

**33-E-1**

**117 Preble Street**

**Schlotterbeck Block (55 Unit Apt.)**

**Schlotterbeck Block, LLC. (John Anton)**

**#2015-174**

# The Schlotterbeck Block

117 Preble Street, Portland, Maine

October 5, 2015: Level III Site Plan and Subdivision Plan



## PREPARED BY:

### LANDSCAPE ARCHITECT AND SITE PLANNER:

MITCHELL & ASSOCIATES  
70 CENTER STREET  
PORTLAND, MAINE 04101  
PHONE: 207.774.4427  
FAX: 207.874.2460  
CONTACT: MICHAEL W. KING, RLA  
E-MAIL: MKING@MITCHELLASSOCIATES.BIZ

### ARCHITECT:

GODUTI-THOMAS ARCHITECTS  
44 OAK STREET, #2  
PORTLAND, MAINE 04101  
PHONE: 207.775.3184  
CONTACT: RICHARD GODUTI, NCARB  
EMAIL: GTARICK@GMAIL.COM

### CIVIL ENGINEER:

RANSOM CONSULTING ENGINEERS  
400 COMMERCIAL STREET, NO.4  
PORTLAND, MAINE 04101  
PHONE: 207.772.2891  
CONTACT: STEPHEN BRADSTREET, P.E.  
E-MAIL: STEPHEN.BRADSTREET@RANSOMENV.COM

### LAND SURVEYOR

OWEN HASKELL, INC.  
390 U.S. ROUTE ONE, SUITE 10  
FALMOUTH, MAINE 04105  
PHONE: 207.774.0424  
CONTACT: JOHN SWAN, P.L.S.

### TRAFFIC ENGINEER

GORRILL-PALMER  
15 SHAKER ROAD  
GORHAM, MAINE 04038  
PHONE: 207.875.8910  
CONTACT: RANDALL DUNTON, P.E.

## UTILITIES:

### ELECTRIC:

CENTRAL MAINE POWER  
ELECTRICAL DISTRIBUTION ENGINEERING  
162 CANCO ROAD  
PORTLAND, MAINE 04103  
PHONE: 207.842.2387  
CONTACT: JAMIE COUGH  
E-MAIL: JAMES.COUGH@CMPCO.COM

### WATER:

PORTLAND WATER DISTRICT  
225 DOUGLASS STREET  
P.O. BOX 3553  
PORTLAND, MAINE 04104-3553  
PHONE: 207.774.5961 x.3199  
FAX: 207.761.8307  
CONTACT: GLISSEN HAVU  
E-MAIL: MEANS@PWD.ORG

### SANITARY SEWER:

CITY OF PORTLAND  
PUBLIC SERVICES DEPARTMENT  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
PHONE: 207.874.8832  
FAX: 207.874.8816  
CONTACT: DAVID MARGOLIS-PINEO  
E-MAIL: DMP@PORTLANDMAINE.GOV

### CABLE:

TIME WARNER CABLE OF MAINE  
116 JOHNSON ROAD  
PORTLAND, MAINE 04102  
PHONE: 207.253.2324  
CONTACT: MARK PELLETIER, CONSTRUCTION PROJECT COORDINATOR  
E-MAIL: MARK.PELLETIER@TWCABLE.COM

### NATURAL GAS:

UNITIL SERVICE CORPORATION  
1075 FOREST AVENUE  
PORTLAND, MAINE 04103  
PHONE: 207.541.2505  
CONTACT: BRIDGET MATHERS

## OWNER AND APPLICANT

### SCHLOTTERBECK BLOCK LLC

77 SPRUCE STREET  
PORTLAND, MAINE 04101  
PHONE: 207.650.8979

## PERMITS:

### TYPE OF PERMIT:

SITE PLAN REVIEW

### GOVERNING BODY:

CITY OF PORTLAND  
389 CONGRESS STREET  
4TH FLOOR  
PORTLAND, MAINE 04101  
TEL: 207.874.8728  
CONTACT: RICHARD KNOWLAND  
E-MAIL: RWW@PORTLANDMAINE.GOV

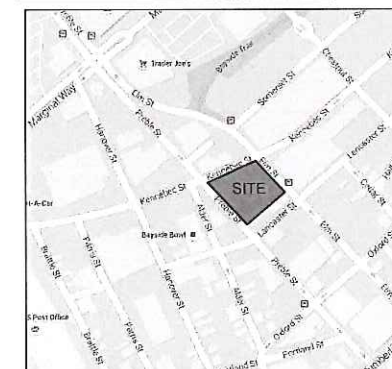
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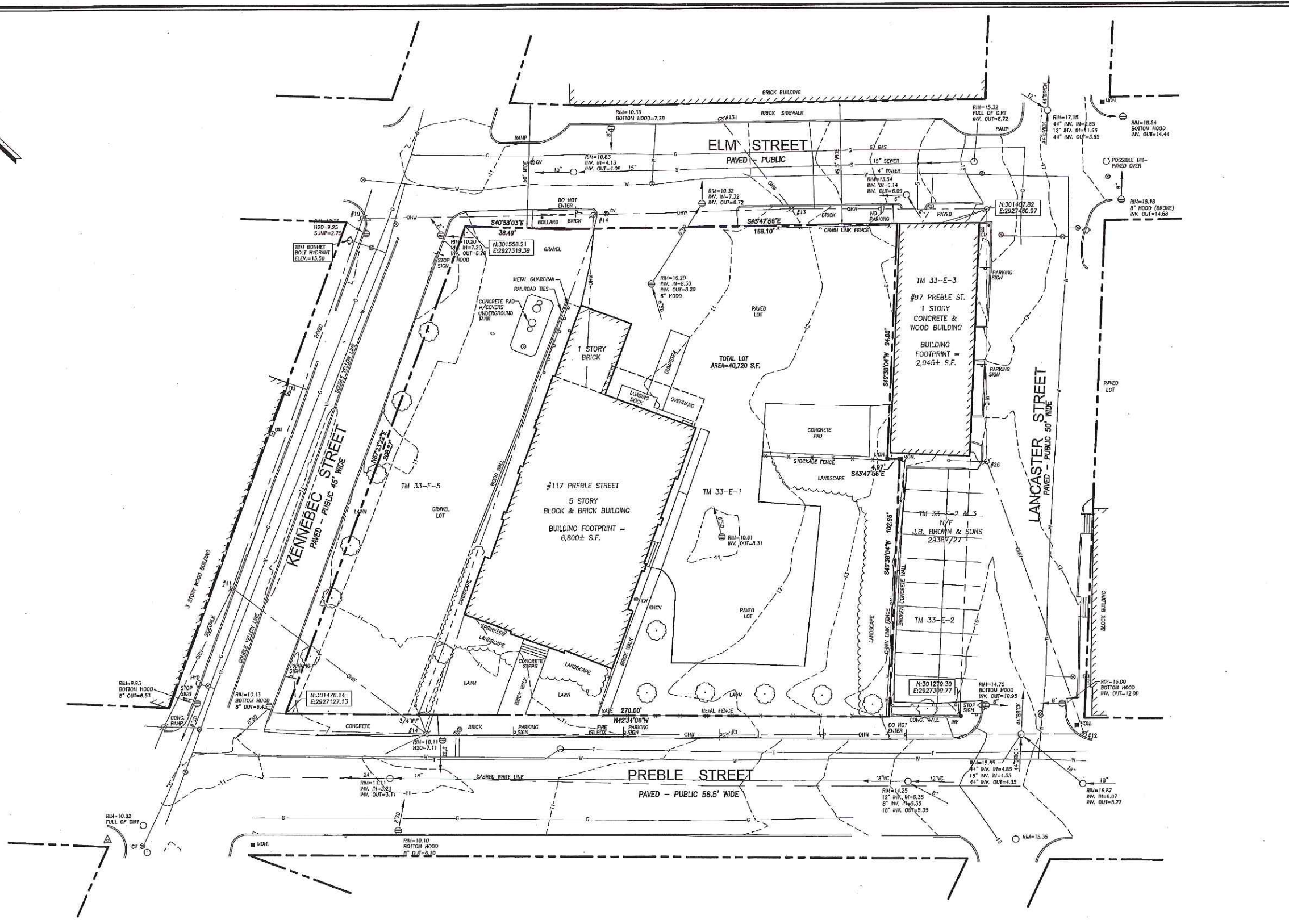
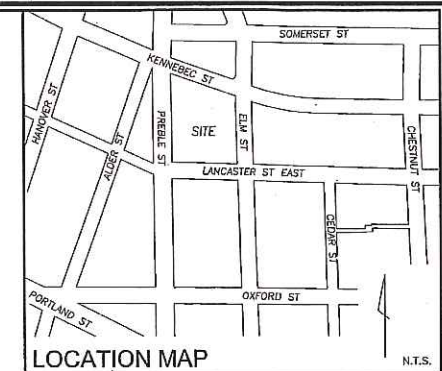
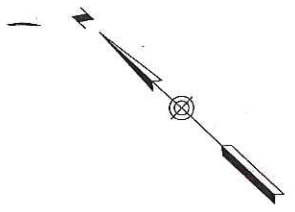
SUBMITTED: OCTOBER 6, 2015

## SHEET INDEX:

SHEET	TITLE
1	COVER PAGE
1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY SUBDIVISION PLAT
L1.0	EXISTING CONDITIONS PLAN
L1.1	CONSTRUCTION MANAGEMENT PLAN
L2.0	LAYOUT PLAN
L3.0	GRADING, DRAINAGE AND UTILITIES PLAN
L4.0	EROSION AND SEDIMENT CONTROL PLAN
L5.0	PLANTING PLAN
L6.0	SITE DETAILS
L6.1	SITE DETAILS
L6.2	SITE DETAILS
L6.3	SITE DETAILS
L7.0	LIGHTING PHOTOMETRICS PLAN (TO BE SUBMITTED)
SW-1	PRE-DEVELOPMENT STORMWATER DRAINAGE PLAN
SW-2	POST-DEVELOPMENT STORMWATER DRAINAGE PLAN
A1.1	FIRST FLOOR PLAN AND LOWER FLOOR PLAN
A1.2	ROOF PLAN AND 2nd - 5th FLOOR PLAN
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS

## SITE LOCATION MAP:

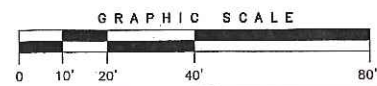




- LEGEND**
- IRON PIPE OR ROD FOUND
  - MONUMENT FOUND
  - UTILITY POLE
  - MANHOLE
  - /□/◇ ELECTRIC/GAS METER
  - SIGN
  - CATCH BASIN
  - HYDRANT
  - WATER VALVE OR SHUTOFF
  - LIGHT POLE
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - FENCE
  - CURB
  - OHW OVERHEAD WIRES
  - W WATER LINE
  - G GAS LINE
  - T TELEPHONE
  - SD STORM DRAIN
  - S SANITARY SEWER
  - 1' CONTOUR

**UTILITY NOTE**

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**PLAN REFERENCES**

- ELM STREET, STREET LINE RETRACEMENT PLAN, SOMERSET STREET TO LANCASTER STREET, CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION DATED OCT. 16, 2012.
- BAYSIDE TRAIL SOMERSET STREET EXTENSION, ELM STREET TO KENNEBEC STREET, CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION DATED JULY 3, 2012.
- ALTA/ACSM LAND TITLE SURVEY ON PREBLE STREET, LANCASTER STREET EAST, ELM STREET & OXFORD STREET, PORTLAND, MAINE MADE FOR BAYSIDE I, LLC JAN. 26, 2000 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 200 PAGE 40.

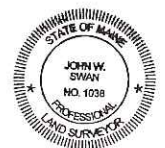
**GENERAL NOTES**

- OWNER OF RECORD: J.B. BROWN & SONS  
TAX MAP 33-E-1 & 5  
C.C.R.D. BOOK 26354 PAGE 312 & 314
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATE SYSTEM MAINE WEST NAD 83, BASED ON CITY POINT 55 N:301742.42 E: 2927203.68 AND POINT 59 N:301442.06 E:2927035.61 FROM PLAN REFERENCE 1.
- ELEVATIONS BASED ON NGVD 1929. CITY BENCHMARK TBM 307 PLAN REFERENCE 1. MDOT DISK "612-(1)-10 1983" IN CONCRETE BASE OF LIGHT POLE AT NORTHEAST CORNER ELM/SOMERSET ELEV.= 9.02.

**CERTIFICATE**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE, WITH THE EXCEPTION OF MARKERS NOT SET AT ALL CORNERS.

DATE: 9/29/15  
JOHN W. SWAN, PLS NO. 1038



REV. 119-28-15 REVISE LOT AREA

**BOUNDARY & TOPOGRAPHIC SURVEY**  
AT  
117 PREBLE STREET, PORTLAND, MAINE  
MADE FOR  
**MITCHELL & ASSOCIATES**  
70 CENTER STREET, PORTLAND, MAINE

**OWEN HASKELL, INC.**  
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424  
PROFESSIONAL LAND SURVEYORS

Drwn By	RS	Date	Job No.
Trace By	JLW	JULY 7, 2015	2015-109 P
Check By	JWS	Scale	Drwg. No.
Book No.	1134	1" = 20'	1

**GENERAL NOTES**

1. SITE AREA: 40,720 S.F. OR 0.93 ACRE
2. APPLICANT: SCHLOTTERBECK BLOCK, L.L.C.  
77 SPRUCE STREET  
PORTLAND, MAINE 04101
3. RECORD OWNER: J.B. BROWN & SONS  
482 CONGRESS STREET  
P.O. BOX 207  
PORTLAND, MAINE 04112
4. LOT DATA: TAX MAP 33, BLOCK E, LOT 1  
C.C.R.D BOOK 26354, PAGE 312  
AREA: 30,492 S.F.  
  
TAX MAP 33, BLOCK E, LOT 5  
C.C.R.D BOOK 26354, PAGE 314  
AREA: 10,314 S.F.
5. THE SURVEYED PARCELS ARE SHOWN AS LOTS 1 AND 5, BLOCK E, ON THE CITY OF PORTLAND'S ASSESSORS MAP 33.
6. A PORTION OF THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 N.G.V.D. 1929. HOWEVER, THE TOPOGRAPHICAL SURVEY OF THE PARCEL SHOWS THE LOT ABOVE THE ELEVATION OF 10 N.G.V.D. (1929).
7. UTILITIES SHOWN ARE BASED ON A PLAN ENTITLED 'BOUNDARY AND TOPOGRAPHIC SURVEY OF 117 PREBLE STREET', PERFORMED BY OWEN HASKELL, INC., DATED JULY 7, 2015.
9. ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
10. SPACE AND BULK STANDARDS:
 

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	40,720 S.F.
MINIMUM FRONTAGE:	NONE	242 FEET
FRONT SETBACK:	NONE REQUIRED	18 FEET
SIDE SETBACK:	NONE REQUIRED	5 FEET
REAR SETBACK:	NONE REQUIRED	31 FEET
MAX. STREET SETBACK:	10 FEET	18 FEET (EXISTING)
MAX. BUILDING LOT COVERAGE:	100 PERCENT	68 PERCENT
MAX. BUILDING HEIGHT:	105 FEET	N/A
MIN. BUILDING HEIGHT:	45 FEET	N/A
11. BICYCLE PARKING:
 

REQUIRED:	24 SPACES
PROPOSED:	24 SPACES
12. ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.

**PLAN REFERENCES**

1. ELM STREET, STREET LINE RETACEMENT PLAN, SOMERSET STREET TO LANCASTER STREET, CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION DATED OCT. 16, 2012.
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3. ALTA/ACSM LAND TITLE SURVEY ON PREBLE STREET, LANCASTER STREET EAST, ELM STREET & OXFORD STREET, PORTLAND, MAINE MADE FOR BAYSIDE I, L.L.C. JAN. 26, 2000 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 200 PAGE 40.

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE		
IRON PIPE OR ROD FOUND		
MONUMENT FOUND		
UTILITY POLE		
MANHOLE		
ELECTRIC/GAS METER		
SIGN		
CATCH BASIN		
HYDRANT		
WATER VALVE		
LIGHT POLE		
FENCE		
GRANITE CURB		
SIFFFORM CONCRETE CURB		
OVERHEAD WIRES		
WATER LINE		
GAS LINE		
TELEPHONE		
STORM DRAIN		
SANITARY SEWER		
EASEMENT AREA		

Prepared For:  
Owner and Applicant:  
**SCHLOTTERBECK BLOCK L.L.C.**  
77 Spruce Street  
Portland, Maine 04101  
Tel.: 207-650-8979

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel.: 207-774-4127

**RANSOM CONSULTING ENGINEERS**  
400 Commercial Street # 4  
Portland, Maine 04101  
Phone: 207-772-2891

**GODULI-THOMAS ARCHITECTS**  
44 Oak Street # 2  
Portland, Maine 04101  
Phone: 207-775-3184

**The Schlotterbeck Block**  
Portland, Maine  
117 Preble Street

Date: OCTOBER 5, 2015

Issued For:

Revisions:

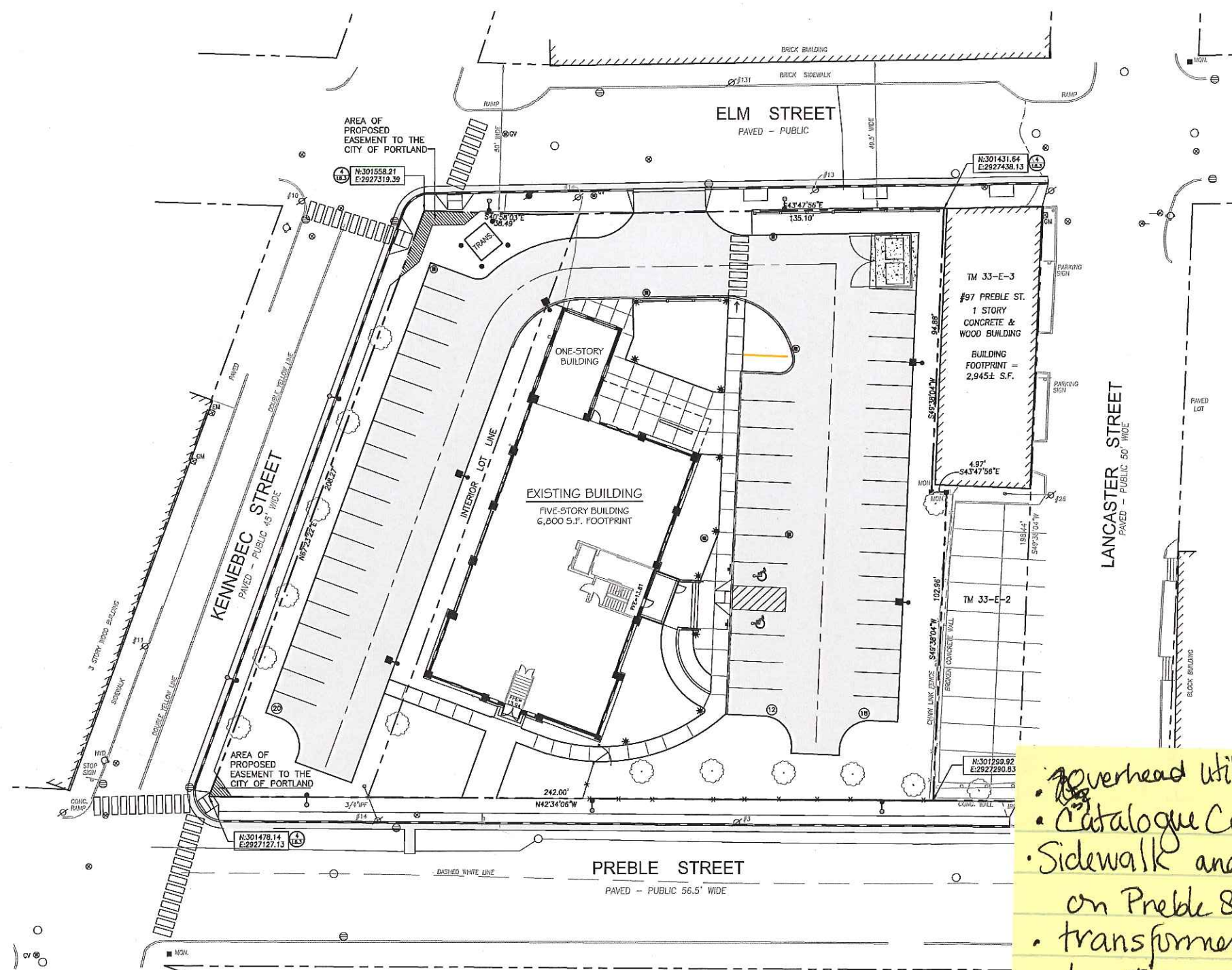
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Title: SUBDIVISION PLAN

Scale: 1" = 20'

North:

Sheet No.: 1 of 1



overhead utilities  
Catalogue Cuts?  
Sidewalk and esplanade on Preble Street  
transformer, different location  
Crosswalk  
dumpster enclosure  
Construction Management Plan

**WAIVERS**  
On the basis of the application plans, reports and other information submitted by the applicant, findings, recommendations, contained in the Planning Board Report for The Schlotterbeck Block site plan and subdivision, including but not limited to Section VIII Technical Waivers, of the report and the staff reviews relevant to Portland's Technical and Design Standards and other regulations, as well as the Planning Board deliberations and the testimony presented at the Planning Board hearing, the Planning Board finds the following:

1. **Street Trees**  
The Planning Board finds that the applicant has demonstrated that due to site constraints preventing the planting of required street trees in the right of way, the requirements of Section 14-526(2)(b)(ii) of the Site Plan Ordinance cannot be met, and the Board finds that the applicant has satisfied the waiver criteria set out in Section 14-526(2)(b)(iii)(b) with the monetary contribution to the City's tree fund of \$200 per tree for \_\_\_ trees for a total of \$5,200. The Planning Board therefore voted \_\_\_ to waive Section 14-526 (b)(2)(b)(iii) Street Trees of the Site Plan Ordinance.

