonal rebar 2'-0" long top and bottom.
 c. 4" x 4" x 1/2" angle 6' long with 2-3/4" diameter expansion anchors typical - 4 pieces (two piece precast only).
 d. Chamfer typical.
 e. 2" concrete cover over top rebar.
 f. 3" concrete cover over bottom rebar.
 g. #5 L-Bar @ 12" (cast-in-place only).
 h. 16" x 24" x 1/4" galvanized steel plate, MID*6000621790
 i. #5 Rebar on 12" centers.
 j. Pulling eye insert, for use with national course thread eye-bolt, (1) channel LCB-1 or equivalent. Located opposite each cable hole and 2' (two feet) from the bottom.
 k. All rebar ends to be covered by 1' of concrete, minimum.

1 16.3 7' X 7' TRANSFORMER PAD (75 - 500 KVA) NOT TO SCALE

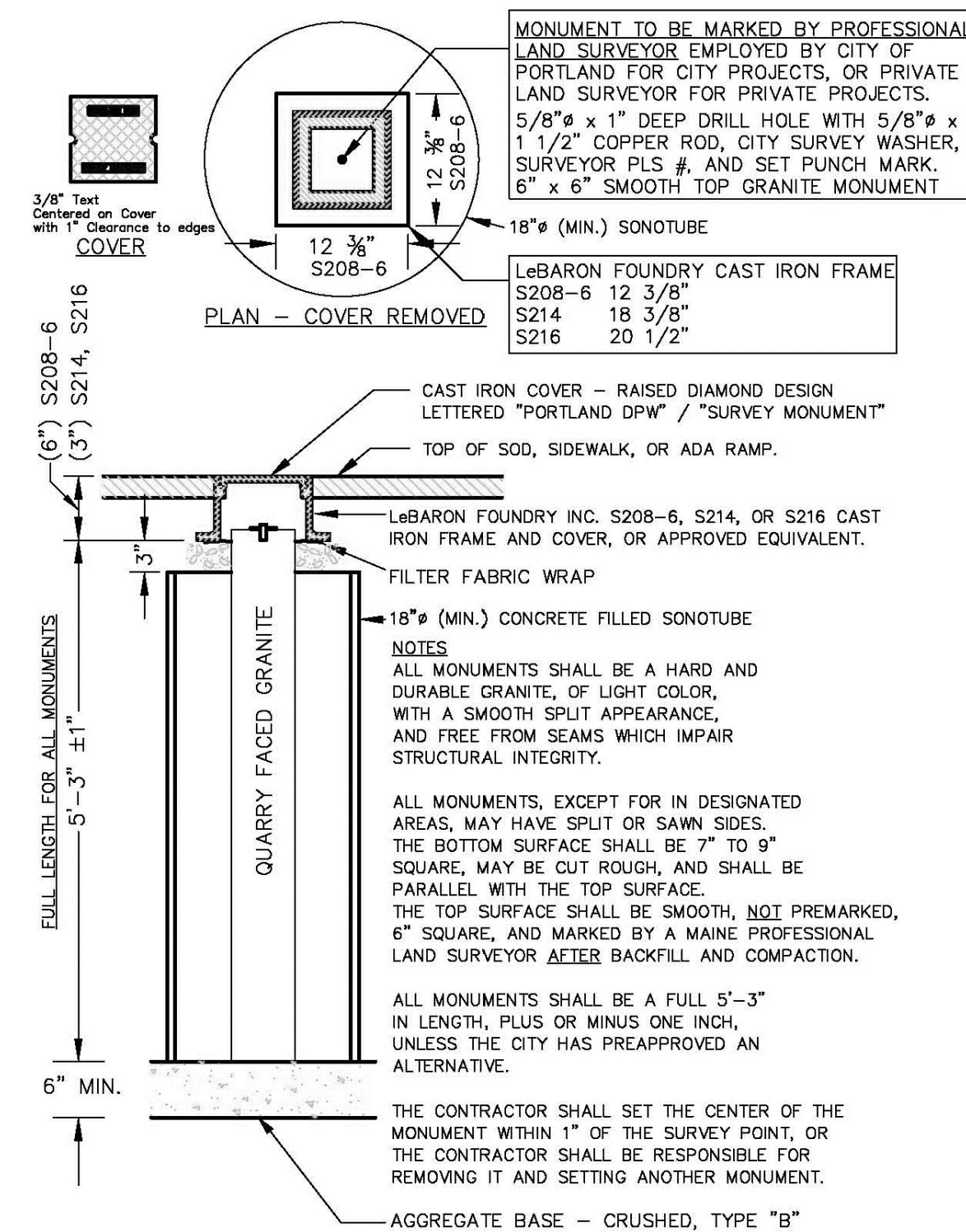


2 16.3 ELECTRIC TRENCH NOT TO SCALE

NOTE: INSTALL RISER FOR CATV PER TIMEWARNER REQUIREMENTS, CONTRACTOR RESPONSIBLE FOR COORDINATION.