2. **Aisle Width**  
The Planning Board finds that the applicant has demonstrated that extraordinary conditions unique to this property exist that limit the ability to meet the aisle width standard of 24 feet and Mr. Erico has found that the proposed aisle widths provide safe on-site circulation, and the Board finds that the public interest and purposes of the land development plan are secured. The Planning Board therefore voted \_\_\_ to waive Technical Manual 1.7.2.3. *Minimum driveway width (two-way)* to allow a 20 foot aisle width along Arbor Street and 20 feet along Forest Avenue.

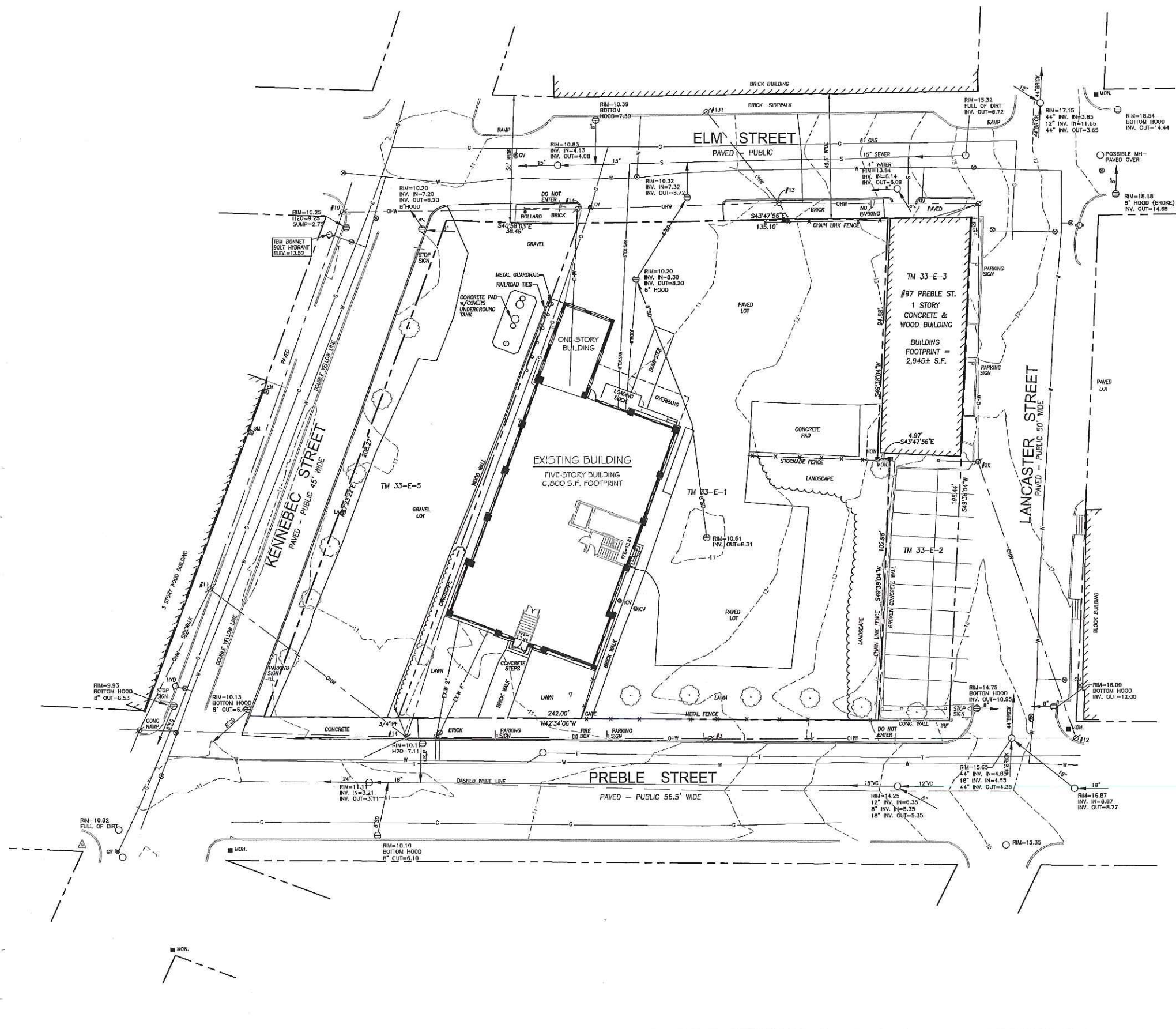
**LEVEL III SITE PLAN CONDITIONS OF APPROVAL.**  
The Planning Board voted \_\_\_ that the plan is in conformance with the site plan standards and all other applicable provisions of the land use code, subject to the following conditions:  
1. The proposed specifications for the mechanical equipment shall be reviewed and approved by the Planning Authority and Acting Zoning Administrator prior to the issuance of a building permit.

**SUBDIVISION PLAN CONDITIONS OF APPROVAL.**  
The Planning Board voted \_\_\_ that the plan is in conformance with the subdivision standards of the land use code, subject to the following conditions:  
1. The final sidewalk easements to provide public access shall be reviewed and approved by Corporation Council prior to the issuance of certificate of occupancy.  
2. The recording plat shall be revised noting all waivers and conditions for review and approval by the Planning Authority prior to recording. All waivers shall be recorded within 90 days of the Planning Board approval.

**CERTIFICATION:**  
Owen Haskell, Inc. I  
ground field survey  
to the Board of Lic

Portland Planning Board

A:\Projects\2015\117\117\_Prelim\117\_Prelim\_SitePlan.dwg, 03/11/2015, 10:58:15 AM



**GENERAL NOTES**

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2. APPLICANT: SCHLOTTERBECK BLOCK, LLC  
77 SPRUCE STREET  
PORTLAND, MAINE 04101
3. RECORD OWNER: J.B. BROWN & SONS  
482 CONGRESS STREET  
P.O. BOX 207  
PORTLAND, MAINE 04112
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Owner and Applicant:  
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Tel: 207-650-8979

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel: 207-774-4427

**RANSOM CONSULTING ENGINEERS**  
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Portland, Maine

117 Preble Street

Date:	OCTOBER 5, 2015
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Revisions:	
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Title:	EXISTING CONDITION PLAN

Scale: 1" = 20'

North:

Sheet No.: **L1.0**

**LEGEND**

PROPERTY LINE	
IRON PIPE OR ROD FOUND	
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GRANITE CURB	
OVERHEAD WIRES	
WATER LINE	
GAS LINE	
TELEPHONE	
STORM DRAIN	
SANITARY SEWER	
1' CONTOUR	

CONSTRUCTION MANAGEMENT PLAN NOTES

1. THE SITE CAN ACCOMMODATE A TOTAL OF 30 (THIRTY) CONTRACTOR AND SUB-CONTRACTOR VEHICLES. THE OWNER AND CONTRACTOR WILL NOT PROVIDE PARKING BEYOND THESE 30 PARKING SPACES. IF PARKING DEMAND EXCEEDS THESE 30 SPACES, IT WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO UTILIZE LEGAL CITY OF PORTLAND PARKING SPACES IN THE VICINITY OF THE PROJECT.
2. THE CONTRACTOR ANTICIPATES MAINTAINING THE ACCESSIBILITY OF THE ELM STREET AND PREBLE STREET SIDE WALKS UNTIL SIDEWALK RE-CONSTRUCTION OF THESE SIDEWALKS OCCURS.
3. HOURS OF CONSTRUCTION: 6:30 AM -- 5:00 PM, MONDAY THROUGH FRIDAY.
4. SITE WILL HAVE SECURITY LIGHTING AT NIGHT.

Prepared For:  
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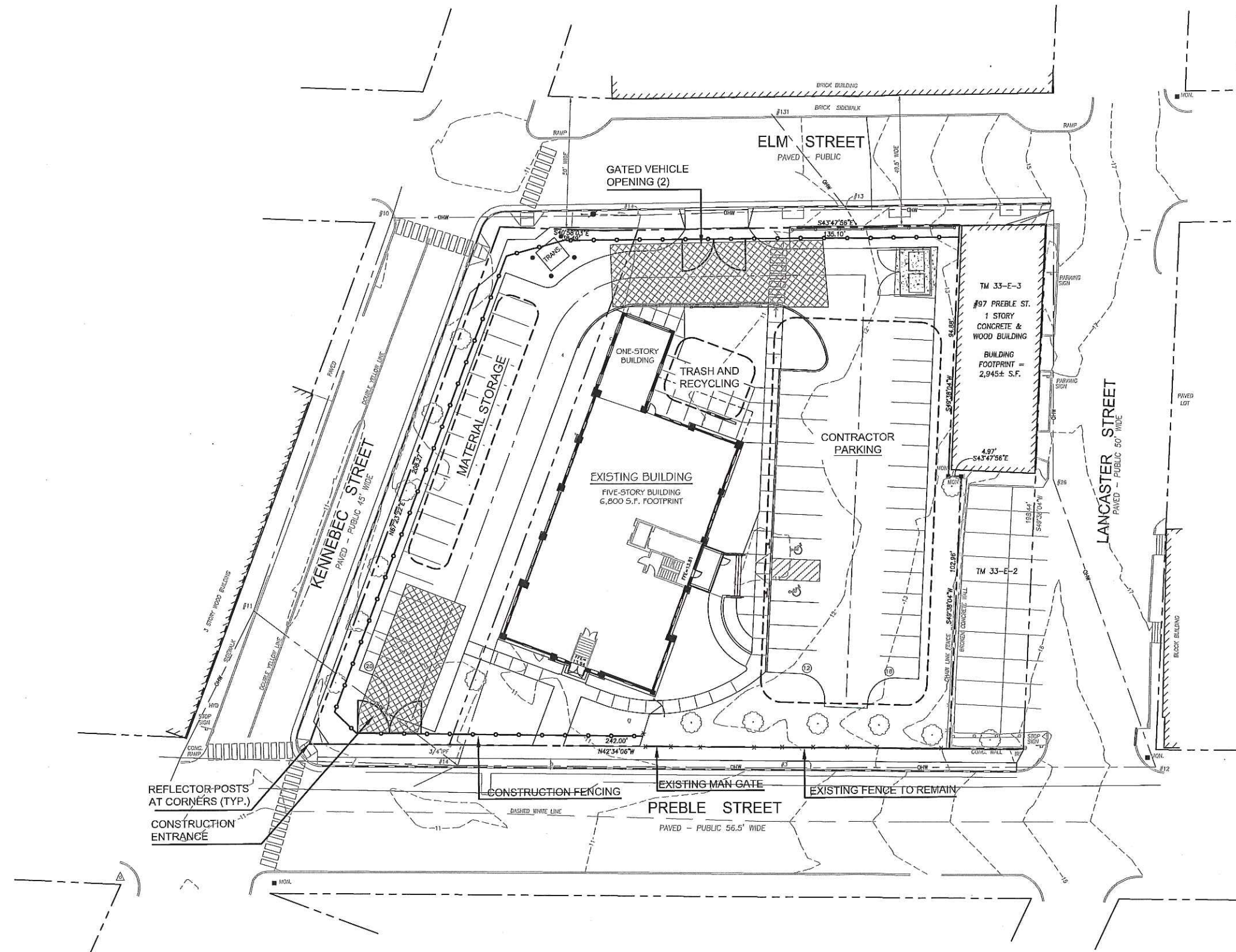
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Sheet No.: L1.1

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OVERHEAD WIRES		
WATER LINE		
GAS LINE		
TELEPHONE		
STORM DRAIN		
SANITARY SEWER		
1' CONTOUR		



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C.C.R.D BOOK 26354, PAGE 314  
AREA: 10,314 S.F.
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1 AND 5, BLOCK E, ON THE CITY OF PORTLAND'S ASSESSORS MAP 33.
- A PORTION OF THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 23005 1-00 1-B WITH AN EFFECTIVE DATE OF JULY 17, 1996. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 N.G.V.D. 1929. HOWEVER, THE TOPOGRAPHICAL SURVEY OF THE PARCEL SHOWS THE LOT ABOVE THE ELEVATION OF 10 N.G.V.D. (1929).
- UTILITIES SHOWN ARE BASED ON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 117 PREBLE STREET, PERFORMED BY OWEN HASKELL, INC., DATED JULY 7, 2015.
- ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
- SPACE AND BULK STANDARDS:
 

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	40,720 S.F.
MINIMUM FRONTAGE:	NONE	242 FEET
FRONT SETBACK:	NONE REQUIRED	18 FEET
SIDE SETBACK:	NONE REQUIRED	5 FEET
REAR SETBACK:	NONE REQUIRED	31 FEET
MAX. STREET SETBACK:	10 FEET	18 FEET (EXISTING)
MAX. BUILDING LOT COVERAGE:	100 PERCENT	68 PERCENT
MAX. BUILDING HEIGHT:	105 FEET	NA
MIN. BUILDING HEIGHT:	45 FEET	NA
- BICYCLE PARKING:
 

REQUIRED:	24 SPACES (22 RESIDENTIAL, 2 COMMERCIAL)
PROPOSED:	24 SPACES (12 EXTERIOR, 12 INTERIOR)
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- PARKING SUMMARY:
 

PARKING REQUIRED PER PARKING ANALYSIS:	50 SPACES
PROPOSED PARKING:	50 SPACES
PROPOSED COMPACT (8' x 15'):	38 SPACES (76%)
REQUIRED A.D.A. ACCESSIBLE SPACES:	2 SPACES
PROPOSED A.D.A. ACCESSIBLE SPACES:	2 SPACES

**The Schlotterbeck Block**  
 Portland, Maine  
 117 Preble Street

Date: OCTOBER 5, 2015

Issued For:

Revisions:

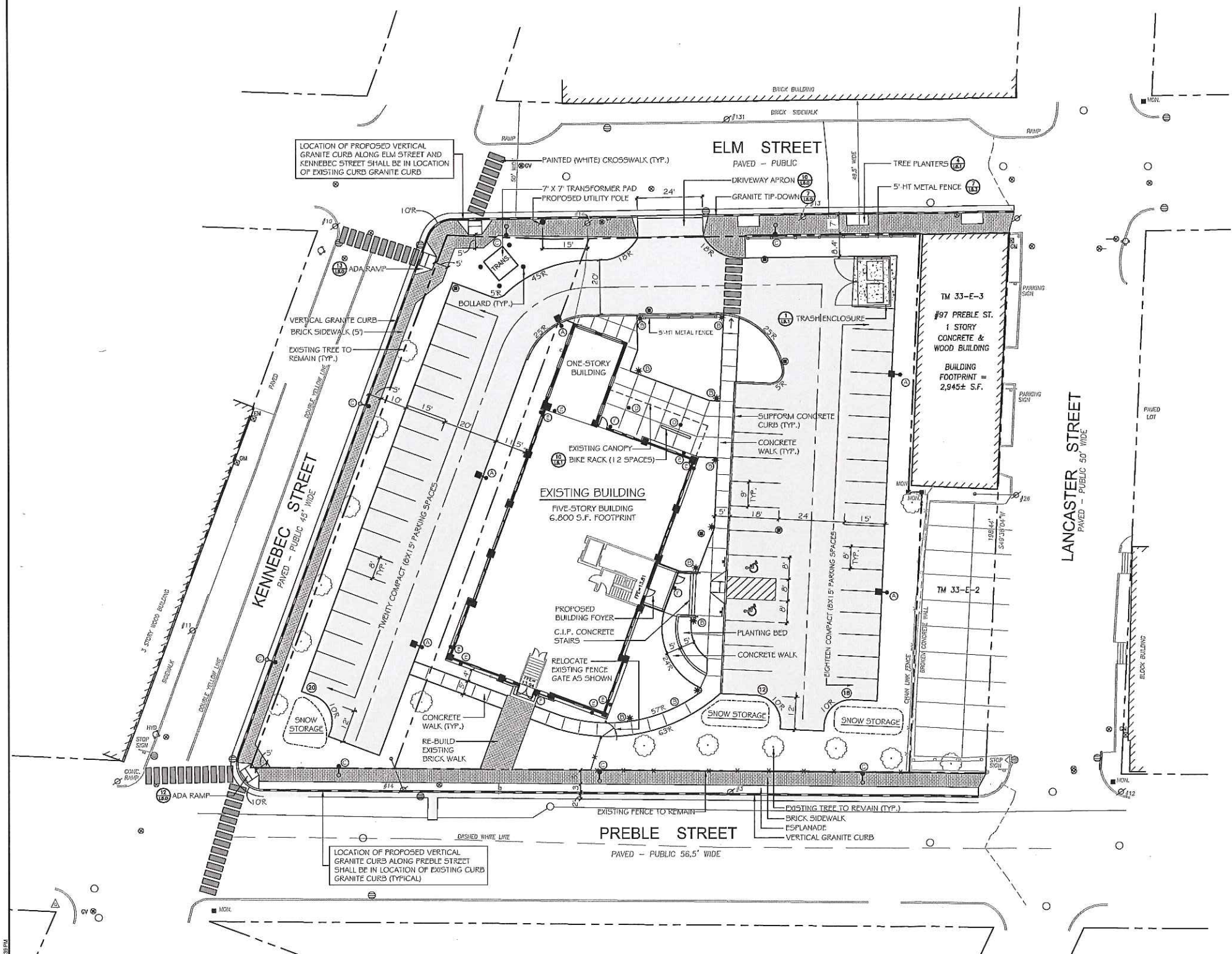
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Title: LAYOUT AND LIGHTING PLAN

Scale: 1" = 20'

North:

Sheet No.: L2.0



LOCATION OF PROPOSED VERTICAL GRANITE CURB ALONG ELM STREET AND KENNEBEC STREET SHALL BE IN LOCATION OF EXISTING CURB GRANITE CURB

LOCATION OF PROPOSED VERTICAL GRANITE CURB ALONG PREBLE STREET SHALL BE IN LOCATION OF EXISTING CURB GRANITE CURB (TYPICAL)

**LIGHTING SCHEDULE**

KEY	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
ⓐ	5	KIM	RA17-3-E35-GOL	KIM 17" ERA LED -- PARKING LOT LIGHT	LED, TYPE III, FULL CUT-OFF
ⓑ	9	HOLOPHANE	BOL-FP45-13	FREEMONT CAST IRON BOLLARD	70W, METAL HALIDE
ⓒ	7	HOLOPHANE	E5L 110 4K A9 X	BAYSIDE DISTRICT FIXTURE 'MEDIUM' LED TEARDROP	110 W 100 LED ARRAY
ⓓ	2	KIM	PGL71-E35-GOL	KIM PGL7 LED -- CANOPY LIGHT	GOL - LED
ⓔ	8	KIM	WD14-LED	KIM 14" WALL DIRECTOR -- UFLIGHT	GOL - LED, TYPE 111
ⓕ	3	KIM	SW3-18L3KUV	KIM SITE WALLFORMS LED -- BUILDING MOUNTED LIGHT (DOOR)	GOL - LED

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE		
IRON PIPE OR ROD FOUND		
MONUMENT FOUND		
UTILITY POLE		
MANHOLE		
ELECTRIC/GAS METER		
SIGN		
CATCH BASIN		
HYDRANT		
WATER VALVE		
LIGHT POLE		
FENCE		
GRANITE CURB		
SUPPORT CONCRETE CURB		
OVERHEAD WIRES		
WATER LINE		
GAS LINE		
TELEPHONE		
STORM DRAIN		
SANITARY SEWER		
1' CONTOUR		



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**DRAINAGE STRUCTURE SCHEDULE**

ALL CATCH BASIN PRECAST CONCRETE STRUCTURES SHALL BE 4'-0" DIAMETER (INSIDE).

CB#1  
RIM: 10.75  
INV. OUT (8"): 8.07

CB#2  
RIM: 11.10  
INV. IN (8"): 7.94  
INV. OUT (12"): 7.84

CB#3  
RIM: 10.80  
INV. IN (12"): 7.54  
INV. OUT (12"): 7.44

CB#4  
RIM: 10.40  
INV. IN (12"): 7.26  
INV. OUT (12"): 7.16

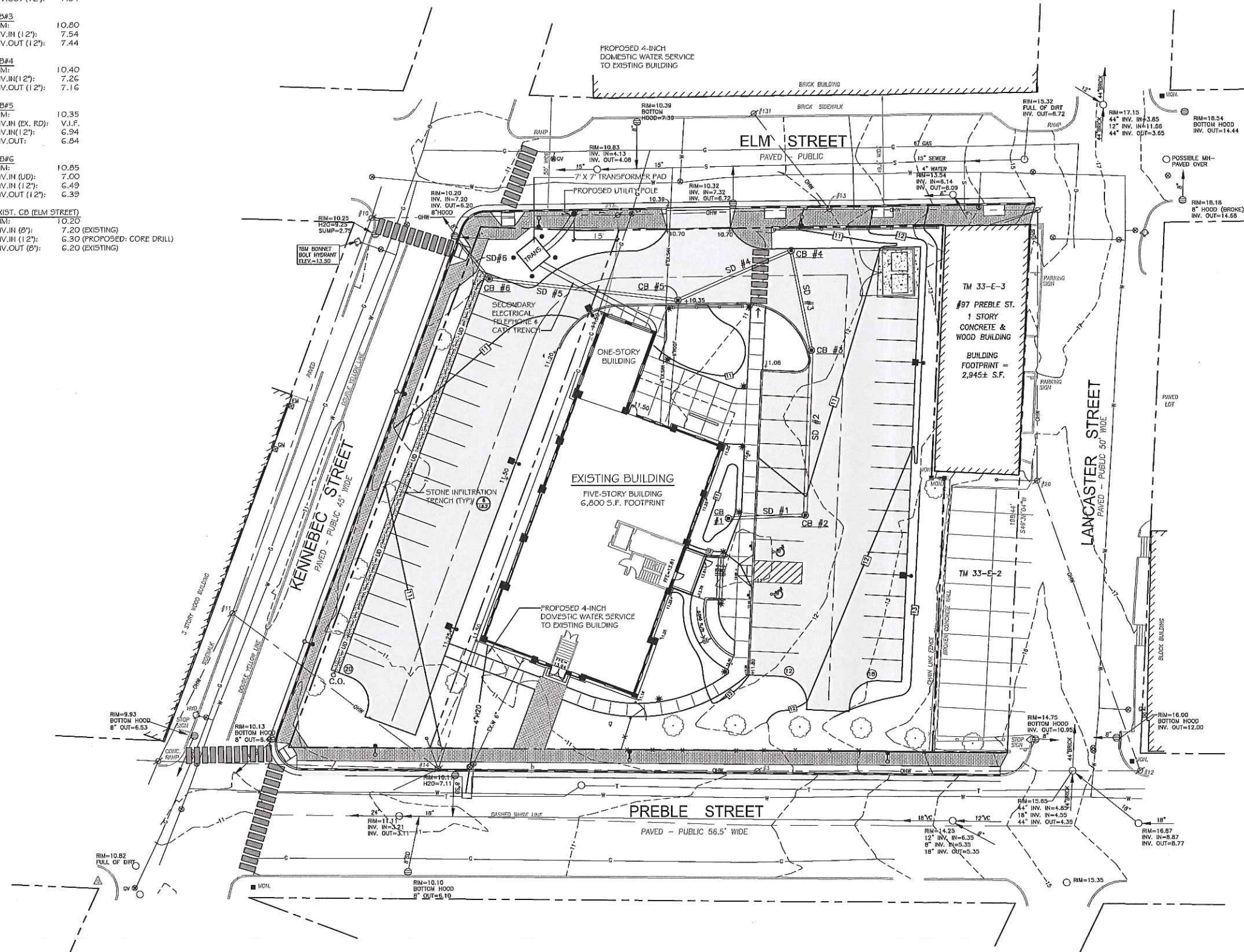
CB#5  
RIM: 10.35  
INV. IN (EX. FD): 7.1.F.  
INV. IN (12"): 6.94  
INV. OUT: 6.84

CB#6  
RIM: 10.85  
INV. IN (UD): 7.00  
INV. IN (12"): 6.49  
INV. OUT (12"): 6.39

EXIST. CB (ELM STREET)  
RIM: 10.20  
INV. IN (8"): 7.20 (EXISTING)  
INV. IN (12"): 6.30 (PROPOSED: CORE DRILL)  
INV. OUT (8"): 6.20 (EXISTING)

**STORM DRAIN SCHEDULE**

SD NO.	PIPE TYPE	LENGTH	SLOPE (FT/FT)
SD#1	12" HDPE	26 L.F.	0.005
SD#2	12" HDPE	60 L.F.	0.005
SD#3	12" HDPE	36 L.F.	0.005
SD#4	12" HDPE	44 L.F.	0.005
SD#5	12" HDPE	69 L.F.	0.005
SD#6	12" HDPE	18 L.F.	0.005



**GRADING AND DRAINAGE NOTES:**

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW UNDERGROUND ELECTRICAL, TELEPHONE AND CATV SERVICES ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE CATCHBASIN SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPE AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS; CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING WATER, GAS AND SANITARY SEWER SHALL BE PERMANENTLY CAPPED CONFORMING TO UTILITY COMPANY AND CITY OF PORTLAND STANDARDS. CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES AND/OR UTILITY COMPANY.
- THE PROJECT BENCH MARK IS BONNET BOLT OF FIRE HYDRANT LOCATED AT INTERSECTION OF ELM STREET AND KENNEBEC STREET. BENCHMARK ELEVATION: 13.50.
- BMP INSPECTIONS: THE OWNER SHALL HIRE A QUALIFIED POST-CONSTRUCTION STORMWATER INSPECTOR TO ANNUALLY INSPECT THE BMPs, INCLUDING CATCH BASIN, DRYWELL, IN-LINE ROOF FILTERS, PIPES AND RELATED STRUCTURES, IN ACCORDANCE WITH ALL MUNICIPAL AND STATE INSPECTION, CLEANING AND MAINTENANCE REQUIREMENTS OF THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PER SECTION 32 OF THE CITY OF PORTLAND CODE OF ORDINANCES).
- SITE LIGHTING SHALL MEET THE CITY OF PORTLAND STANDARDS AS OUTLINED IN SECTION 12 OF THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS. SITE LIGHTING SHALL ADHERE TO SECTION 12.2.5 LIGHT TRESPASS-LIGHTING SHALL NOT BE GREATER THAN 0.1 FOOTCANDLES AT THE PROPERTY LINE.

Prepared For:  
Owner and Applicant:  
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**The Schlotterbeck Block**

Portland, Maine

117 Preble Street

Date: OCTOBER 5, 2015

Issued For:

Revisions:

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Title: **GRADING, DRAINAGE AND UTILITIES PLAN**

Scale: 1" = 20'

North:

Sheet No.: **L3.0**

LEGEND	EXISTING	PROPOSED
PROPERTY LINE		
IRON PIPE OR ROD FOUND		
MONUMENT FOUND		
UTILITY POLE		
MANHOLE		
ELECTRIC/GAS METER		
SIGN		
CATCH BASIN		
HYDRANT		
WATER VALVE		
LIGHT POLE		
FENCE		
GRANITE CURB		
SUPPORT CONCRETE CURB		
OVERHEAD WIRES		
WATER LINE		
GAS LINE		
TELEPHONE		
STORM DRAIN		
SANITARY SEWER		
1' CONTOUR		
CLEANOUT		
STONE INFILTRATION TRENCH		





**EROSION AND SEDIMENT CONTROL PLAN**

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE RE-DEVELOPMENT OF THE SCHLOTTERBECK AND FOSS BUILDING AT 117 PREBLE STREET IN PORTLAND, MAINE. THIS PLAN IS BASED ON THE MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES, MARCH, 2003.

**A. PROPOSED DEVELOPMENT**

THE PROJECT CONSISTS OF THE RE-DEVELOPMENT OF AN EXISTING FIVE-STORY, 6,800 SQUARE FOOT BUILDING. THE BUILDING WILL INCLUDE 55 APARTMENT UNITS AND 2,000 S.F. OF COMMERCIAL OFFICE SPACE. THE 40,702 S.F. PARCEL CURRENTLY CONSISTS OF THE BUILDING AND A PAVED PARKING LOT AND A GRAVEL PARKING LOT; 73% OF THE EXISTING SITE IS IMPERVIOUS. THE PROPOSED IMPERVIOUS LOT IMPERVIOUS IS 27,300 S.F. OR 67% OF THE SITE.

**B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES**

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATEMENT APPLIED TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

**TEMPORARY SEEDING:** SEED SHALL BE AROOSTOOK RYE APPLIED AT 2.00#/1000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 1.58#/1000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 13.28#/1000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1000 SF. TEMPORARY SEEDINGS SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

**TEMPORARY MULCHING:** MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

**PERMANENT BASE GRAVEL:** BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:  
 a) SLOPES SHALL BE LESS THAN EIGHT PERCENT.  
 b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

**C. EROSION CONTROL PRACTICES/PERMANENT MEASURES**

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDINGS SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

**SEED:** THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED, HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

<b>LAWN:</b>	
CREeping RED RESCUE:	0.69#/1000 SF
KENTUCKY BLUEGRASS:	0.57#/1000 SF
PERENNIAL RYEGRASS:	0.46#/1000 SF
REDFOP:	0.12#/1000 SF
<b>TOTAL:</b>	<b>1.84#/1000 SF</b>

**LOAM:** SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT FOUR INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

**LIME:** LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

**MULCH:** MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHALL BE THOROUGHLY WETTED. IN STEEP AREAS, THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED.

THE CONTRACTOR SHALL MAINTAIN THE SEEDING AND MULCHING AREAS UNTIL FINAL ACCEPTANCE OR THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RESEEDING, RESEEDING AND REMULCHING.

**D. WINTER CONDITIONS**

EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHING IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS/1,000 S.F. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

**E. CONSTRUCTION SEQUENCE**

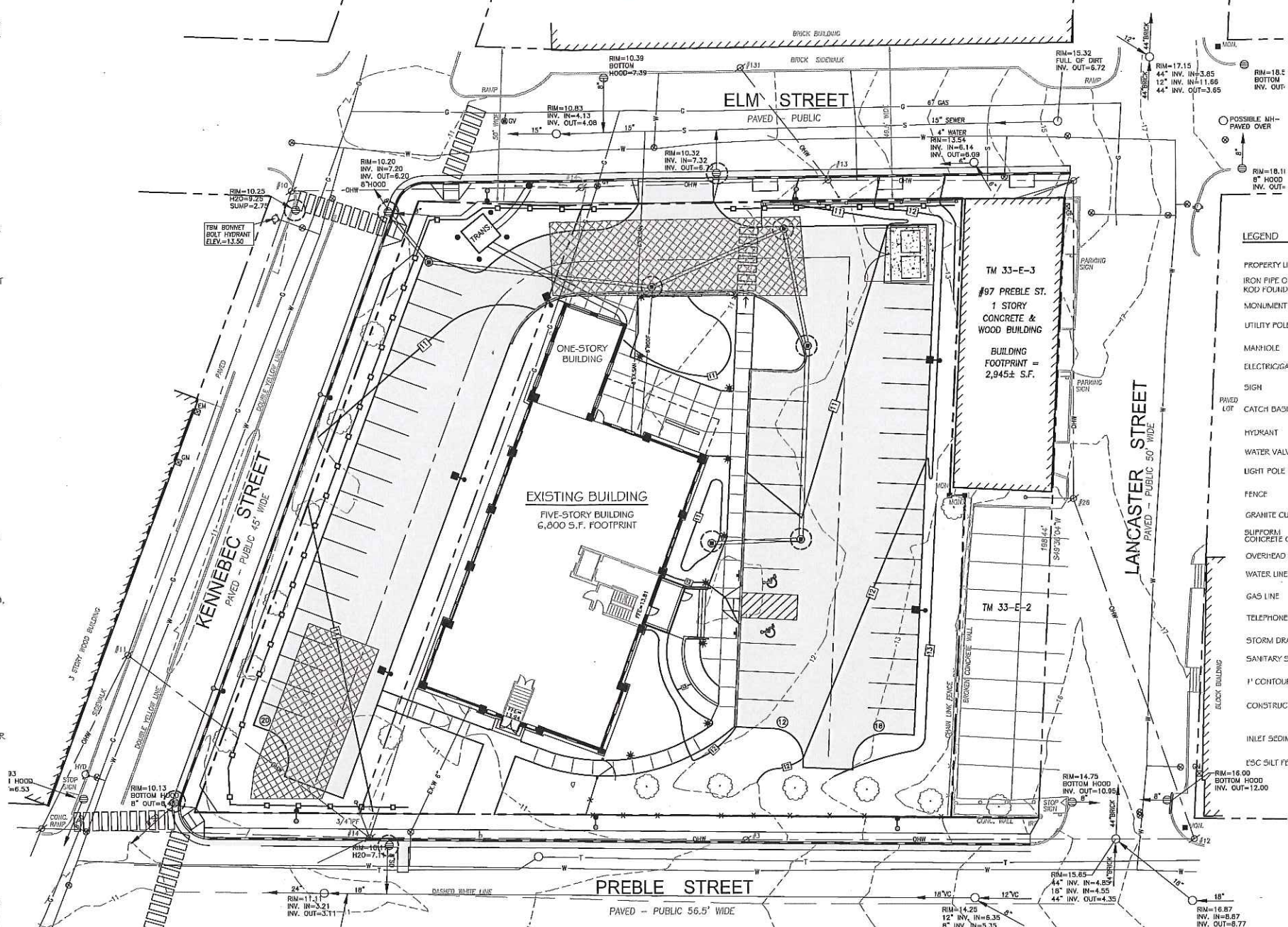
THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:

1. INSTALL EROSION CONTROL DEVICES. (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OR SEDIMENT BARRIER.)
2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
3. INSTALL STORMWATER SYSTEM.
4. COMPLETE SITE CONSTRUCTION WORK.
5. CONSTRUCT PAVED ACCESS AND PARKING AREAS.
6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING; AND
7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

**F. SITE INSPECTION & MAINTENANCE**

WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 0.5" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AFTER STORM EVENTS. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.

CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE SCHLOTTERBECK BLOCK LLC.



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
IRON PIPE OR ROD FOUND	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
ELECTRIC/GAS METER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
PAVED LOT	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
GRANITE CURB	[Symbol]	[Symbol]
SUPPORT CONCRETE CURB	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
TELEPHONE	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
1' CONTOUR	[Symbol]	[Symbol]
CONSTRUCTION ENTRANCE	[Symbol]	[Symbol]
INLET SEDIMENT CONTROL DEVICE	[Symbol]	[Symbol]
ESC SILT FENCE	[Symbol]	[Symbol]

Prepared For:  
 Owner and Applicant:  
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 Portland, Maine  
 117 Preble Street



Date: **OCTOBER 5, 2015**

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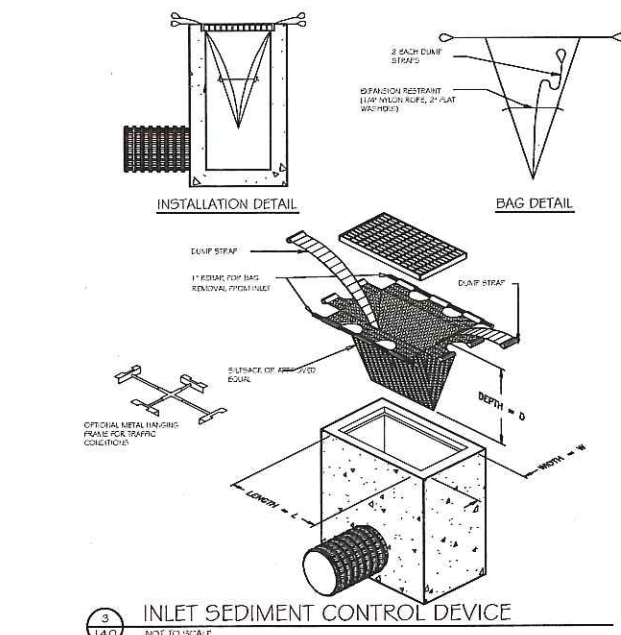
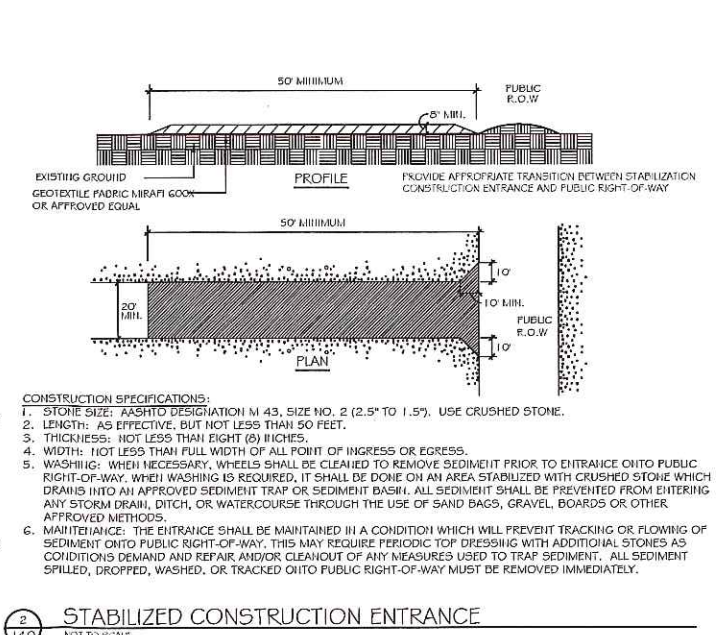
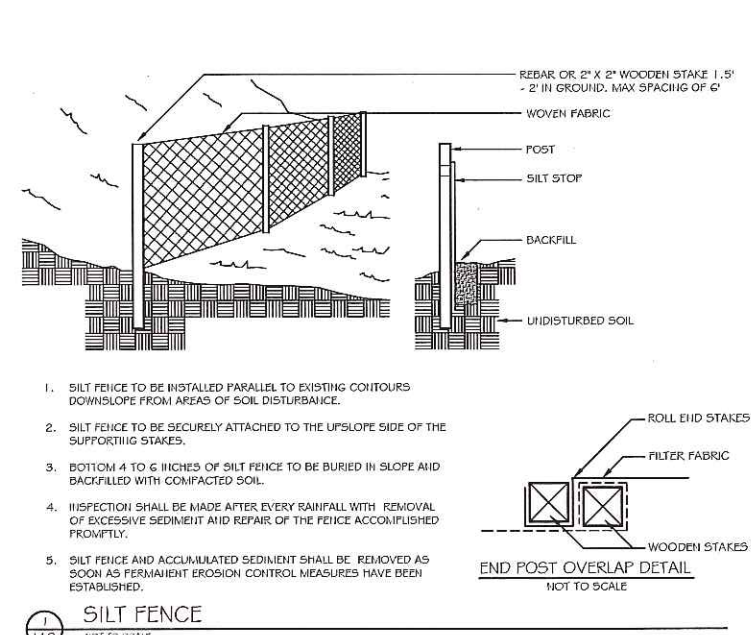
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Title:  
**EROSION AND SEDIMENT CONTROL PLAN**