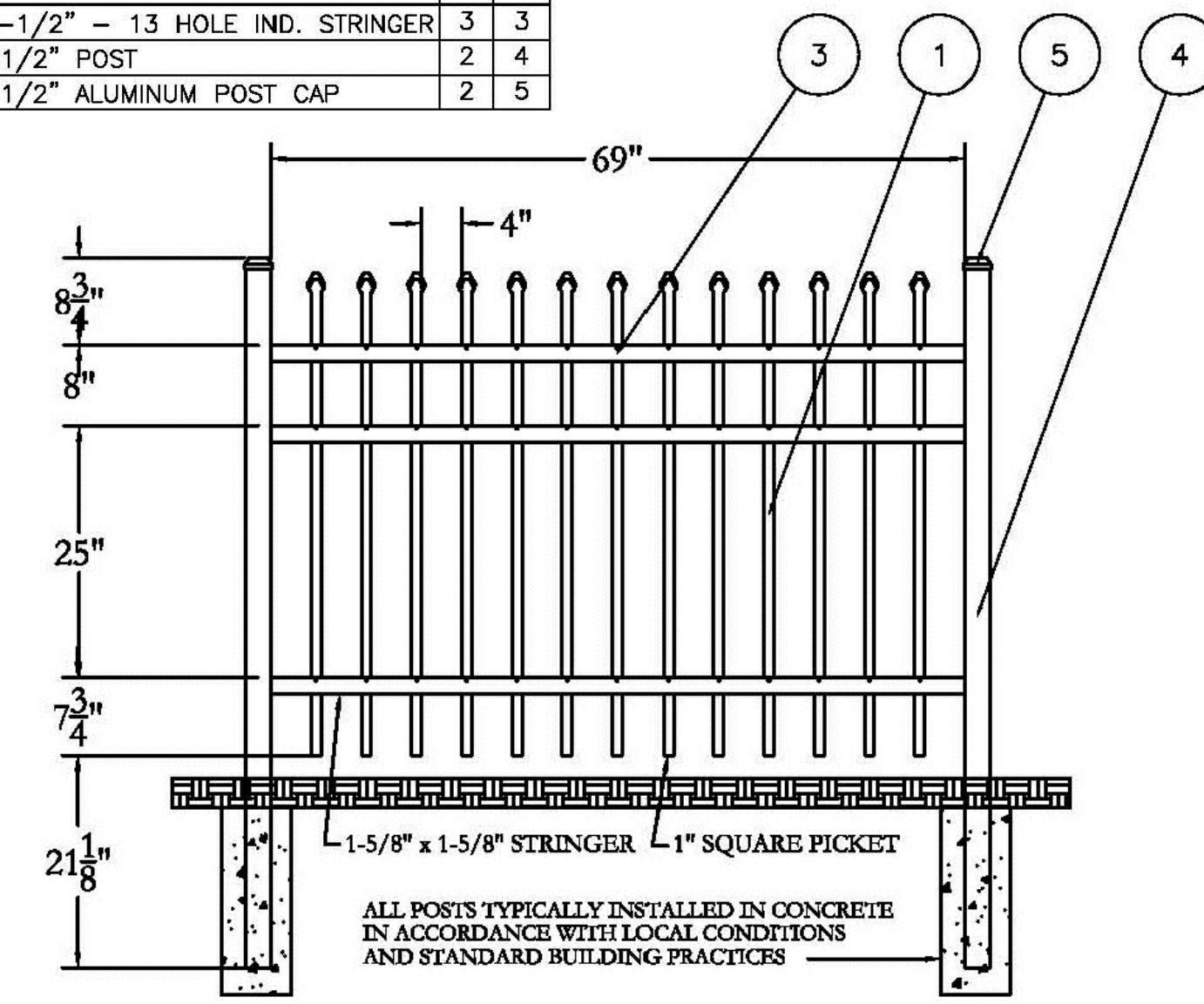
3 16.3 TELEPHONE / CABLE T.V. NOT TO SCALE



4 16.3 CITY OF PORTLAND GRANITE MONUMENT DETAIL NOT TO SCALE

6 16.3 DETAIL NOT USED NOT TO SCALE

FENCE PARTS		
Name	Qty	Item
101-48 PICKET	13	1
70-1/2" - 13 HOLE IND. STRINGER	3	3
2-1/2" POST	2	4
2-1/2" ALUMINUM POST CAP	2	5



7 16.3 4'-HT. ORNAMENTAL FENCE DETAIL NOT TO SCALE

5 16.3 DETAIL NOT USED NOT TO SCALE

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Title: SITE DETAILS

Scale: AS SHOWN

North: Sheet No.: L6.3