Scale: 1" = 20'

North: [Symbol]

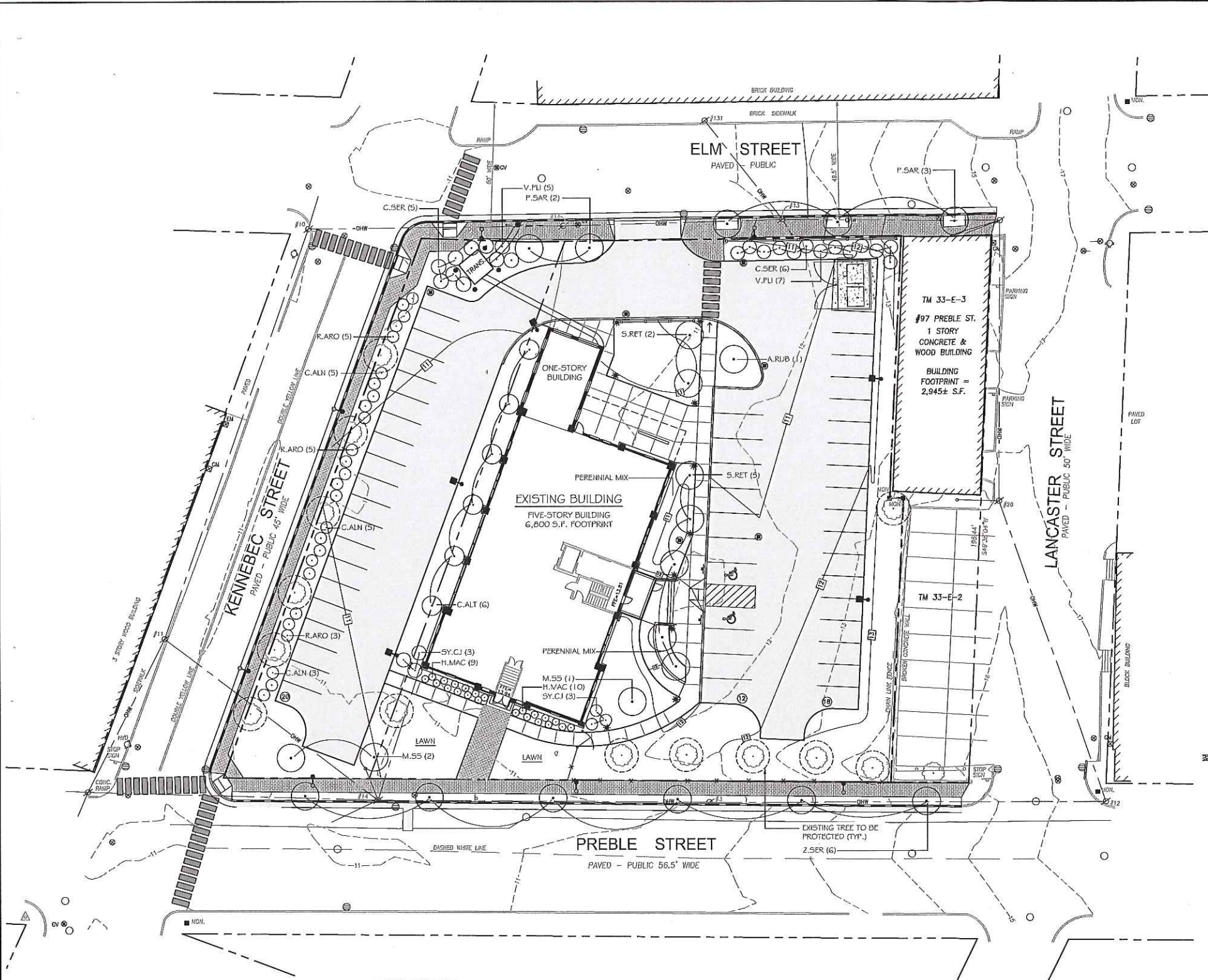
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1 SILT FENCE NOT TO SCALE

2 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

3 INLET SEDIMENT CONTROL DEVICE NOT TO SCALE



**GENERAL PLANTING NOTES**

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE FITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR HURSERY STOCK BY THE AMERICAN ASSOCIATION OF HURSERYMEN" LATEST EDITION.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE FITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUALITY, OR CONDITION SHALL BE REVIEWED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. FEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

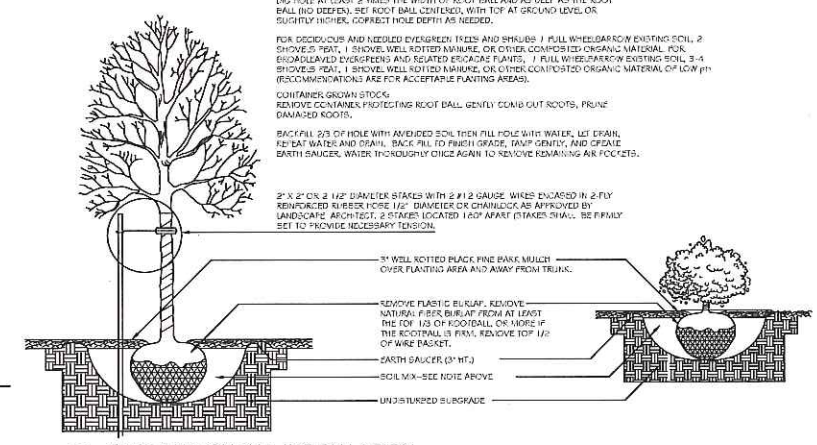
DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. COMPACT HOLE DEPTH AS NEEDED.

FOR SPECIOUS AND NEEDED EVERGREENS, TREES AND SHRUBS: 1. FULL WHEELBARROW EXISTING SOIL, 2. SHOVELS PEAT, 1. SHOVEL WELL-ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL FOR ENDOLEAVED EVERGREENS AND RELATED ESCALADE PLANTS, 1. FULL WHEELBARROW EXISTING SOIL, 3. 4. SHOVELS PEAT, 1. SHOVEL WELL-ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW PH. (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE CONTAINER, PROTECTING ROOT BALL GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH UNADJUSTED SOIL THEN FILL HOLE WITH WATER, LET DRAIN, REPEAT WATER AND DRAIN, BACK FILL TO FINISH GRADE, TAMP GENTLY, AND CREATE BENTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" DIA. 2 1/2" DIA. WELLS WITH 2 #12 GAUGE WIRE ENCASED IN 2" FLY REINFORCED CONCRETE 12" DIA. WELLS OR DRINKERS AS APPROVED BY LANDSCAPE ARCHITECT. 2" STAKES LOCATED 18" APART (STAKES SHALL BE FINELY SET TO PROVIDE NECESSARY TENSION).



**TREE AND SHRUB INSTALLATION**  
NOT TO SCALE

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	○	○
MONUMENT FOUND	■	■
UTILITY POLE	⊗	⊗
MANHOLE	○	○
ELECTRIC/GAS METER	⊗ EM/GM	⊗
SIGN	—	—
CATCH BASIN	⊗	⊗
HYDRANT	⊗	⊗
WATER VALVE	⊗	⊗
LIGHT POLE	⊗	⊗
PERICE	—	—
GRANITE CURB	—	—
SUPPORT CONCRETE CURB	—	—
OVERHEAD WIRES	—	—
WATER LINE	—	—
GAS LINE	—	—
TELEPHONE	—	—
STORM DRAIN	—	—
SANITARY SEWER	—	—
1" CONTOUR	—	—

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
A.RUB	1	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2.5" CAL.	
M.S5	3	MALUS 'SPRING SHOW'	'SPRING SHOW' CRABAPPLE	1.5" CAL.	
P.SAR	5	PRUNUS SARGENTII	SARGENT CHERRY	1.5" CAL.	
S.RET	7	SYRINGA RETICULATA	JAPANESE TREE LILAC	1.75" CAL.	
Z.SER	6	ZELKOVA SERRATA 'WIRELESS'	WIRELESS ZELKOVA	1.5" CAL.	
<b>SHRUBS</b>					
C.ALT	21	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD CLETHRA	2 GAL.	CLUMP
C.ALT	6	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	5 GAL.	
C.SER	30	CORNUS SERICEA 'SAINT'	SAINT RED TWIG DOGWOOD	2 GAL.	
H.MAC	19	HYDRANGEA MACROPHYLLA	AINABELLE HYDRANGEA	2 GAL.	
R.ARO	56	RHUS AROMATICA	GRO-LO SUMAC	2 GAL.	
V.FLI	12	VIBURNUM FLICATUM TOM. SHOSHONI	SHOSHONI VIBURNUM	2 GAL.	
SY.CJ	6	SYRINGA 'CHARLES JOLY'	'CHARLES JOLY' LILAC	3 GAL.	



Prepared For:  
Owner and Applicant:  
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# The Schlotterbeck Block

Portland, Maine

117 Preble Street

Date: **OCTOBER 5, 2015**

Issued For:

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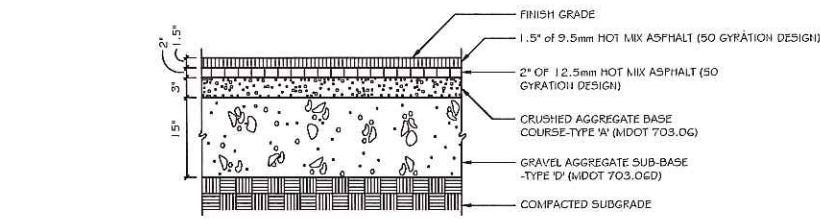
Title: **PLANTING PLAN**

Scale: 1" = 20'

North:

Sheet No.: **L5.0**

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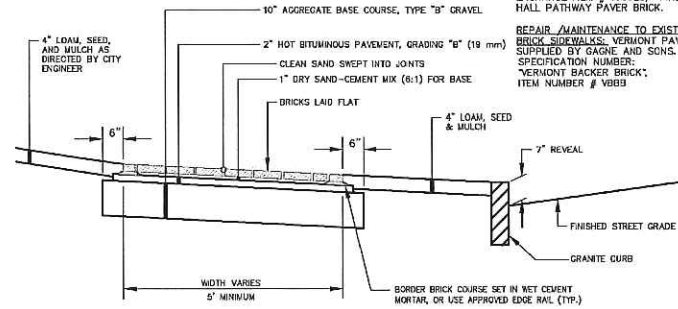


1 BITUMINOUS PAVEMENT- PARKING LOT

NOT TO SCALE

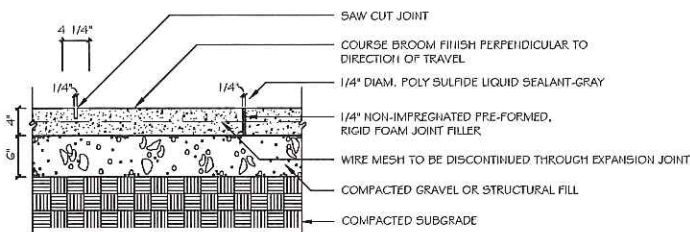
NOTE: PREBLE STREET SIDEWALK HAS AN ESPLANADE. KENNEBEC STREET AND ELM STREET DO NOT HAVE AN ESPLANADE. SEE PLANS.

BRICKS TO BE USED:  
**NEW CONSTRUCTION:**  
 4"x8" PINE HALL PATHWAY PAVEMENT BRICK; MFG. BY PINE HALL BRICK CO., MADISON, NORTH CAROLINA. LATCHING ITEM # 133623. PINE HALL PATHWAY PAVEMENT BRICK.  
**REPAIR / MAINTENANCE TO EXISTING BRICK SIDEWALKS, VERMONT PAVEMENT:**  
 SUPPLIED BY GAGNE AND SONS. SPECIFICATION NUMBER: VERMONT BACKER BRICK; ITEM NUMBER # VBB3



2 BRICK SIDEWALK WITH BITUMINOUS BASE AND GRANITE CURB

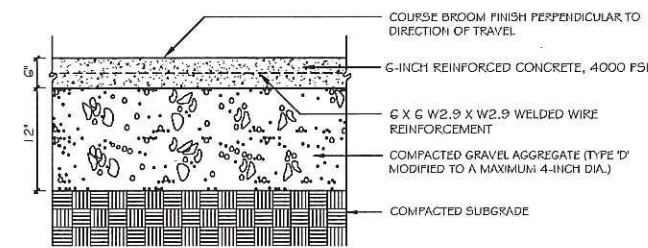
NOT TO SCALE



FINISH: SCREED AND BULL FLOAT, BROOM FINISH, PERPENDICULAR TO TRAVEL DIRECTION  
 JOINTS: HAND TROWEL TO 1/2 DEPTH AT 5' O.C. WITHIN 24 HOURS AT 25-FOOT INTERVALS OR APPROPRIATE CONNECTIONS.  
 SEALING: APPLY POLY SULFIDE LIQUID SEALANT, GRAY COLOR, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

3 CONCRETE WALK

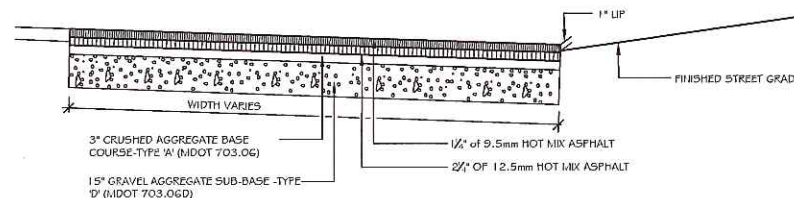
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FINISH: SCREED AND BULL FLOAT, BROOM FINISH, PERPENDICULAR TO TRAVEL DIRECTION  
 JOINTS: HAND TROWEL TO 1/2 DEPTH AT 5' O.C. WITHIN 24 HOURS AT 25-FOOT INTERVALS OR APPROPRIATE CONNECTIONS.  
 SEALING: APPLY POLY SULFIDE LIQUID SEALANT, GRAY COLOR, INSTALL PER MANUFACTURER'S SPECIFICATIONS.

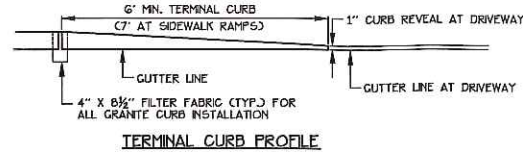
4 CONCRETE PAD: DUMPSTER AND GENERATOR

NOT TO SCALE

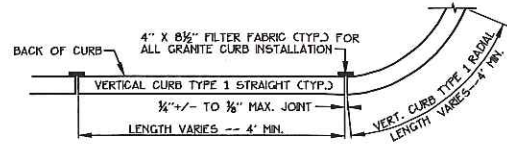


5 BITUMINOUS DRIVEWAY APRON

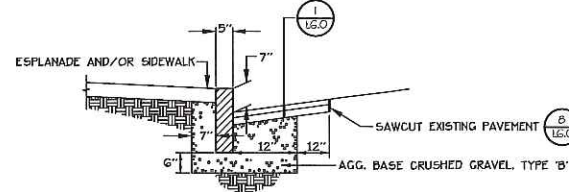
NOT TO SCALE



TERMINAL CURB PROFILE



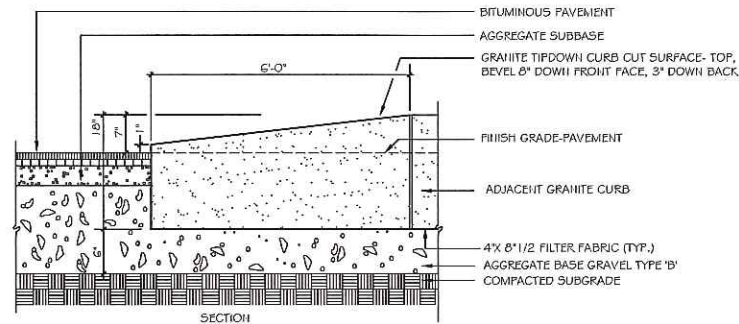
VERTICAL GRANITE CURB PLAN VIEW



VERTICAL GRANITE CURB CROSS SECTION

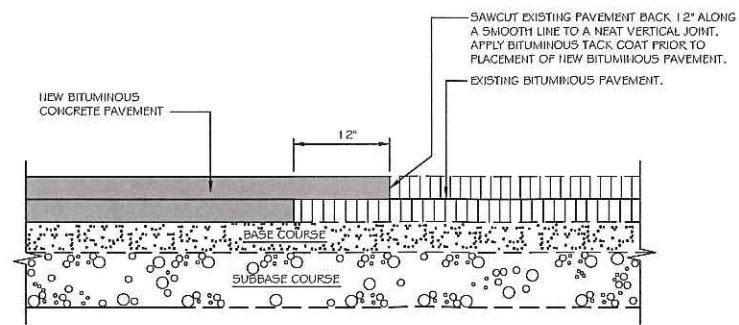
CITY OF PORTLAND STANDARD DETAIL: VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS

NOT TO SCALE



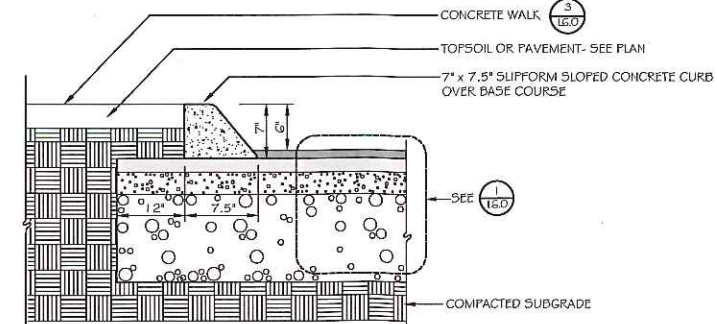
7 GRANITE TIP-DOWN CURB

NOT TO SCALE



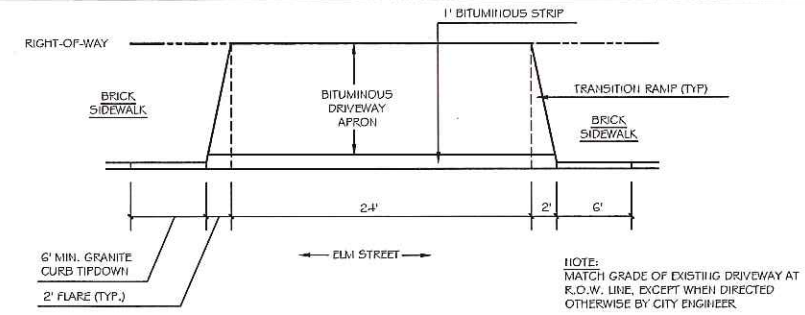
8 PAVEMENT SAWCUT DETAIL

NOT TO SCALE



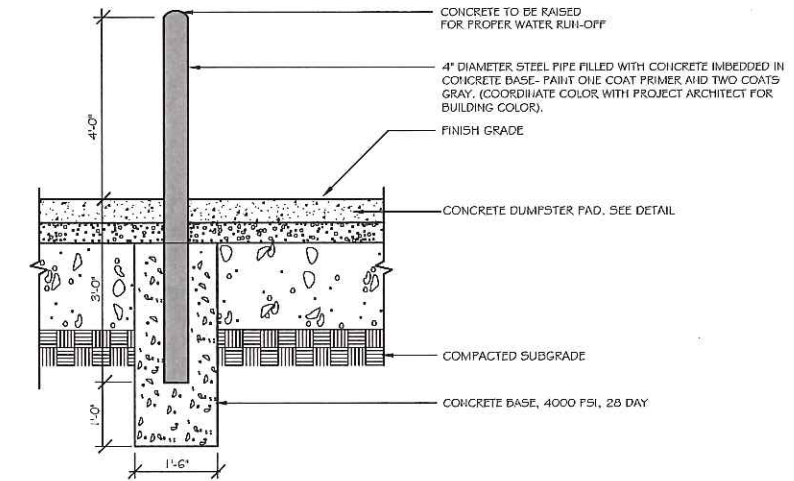
9 SLIPFORM CONCRETE CURB

NOT TO SCALE



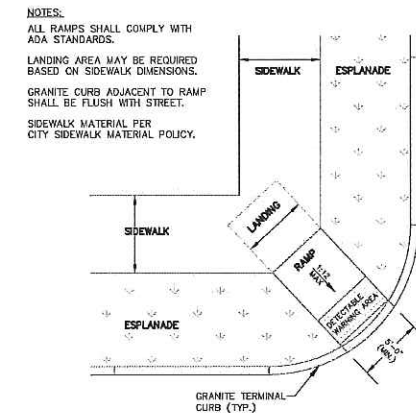
10 DRIVEWAY APRON LAYOUT

NOT TO SCALE



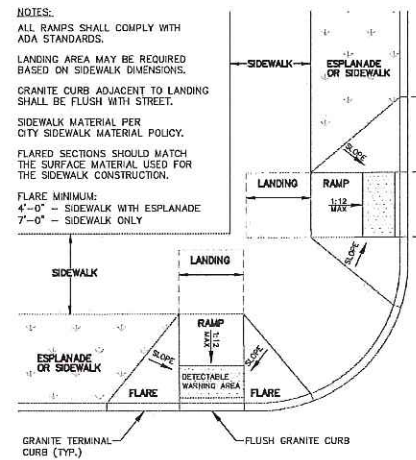
11 PIPE BOLLARD DETAIL

NOT TO SCALE



12 ADA RAMP AT PREBLE STREET/KENNEBEC STREET

NOT TO SCALE



13 ADA RAMP AT ELM STREET/KENNEBEC STREET

NOT TO SCALE

PERMITTING SET -- NOT FOR CONSTRUCTION

Prepared For:  
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**The Schlotterbeck Block**  
 Portland, Maine  
 117 Preble Street

Date: OCTOBER 5, 2015

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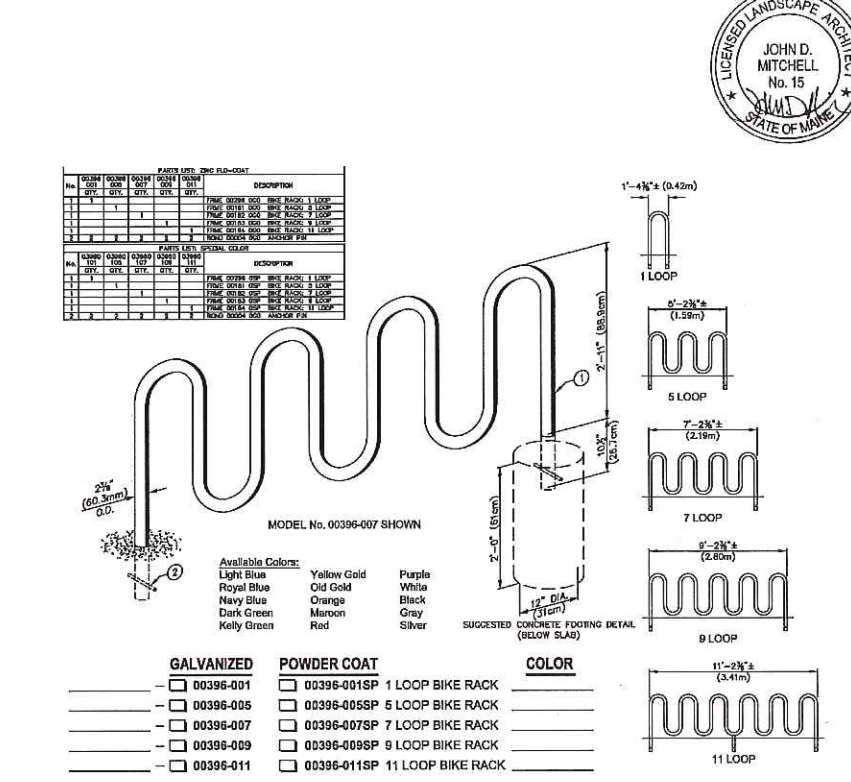
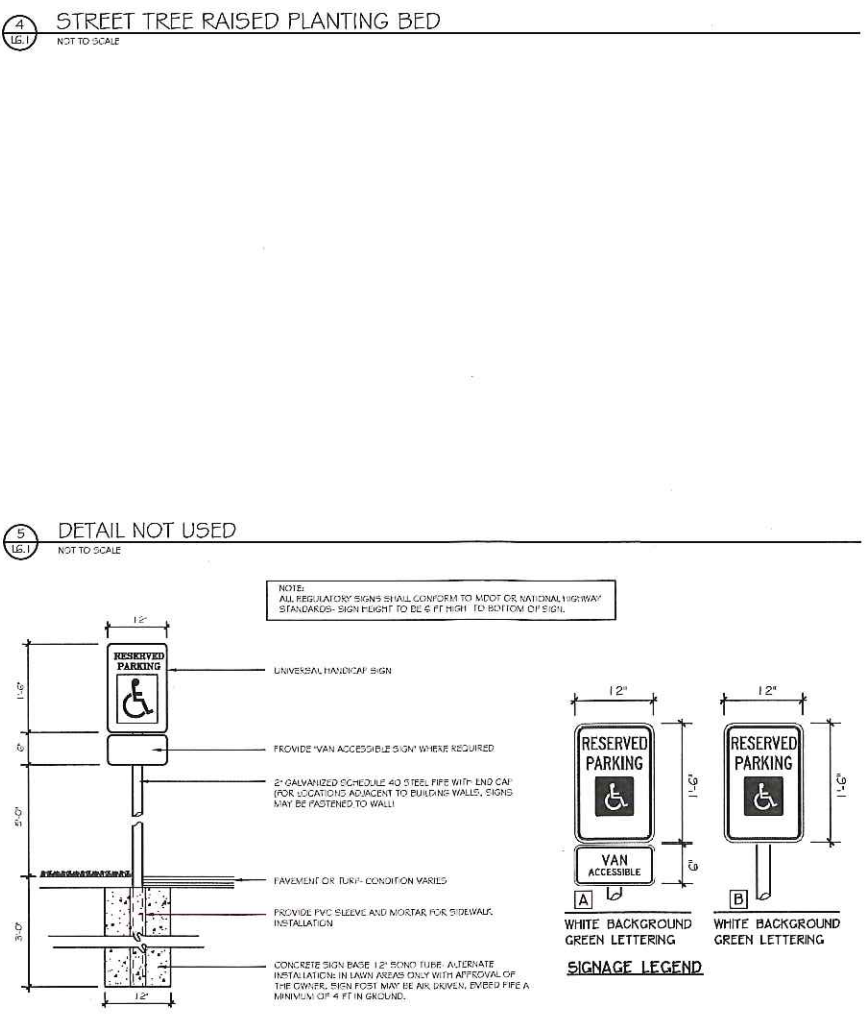
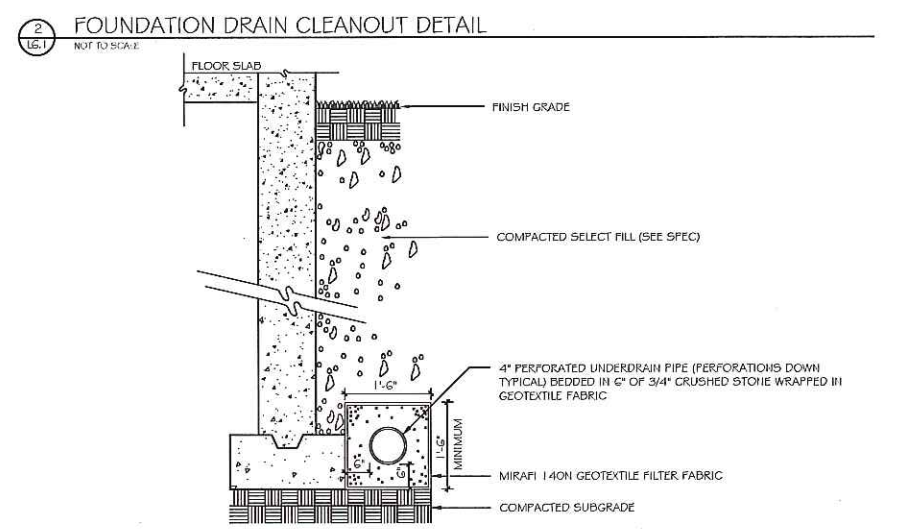
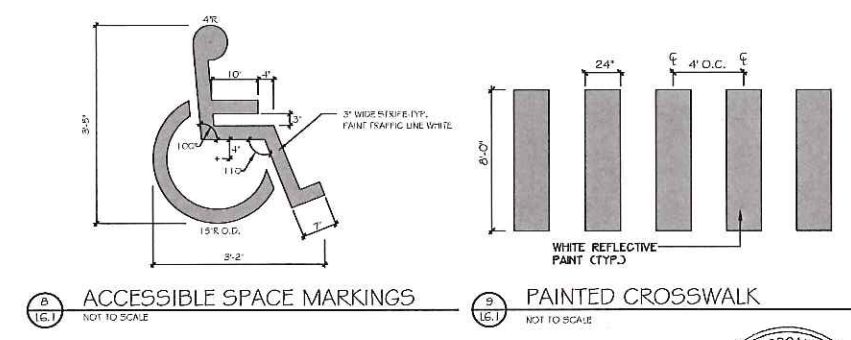
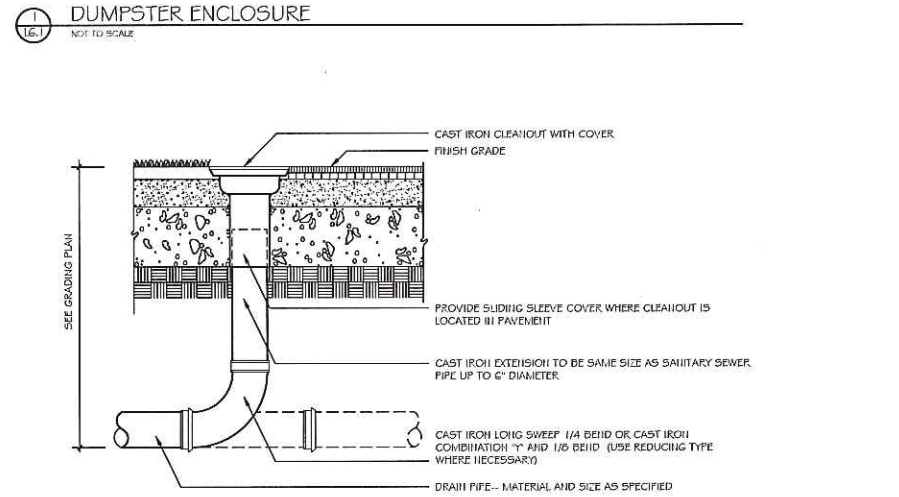
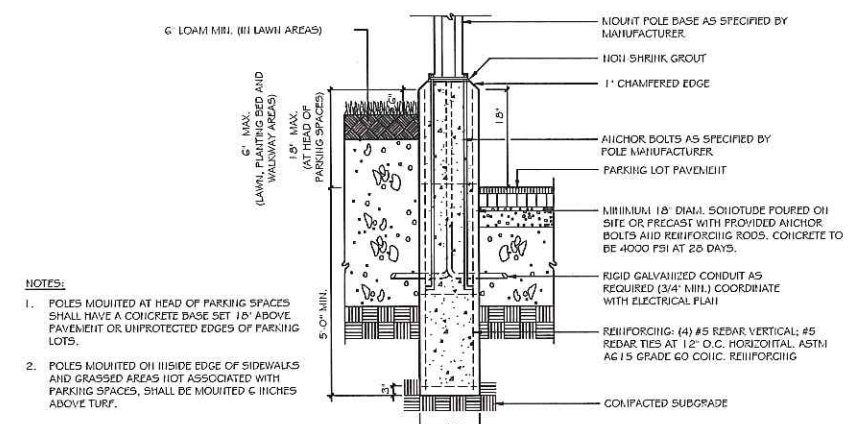
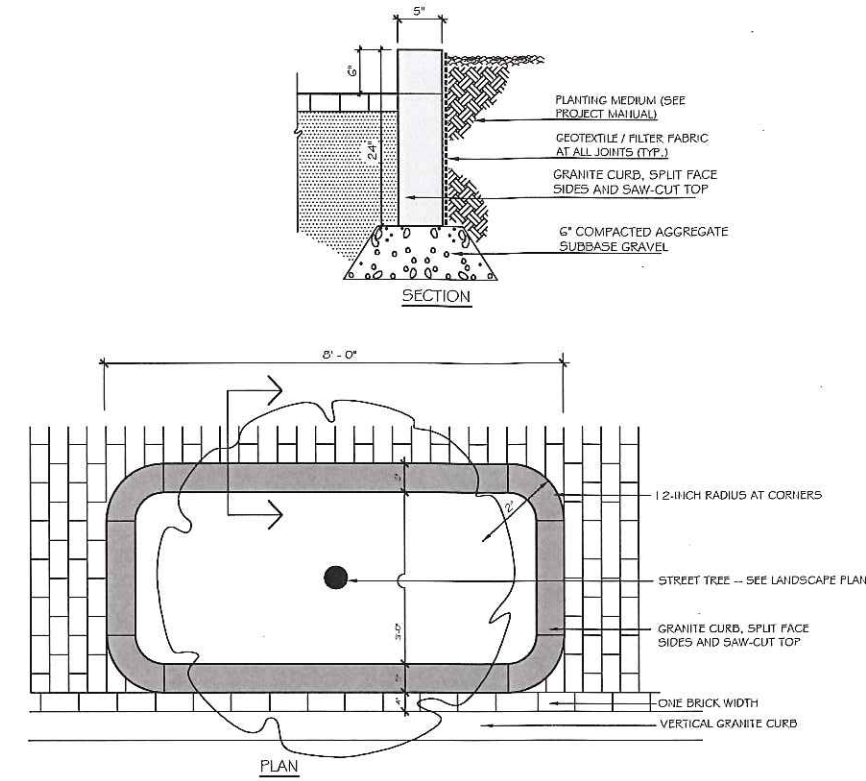
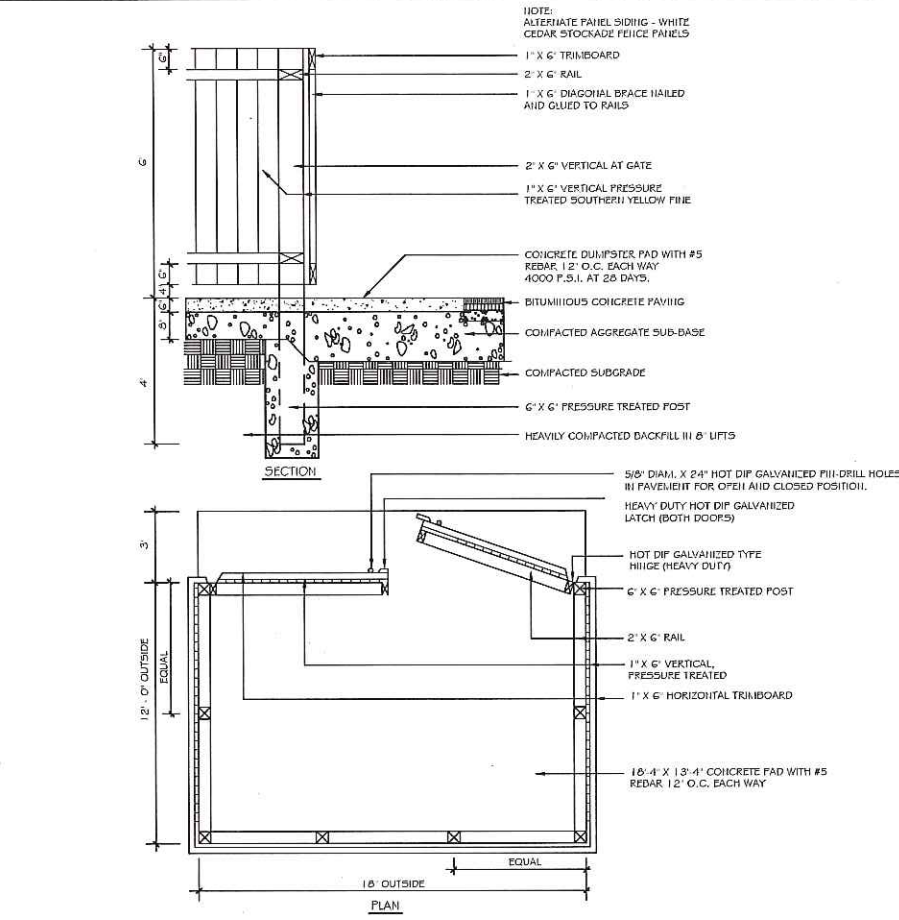
**RANSOM CONSULTING ENGINEERS**  
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# The Schlotterbeck Block

Portland, Maine

117 Preble Street



Date: OCTOBER 5, 2015

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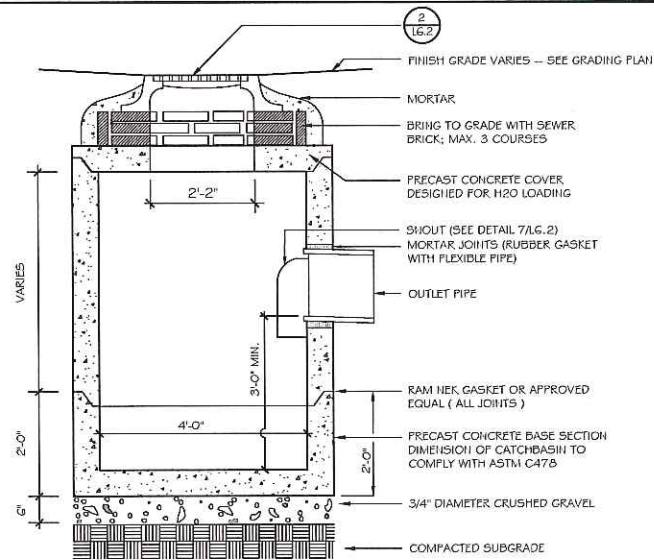
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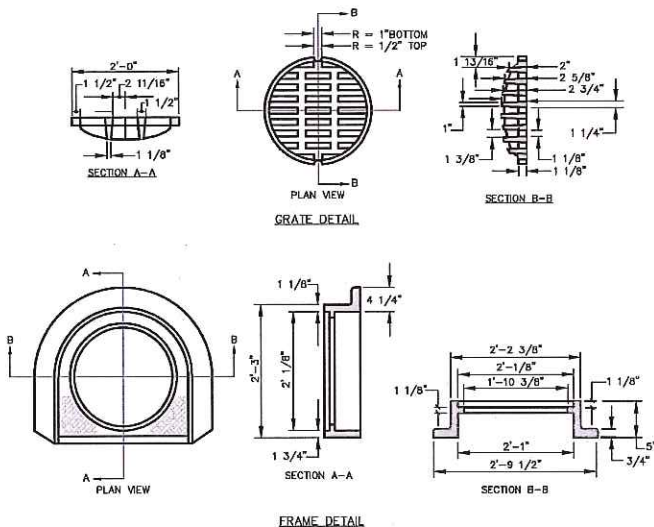


**GENERAL NOTES FOR MANHOLES AND CATCH BASINS**

- ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI PER 28 DAYS AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- MANHOLES MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- PRECAST REINFORCED CONCRETE MANHOLES MANUFACTURED PER ASTM SPEC. C-478.
- ALL SEWER AND SANITARY MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE ONE 7/8" DIAMETER DRILLED PICK HOLE LOCATED 8" FROM THE CENTER OF THE COVER.
- ALL SANITARY MANHOLE COVERS SHALL HAVE "SMOOTH" CAST INTO THE COVER. ALL STORMWATER/RAIN MANHOLE COVERS SHALL HAVE "URBAN" CAST INTO THE COVER.
- ALL MANHOLE RISERS SHALL BE EMBOSSED 2" OR APPROXIMATE EQUAL.
- SEWER RISERS SHALL CONFORM TO ASTM SPEC. DESIGNATION OF C-33-83, GRADE MA AND SA.
- ALL SANITARY MANHOLES SHALL HAVE A WATERPROOFING COATING APPLIED TO THE EXTERIOR SURFACE.
- CATCH BASIN FRAMES FOR TYPE A4 CATCH BASIN CURB RAFTS SHALL BE EMBOSSED DEISA OR APPROVED EQUAL.
- CATCH BASIN FRAMES SHALL CONFORM TO ASTM DESIGNATION A44-CLASS IX.
- EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
- ALL CATCH BASIN OUTLETS SHALL BE INSTALLED WITH A CATCH TRAP. SEE FIGURE 3-10.

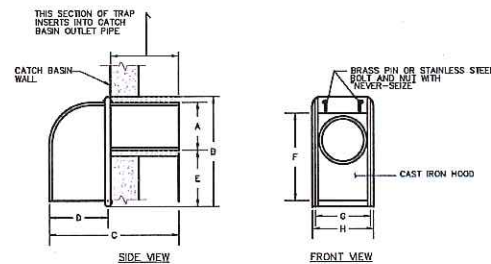
**1 PRECAST CONCRETE CATCHBASIN**

16.2 NOT TO SCALE



**2 CAST IRON CATCH BASIN COVER AND FRAME**

16.2 NOT TO SCALE



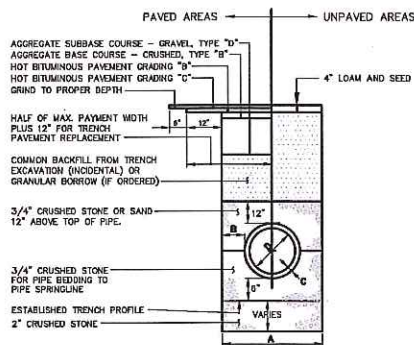
SIZE	A	B	C	D	E	F	G	H
6 in.	5 1/2"	13 3/8"	13 3/4"	5 3/8"	5 7/8"	11 5/8"	6 1/2"	7 1/4"
8 in.	7 1/2"	15"	15 3/8"	5 1/2"	5 3/8"	13 3/4"	8 3/4"	9 3/8"
10 in.	9 1/2"	16"	16 1/4"	6"	4 1/2"	14 1/8"	11 1/2"	12 3/8"
12 in.	11 1/2"	17"	22"	8"	3 1/2"	17"	12 1/2"	13 3/8"

(AS MANUFACTURED BY THE ETHERIDGE FOUNDRY IN PORTLAND, ME.)  
NOTE: CONTRACTOR SHALL UTILIZE THE "CASCO TRAP" AS MANUFACTURED BY THE ETHERIDGE FOUNDRY, OR AN APPROVED EQUIVALENT.

**3 CASCO TRAP (ALL CATCHBASIN DRAINAGE STRUCTURES)**

16.2 NOT TO SCALE

NOTES:  
DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.  
ANY ALTERNATE TRENCHING OR PAVEMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.



**TYPICAL PIPE TRENCH INSTALLATION**

NOT TO SCALE

NOTES:  
1. ALTERNATIVE CONSTRUCTION METHODS OR PAVEMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.  
2. IN PAVED AREAS, BEDDING OF GRAVEL AND HOT MIX ASPHALT PAVEMENT SHALL MATCH THE GREATER OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.  
3. DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HAUNCHES OF THE PIPE; BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 8".  
4. DIMENSION A IS THE MAXIMUM WIDTH ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BEDDING, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER D, AS SET FORTH IN THE FOLLOWING TABLE.

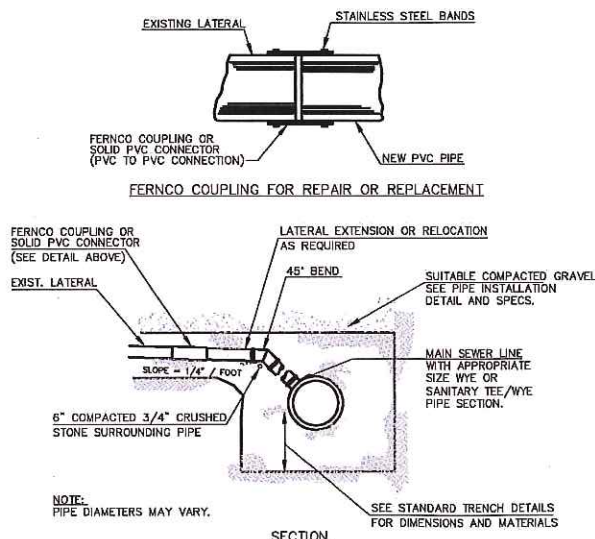
PIPE DIAMETER, D (INCHES)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	5.0
15	5.0
18	5.0
24	6.0
27	6.0
30	6.0
36	6.0
42	7.0
48	7.0

**4 CITY OF PORTLAND TRENCH DETAIL**

16.2 NOT TO SCALE

NOTE:  
LOCATIONS AND ELEVATIONS OF STUBS SHOWN ON THE PLANS ARE TO BE CONSIDERED AS APPROXIMATE AND MAY BE ADJUSTED AS DIRECTED TO SUIT FIELD CONDITIONS.

HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS TO THE MAIN LINE OF THE SEWER, SHALL CONSIST OF AN APPROPRIATE "Y" BRANCH CONNECTION AS SHOWN ON THE PLANS, OR AS DIRECTED. ACTUAL "Y" LOCATIONS FOR HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS SHALL BE DETERMINED DURING CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF "Y" LOCATIONS WHICH SHALL BE GIVEN TO THE CITY OF PORTLAND UPON COMPLETION OF THE CONTRACT. ALL PVC TO PVC COUPLING SHALL BE "SOLID PVC COUPLINGS".

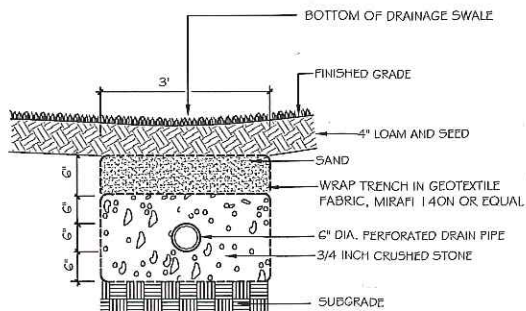


**TYPICAL EXISTING LATERAL CONNECTION**

NOT TO SCALE

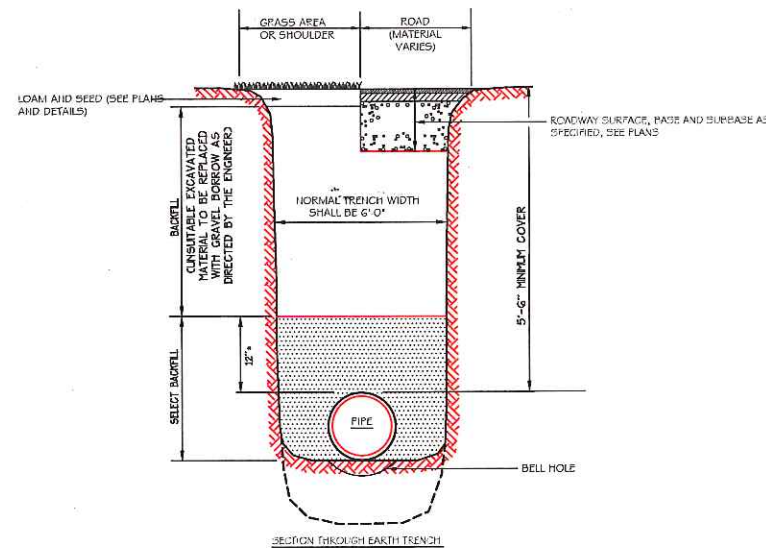
**5 CITY OF PORTLAND LATERAL CONNECTION DETAIL**

16.2 NOT TO SCALE



**6 STONE INFILTRATION TRENCH**

16.2 NOT TO SCALE



**7 PORTLAND WATER DISTRICT PIPE TRENCH DETAIL**

16.2 NOT TO SCALE

Prepared For:  
Owner and Applicant:  
**SCHLOTTERBECK BLOCK LLC.**  
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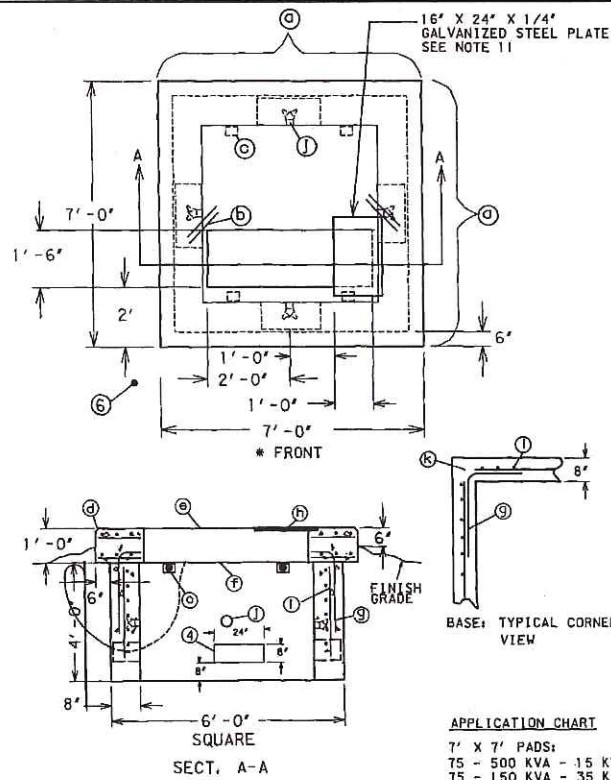
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North: Sheet No.:

**L6.2**



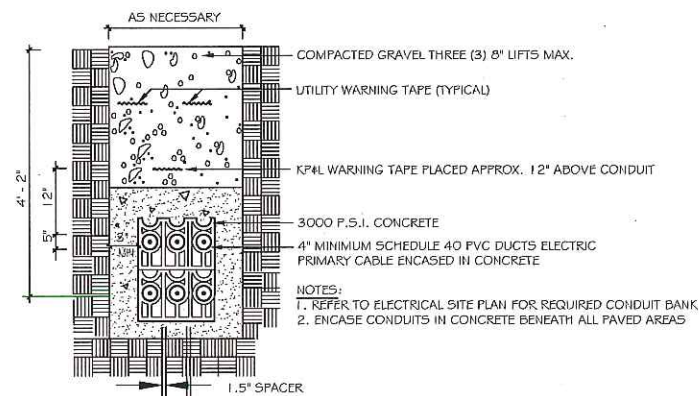


NOTES:

- FRONT denotes the side on which the access doors are located. The concrete base shall be set on a suitable gravel base and located so the FRONT is accessible by truck and suitably protected from plow and traffic damage.
- Before installing or requiring any active drainage structure (e.g., drain pipe) into the foundation or pad, the contractor, CIP Line Supervisor, or CIP Distribution Engineer must contact Central Maine Power Company's Environmental Services Department at 623-3521 ext. 3479 to request a site inspection.
- Finish grade shall be graded in such manner to allow surface water to flow away from the pad.
- Provide 8" x 24" cable holes (bond out) 8" up the wall from the base. Locate one cable hole per wall, more if necessary. Line up cable holes with frames.
- Conduits entering concrete structures shall be set back from the inside wall 1 to 2 inches and the space within the knockout surrounding the conduits completely filled with mortar to prevent soil from entering structure. Inside the structure the mortar shall be finished and beveled from the conduit ends to the inside wall face to cover and smooth the edges of the knockouts.
- A 3/4" x 8" galvanized ground rod is to be installed six inches in front of the left FRONT corner of the foundation. The top of the ground rod is to be 6 inches below final grade.
- A ground wire shall be installed from the ground rod through the cable hole at the bottom of the pad. 10 Feet of ground wire shall be provided so that it can be installed through the two grounding lugs and connected to the neutral spade.
- Concrete compressive strength shall be 4000 PSI @ 28 days. For cast-in-place early high strength may be used with a minimum of seven day cure time.
- Reinforcing steel to have: Fy = 60 KSI.
- For precast units: The precast supplier shall provide lifting lugs in the slab (foundation) and base; the precast supplier shall assemble the slab to the base prior to shipping to the site to ensure that the slab and base fit properly (with no rocking of the slab evident).
- A 16" x 24" x 1/4" galvanized steel plate to cover a portion of the cable hole when the transformer does not completely cover it. Cut the steel plate to fit, if necessary.
  - 7-#5 Rebar evenly spaced each way top to bottom.
  - 2-#4 Corner diagonal rebar 2'-0" long top and bottom.
  - 4"x 4" x 1/2" angle 6' long with 2-3/4" diameter expansion anchors typical - 4 places (two place precast only).
- Chequer typical
  - 2" Concrete cover over top rebar.
  - 3" Concrete cover over bottom rebar.
  - #5 L-Bar @ 12" (cast-in-place only)
  - 16"x 24"x 1/4" galvanized steel plate. MID\*600621790
  - #5 Rebar on 12" centers.
  - Pulling eye insert, for use with 3/8" national coarse thread eye-bolt, (Richmond LCB-1 or equivalent). Located opposite each cable hole and 2' (two feet) from the bottom.
  - All rebar ends to be covered by 1' of concrete, minimum.

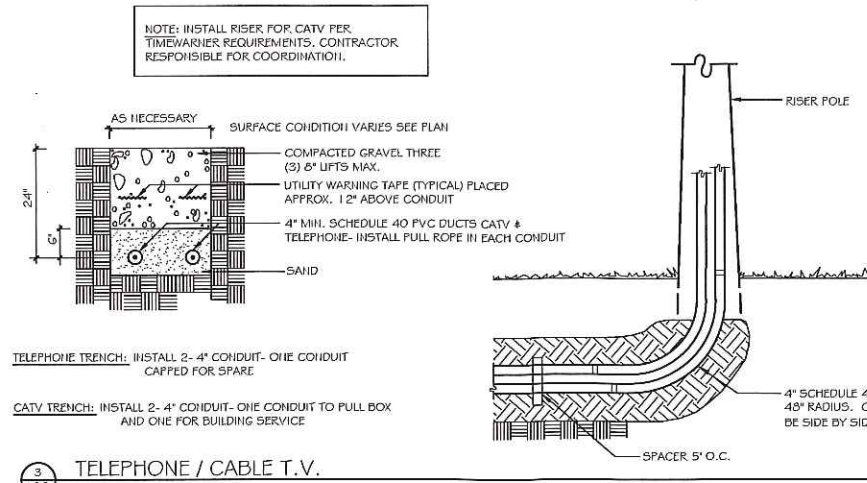
1 7' X 7' TRANSFORMER PAD (75 - 500 KVA)

16.3 NOT TO SCALE



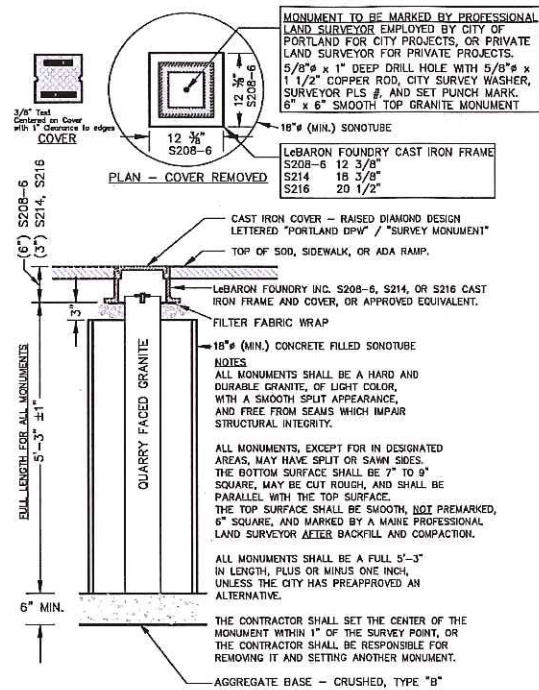
2 ELECTRIC TRENCH

16.3 NOT TO SCALE



3 TELEPHONE / CABLE T.V.

16.3 NOT TO SCALE



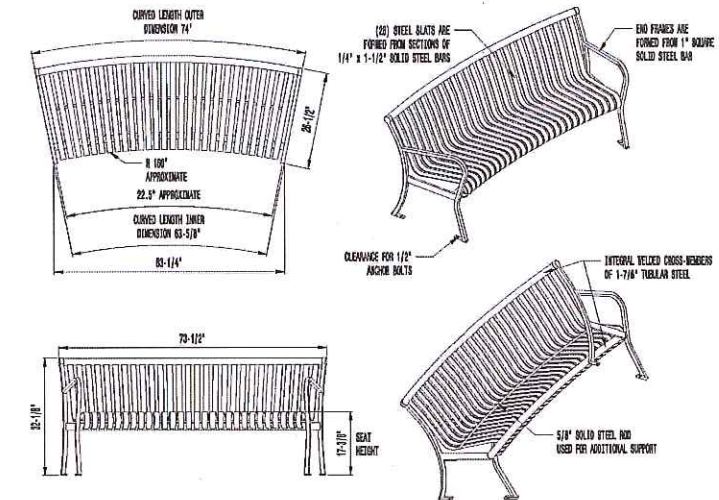
4 CITY OF PORTLAND GRANITE MONUMENT DETAIL

16.3 NOT TO SCALE

VICTOR STANLEY, INC.®  
Manufacturers of Quality Site Furnishings since 1932.

P.O. BOX 890 - DURHAM, NH 03824 USA  
TOLL FREE: (800) 368-2570 (USA & CANADA)  
TEL: (603) 853-2000 - FAX: (603) 257-7579  
WEB SITE: HTTP://WWW.VICTORSTANLEY.COM

\* ALL DIMENSIONS ARE IN INCHES \*



AVAILABLE OPTIONS:

POWDER COATING  
12 STANDARD COLORS, CUSTOM COLORS (INCLUDING THE RAL RANGE)

LENGTHS:  
STANDARD 6' LENGTHS  
INTERMEDIATE LENGTHS  
AVAILABLE WITH OPTIONAL ARMRESTS

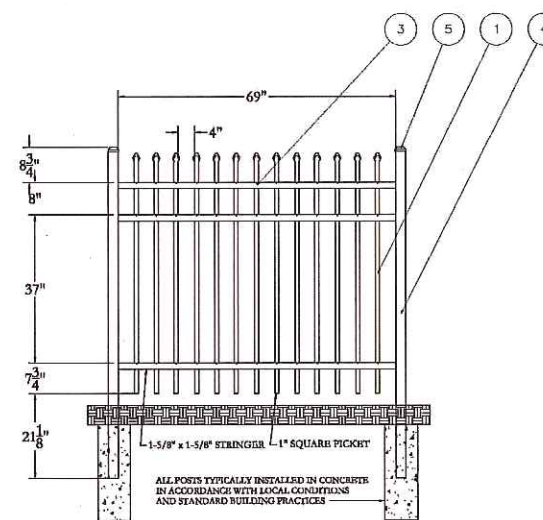
NOTES:

- DRAWINGS NOT TO SCALE. DO NOT SCALE DIMENSIONS.
- ALL FABRICATED METAL COMPONENTS ARE STEEL, GALVANNEAL, FINISH, PHOSPHATIZED, PREPAINTED, AND ELECTROLYTICALLY POWDER COATED WITH A.L.C. PREPARED POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PREPARED, PREPAINTED AND COATED WHILE HOT TO FULL CRYSTAL AND BUILT COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS. (200-250 MICRONS).
- IT IS NOT RECOMMENDED TO LOCATE ANCHER BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND, CONSULT YOUR LOCAL CODES FOR REGULATIONS.
- ANCHER BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
- FOR HIGH SALT AMBIENT CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
- ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
- THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED.

6 BENCH DETAIL

16.3 NOT TO SCALE

FENCE PARTS	
Name	Qty./Item
1101-60 PICKET	13 1
70-1/2" - 13 HOLE IND. STRINGER	3 3
2-1/2" POST	2 4
2-1/2" ALUMINUM POST CAP	2 5



7 5'-HT. ORNAMENTAL FENCE DETAIL

16.3 NOT TO SCALE

Prepared For:  
Owner and Applicant:  
SCHLOTTERBECK BLOCK L.L.C.  
77 Spence Street  
Portland, Maine 04101  
Tel.: 207-650-8979

Prepared By:  
MITCHELL & ASSOCIATES  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel.: 207-774-4427

RANSOM CONSULTING ENGINEERS  
400 Commercial Street #4  
Portland, Maine 04101  
Phone: 207-772-2891

GODUTI-THOMAS ARCHITECTS  
44 Oak Street #2  
Portland, Maine 04101  
Phone: 207-775-3184

The Schlotterbeck Block

Portland, Maine  
177 Preble Street

Date:  
OCTOBER 5, 2015

Issued For:

Revisions:

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Title:  
SITE DETAILS

Scale: AS SHOWN

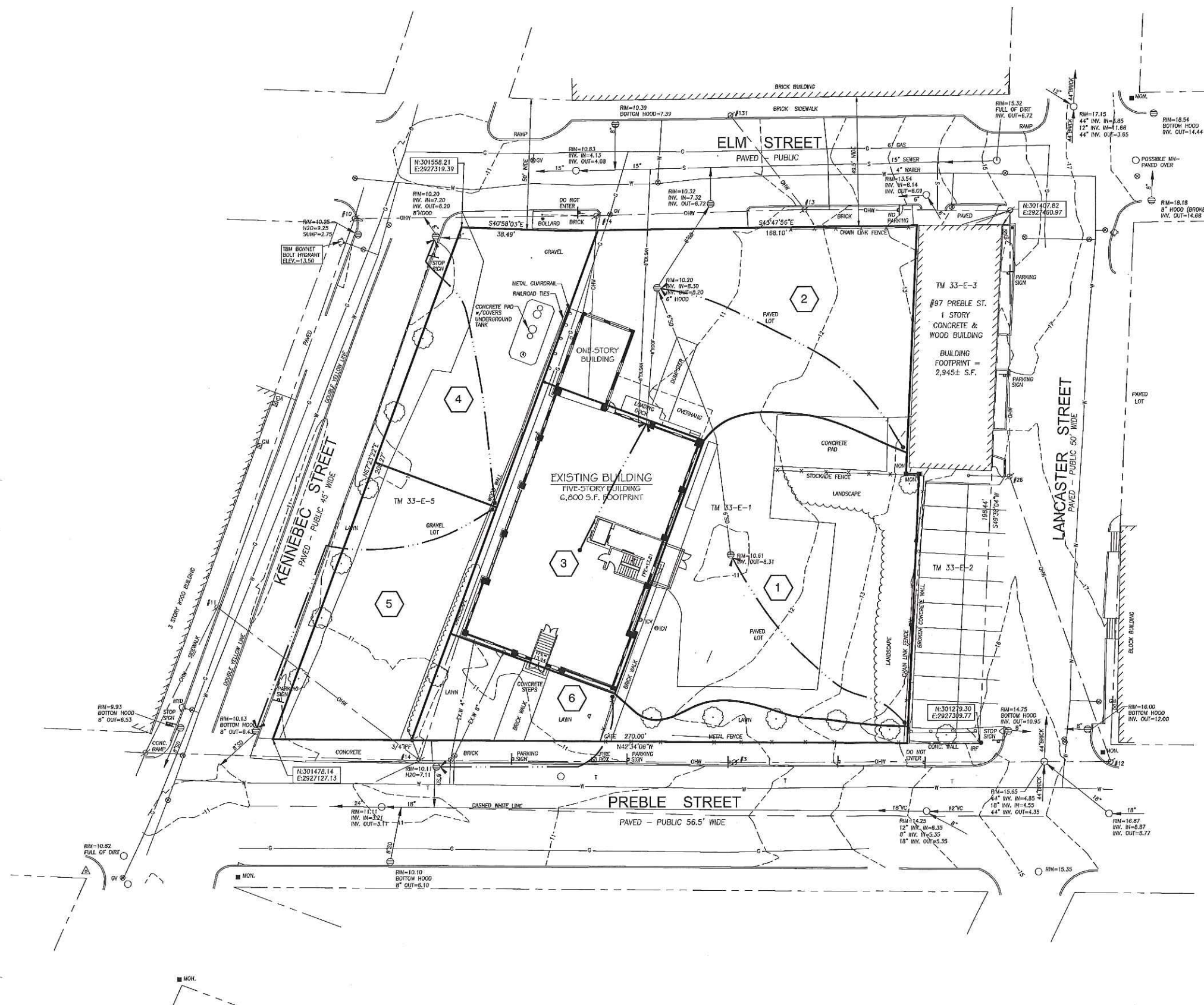
North: Sheet No.:

L6.3



PERMITTING SET -- NOT FOR CONSTRUCTION

C:\Users\jason\OneDrive\Documents\Projects\15102015\15102015.dwg



**GENERAL NOTES**

1. SITE AREA: 40,806 S.F. OR 0.93 ACRE
2. APPLICANT: SCHLOTTERBECK BLOCK, LLC  
77 PRUCE STREET  
PORTLAND, MAINE 04101
3. RECORD OWNER: J.B. BROWN & SONS  
482 CONGRESS STREET  
P.O. BOX 207  
PORTLAND, MAINE 04112
4. LOT DATA: TAX MAP 33, BLOCK E, LOT 1  
C.C.R.D BOOK 26354, PAGE 312  
AREA: 30,492 S.F.  
  
TAX MAP 33, BLOCK E, LOT 5  
C.C.R.D BOOK 26354, PAGE 314  
AREA: 10,314 S.F.
5. BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATE SYSTEM MAINE WEST NAD 83, BASED ON CITY POINT 55 N:301742.42 E: 2927203.60 AND POINT 59 N:301442.06 E:2927035.61 FROM PLAN REFERENCE 1.
6. ELEVATIONS BASED ON NGVD 1929. CITY BENCHMARK TBM 307 PLAN REFERENCE 1. MDOT DISK "G12-(1)-10 1983" IN CONCRETE BASE OF LIGHT POLE AT NORTHEAST CORNER ELM/SOMERSET ELEV. = 9.02.

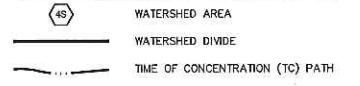
**PLAN REFERENCES**

1. ELM STREET, STREET LINE RETRACTION PLAN, SOMERSET STREET TO LANCASTER STREET, CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION DATED OCT. 16, 2012.
2. BAYSIDE TRAIL SOMERSET STREET EXTENSION, ELM STREET TO KENNEBEC STREET, CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION DATED JULY 3, 2012.
3. ALTAIACSM LAND TITLE SURVEY ON PREBLE STREET, LANCASTER STREET EAST, ELM STREET & OXFORD STREET, PORTLAND, MAINE MADE FOR BAYSIDE I, LLC JAN. 26, 2000 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 200 PAGE 40.

**UTILITIES NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

**DRAINAGE LEGEND**



**LEGEND**

PROPERTY LINE	
IRON PIPE OR ROD FOUND	
MONUMENT FOUND	
UTILITY POLE	
MANHOLE	
ELECTRIC/GAS METER	
SIGN	
CATCH BASIN	
HYDRANT	
WATER VALVE	
LIGHT POLE	
FENCE	
GRANITE CURB	
OVERHEAD WIRES	
WATER LINE	
GAS LINE	
TELEPHONE	
STORM DRAIN	
SANITARY SEWER	
1' CONTOUR	

Prepared For:  
Owner and Applicant:  
**SCHLOTTERBECK BLOCK L.L.C.**  
77 Spruce Street  
Portland, Maine 04101  
Tel: 207-650-8979

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel: 207-774-4427

**GODUTI-THOMAS ARCHITECTS**  
44 Oak Street # 2  
Portland, Maine 04101  
Phone: 207-775-3184

# The Schlotterbeck Block

Portland, Maine

117 Preble Street

Date: SEPTEMBER 29, 2015

Issued For:

Revisions:

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Title: **PRE-DEVELOPMENT STORMWATER PLAN**

Scale: 1" = 20'

North:

Sheet No.: **SW-1**

**DRAINAGE STRUCTURE SCHEDULE**

ALL CATCH BASIN PRECAST CONCRETE STRUCTURES SHALL BE 4'-0" DIAMETER (INSIDE).

CB#1  
RIM: 10.75  
INV. OUT (8"): 8.07

CB#2  
RIM: 11.10  
INV. IN (8"): 7.94  
INV. OUT (12"): 7.84

CB#3  
RIM: 10.80  
INV. IN (12"): 7.54  
INV. OUT (12"): 7.44

CB#4  
RIM: 10.40  
INV. IN (12"): 7.26  
INV. OUT (12"): 7.16

CB#5  
RIM: 10.35  
INV. IN (EX. RD): V.I.F.  
INV. IN (12"): 6.94  
INV. OUT: 6.84

CB#6  
RIM: 10.65  
INV. IN (UD): 7.00  
INV. IN (12"): 6.49  
INV. OUT (12"): 6.39

EXIST. CB (ELM STREET)  
RIM: 10.20  
INV. IN (8"): 7.20 (EXISTING)  
INV. IN (12"): 6.30 (PROPOSED: CORE DRILL)  
INV. OUT (8"): 6.20 (EXISTING)

**STORM DRAIN SCHEDULE**

SD NO.	PIPE TYPE	LENGTH	SLOPE (FT/FT)
SD#1	12" HDPE	26 L.F.	0.005
SD#2	12" HDPE	60 L.F.	0.005
SD#3	12" HDPE	36 L.F.	0.005
SD#4	12" HDPE	44 L.F.	0.005
SD#5	12" HDPE	69 L.F.	0.005
SD#6	12" HDPE	18 L.F.	0.005

**GRADING AND DRAINAGE NOTES:**

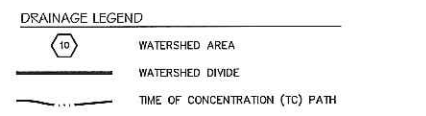
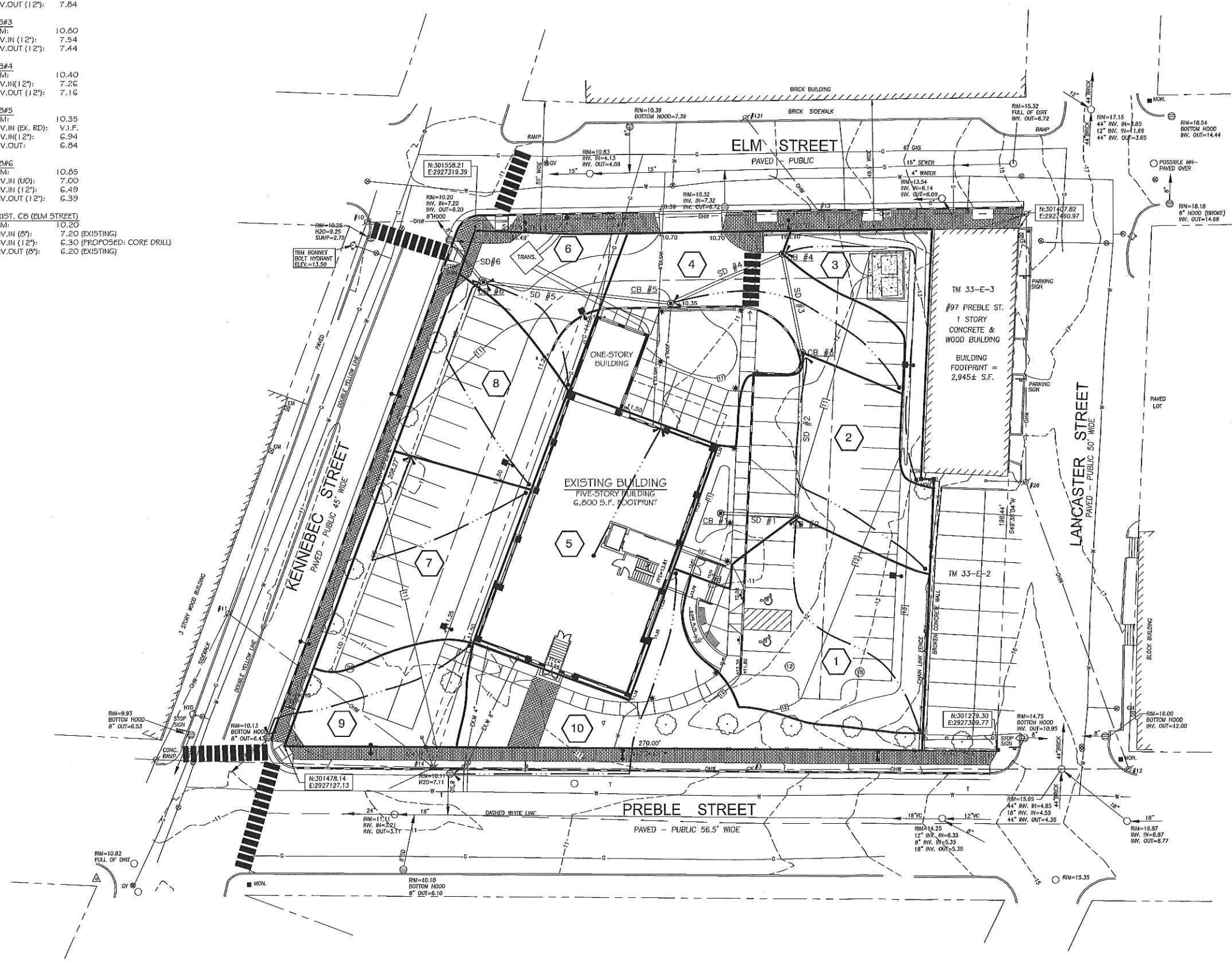
- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW UNDERGROUND ELECTRICAL, TELEPHONE AND CATV SERVICES ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE CATCHBASIN SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPE AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING WATER, GAS AND SANITARY SEWER SHALL BE PERMANENTLY CAPPED CONFORMING TO UTILITY COMPANY AND CITY OF PORTLAND STANDARDS. CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES AND/OR UTILITY COMPANY.
- THE PROJECT BENCH MARK IS BONNET BOLT OF FIRE HYDRANT LOCATED AT INTERSECTION OF ELM STREET AND KENNEBEC STREET. BENCHMARK ELEVATION: 13.50.
- BMP INSPECTIONS: THE OWNER SHALL HIRE A QUALIFIED POST-CONSTRUCTION STORMWATER INSPECTOR TO ANNUALLY INSPECT THE BMPs, INCLUDING CATCH BASIN, DRYWELL, IN-LINE ROOF FILTERS, PIPES AND RELATED STRUCTURES, IN ACCORDANCE WITH ALL MUNICIPAL AND STATE INSPECTION, CLEANING AND MAINTENANCE REQUIREMENTS OF THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PER SECTION 32 OF THE CITY OF PORTLAND CODE OF ORDINANCES).
- SITE LIGHTING SHALL MEET THE CITY OF PORTLAND STANDARDS AS OUTLINED IN SECTION 12 OF THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS. SITE LIGHTING SHALL ADHERE TO SECTION 12.2.5 LIGHT TRESSPASS-LIGHTING SHALL NOT BE GREATER THAN 0.1 FOOTCANDLES AT THE PROPERTY LINE.

Prepared For:  
Owner and Applicant:  
**SCHLOTTERBECK BLOCK L.L.C.**  
77 Spruce Street  
Portland, Maine 04101  
Tel: 207-659-8979

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel: 207-774-4427

**GODUTI-THOMAS ARCHITECTS**  
44 Oak Street # 2  
Portland, Maine 04101  
Phone: 207-775-3184

**The Schlotterbeck Block**  
Portland, Maine  
117 Preble Street



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
IRON PIPE OR ROD FOUND	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
ELECTRIC/GAS METER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
GRANITE CURB	[Symbol]	[Symbol]
SUPPORT CONCRETE CURB	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
TELEPHONE	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
1' CONTOUR	[Symbol]	[Symbol]

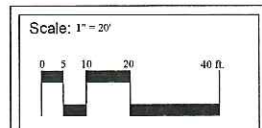
Date: SEPTEMBER 29, 2015

Issued For:

Revisions:

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Title: POST-DEVELOPMENT STORMWATER PLAN

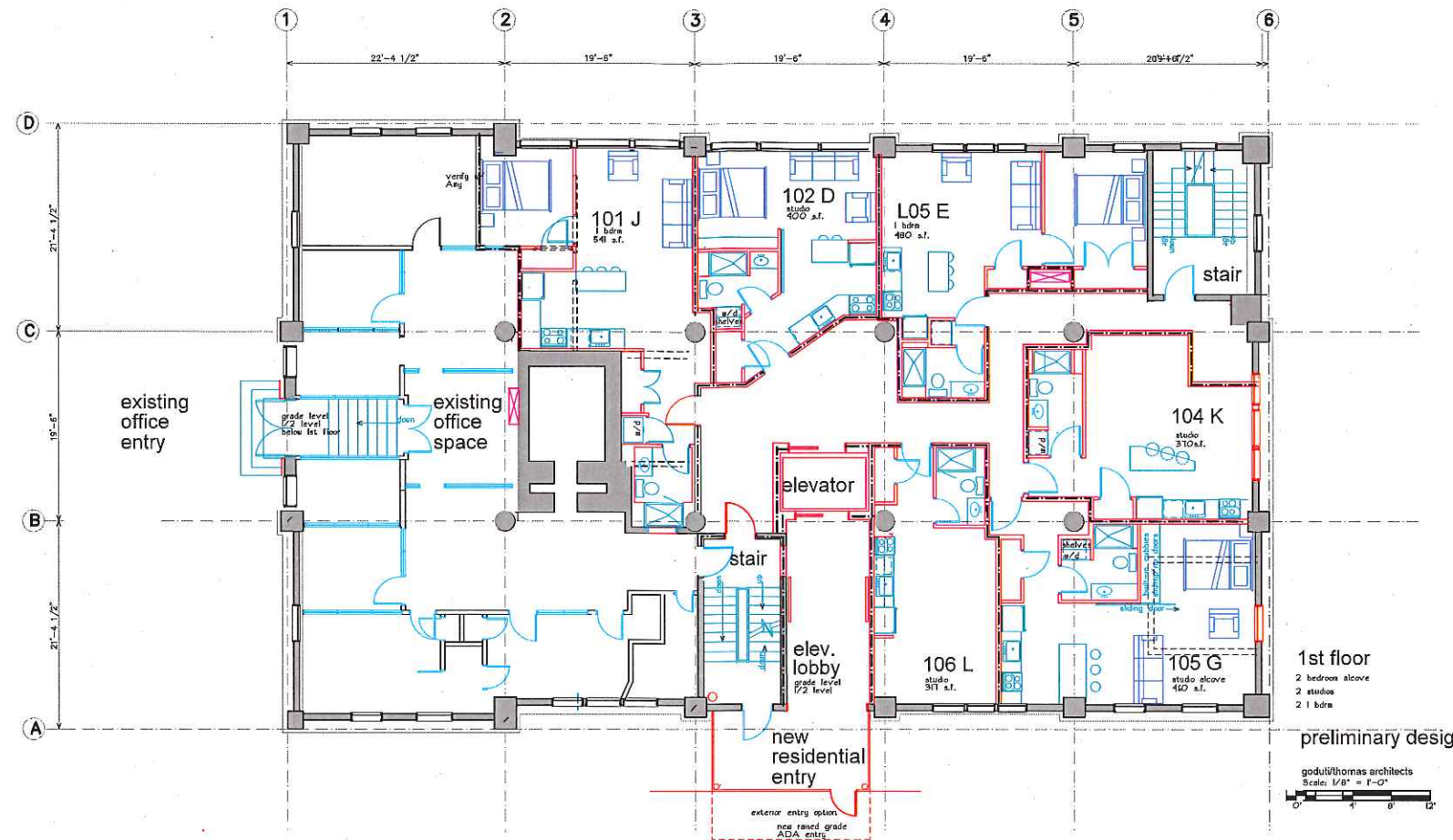


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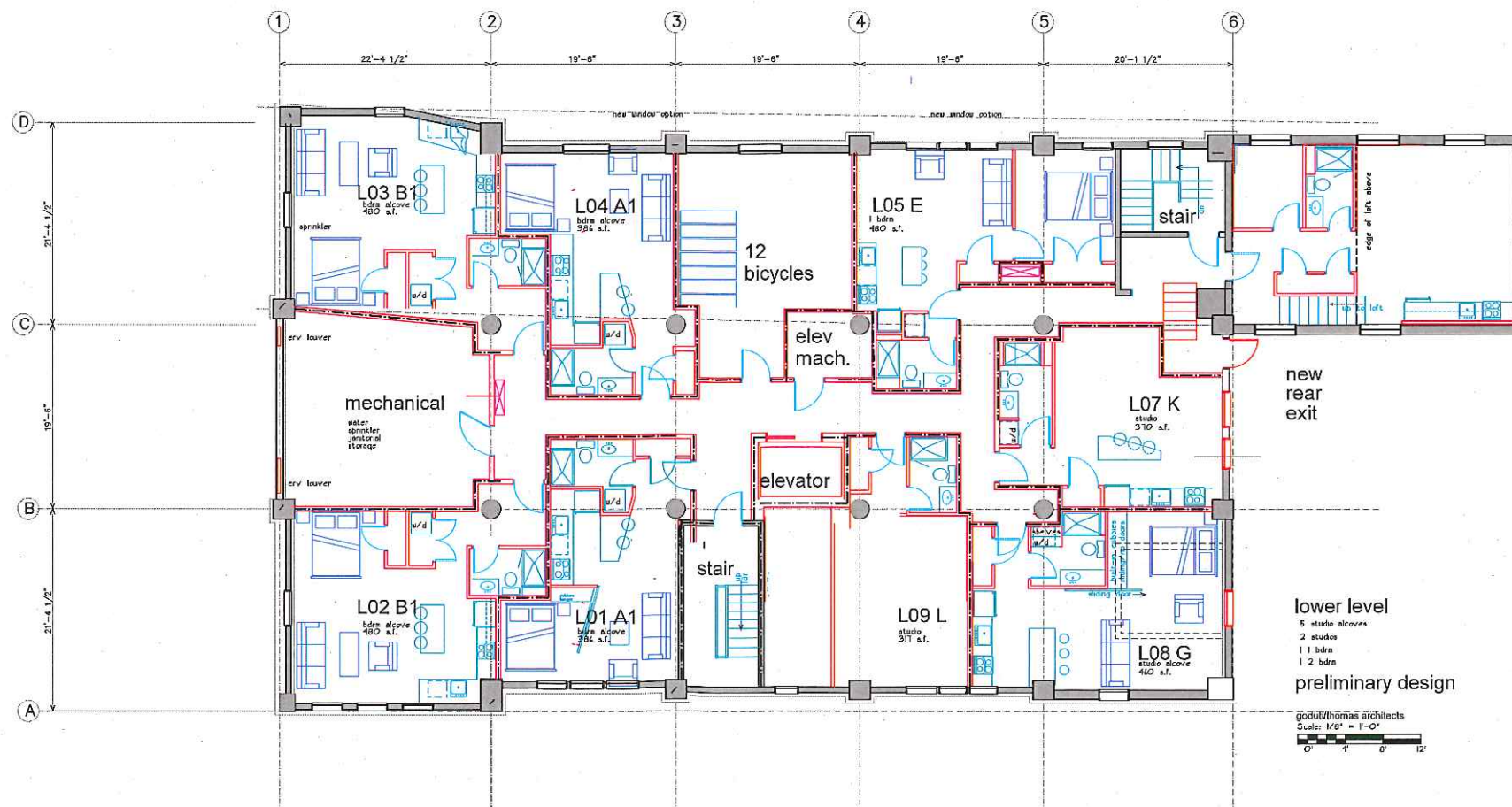
Sheet No.: **SW-2**

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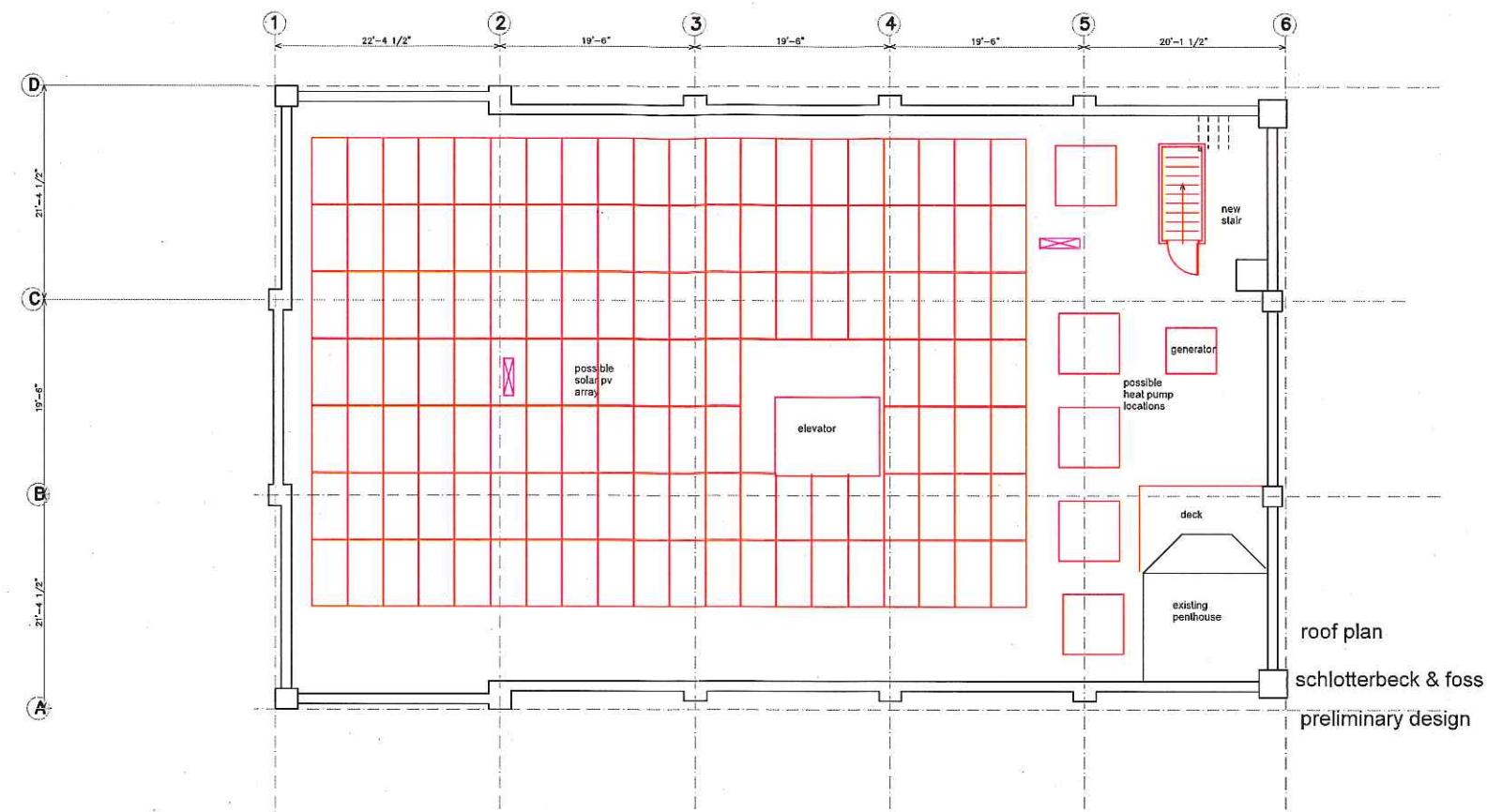


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<input type="checkbox"/>	Elm. St. Portland, Maine
<input type="checkbox"/>	goduti/thomas architects
<input type="checkbox"/>	44 oak st.
<input type="checkbox"/>	portland, maine 04101
<input type="checkbox"/>	ph. 207-775-3184
<input type="checkbox"/>	fax 207-774-0846
<input type="checkbox"/>	

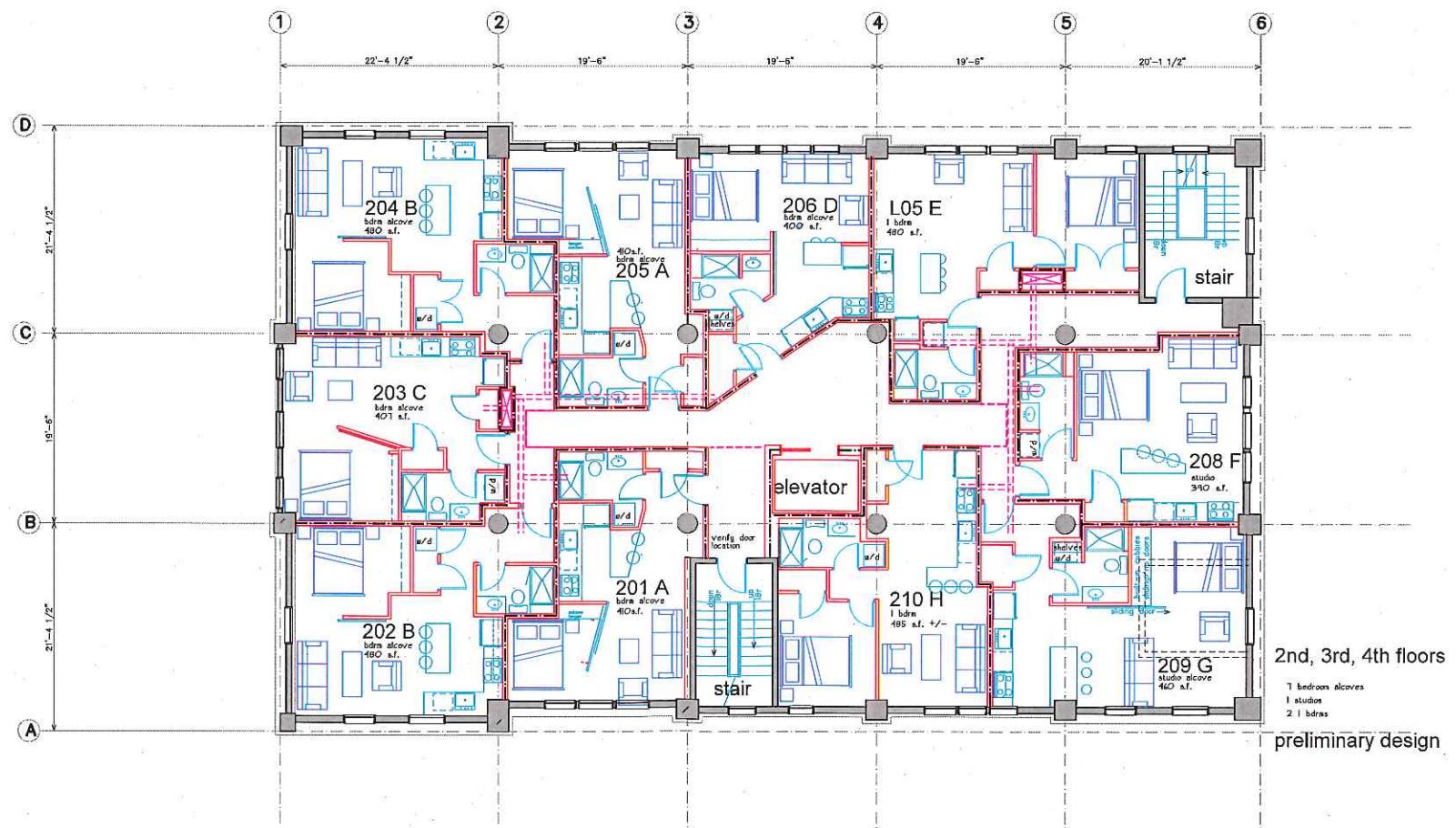


<input type="checkbox"/>	revisions
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<input type="checkbox"/>	1/8" = 1'-0"
<input type="checkbox"/>	drawn by
<input type="checkbox"/>	MS
<input type="checkbox"/>	project number
<input type="checkbox"/>	breuer
<input type="checkbox"/>	sheet number

**A1.1**



roof plan  
schlotterbeck & foss  
preliminary design



2nd, 3rd, 4th floors  
preliminary design

project name

**Schlotterbeck & Foss building**

Elm. St.  
Portland, Maine

goduti/thomas architects

44 oak st.

portland, maine 04101

ph. 207-775-3184

fax 207-774-0846

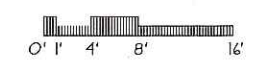
revisions

date

october 2015

sheet title

roof plan  
2nd - 5th floor plans



scale  
1/8"=1'-0"

drawn by  
MS

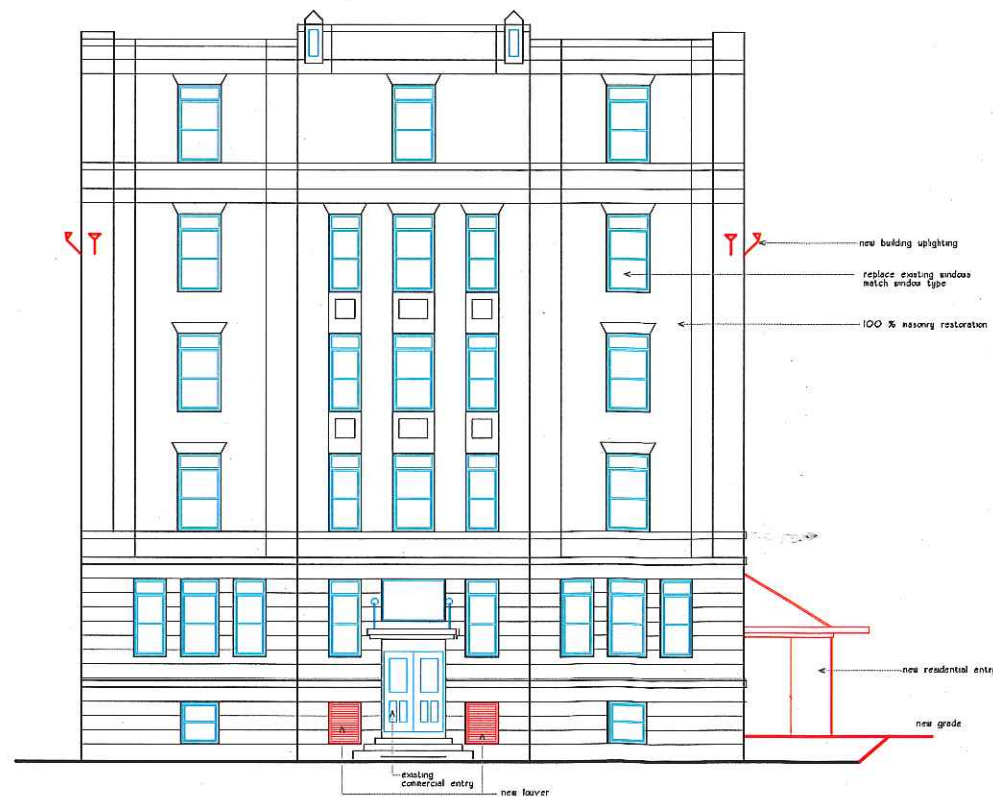
project number  
brewer

sheet number

**A1.2**



South elevation  
Residential entry



Prebble elevation  
original entry elevation

project name

**Schlotterbeck  
& Foss building**

Prebble/ Elm St.  
Portland, Maine

goduti/thomas architects

44 oak st.

portland, maine 04101

ph. 207-775-3184

fax 207-774-0846

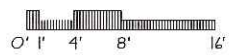
revisions

date

october 2015

sheet title

elevations



scale

1/8"=1'-0"

drawn by

MS

project number

breuer

sheet number

**A2.1**

project name

# Schlotterbeck & Foss building

Elm. St.  
Portland, Maine

goduti/thomas architects

44 oak st.

portland, maine 04101

ph. 207-775-3184

fax 207-774-0846



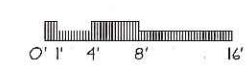
revisions

date

october 2015

sheet title

## elevations



scale

1/8"=1'-0"

drawn by

MS

project number

brewer

sheet number

**A2.2**

# The Schlotterbeck Block

117 Preble Street, Portland, Maine

REVISED: December 1, 2015: Level III Site Plan and Subdivision Plan



## PREPARED BY:

### LANDSCAPE ARCHITECT AND SITE PLANNER:

MITCHELL & ASSOCIATES  
70 CENTER STREET  
PORTLAND, MAINE 04101  
PHONE: 207.774.4427  
FAX: 207.874.2460  
CONTACT: MICHAEL W. KING, RLA  
E-MAIL: MKING@MITCHELLASSOCIATES.BIZ

### ARCHITECT:

GODUTI-THOMAS ARCHITECTS  
44 OAK STREET, #2  
PORTLAND, MAINE 04101  
PHONE: 207.775.3184  
CONTACT: RICHARD GODUTI, NCARB  
EMAIL: GTARICK@GMAIL.COM

### CIVIL ENGINEER:

RANSOM CONSULTING ENGINEERS  
400 COMMERCIAL STREET, NO.4  
PORTLAND, MAINE 04101  
PHONE: 207.772.2891  
CONTACT: STEPHEN BRADSTREET, P.E.  
E-MAIL: STEPHEN.BRADSTREET@RANSOMENV.COM

### LAND SURVEYOR

OWEN HASKELL, INC.  
380 U.S. ROUTE ONE, SUITE 10  
FALMOUTH, MAINE 04105  
PHONE: 207.774.0424  
CONTACT: JOHN SWAN, P.L.S.

### TRAFFIC ENGINEER

GORRILL-PALMER  
15 SHAKER ROAD  
GORHAM, MAINE 04038  
PHONE: 207.675.6910  
CONTACT: RANDALL DUNTON, P.E.

## UTILITIES:

### ELECTRIC:

CENTRAL MAINE POWER  
ELECTRICAL DISTRIBUTION ENGINEERING  
162 CANCO ROAD  
PORTLAND, MAINE 04103  
PHONE: 207.842.2367  
CONTACT: JAMIE COUGH  
E-MAIL: JAMES.COUGH@CMPCO.COM

### WATER:

PORTLAND WATER DISTRICT  
225 DOUGLASS STREET  
P.O. BOX 3553  
PORTLAND, MAINE 04104-3553  
PHONE: 207.774.5951 x.3199  
FAX: 207.761.8307  
CONTACT: GLISSEN HAVU  
E-MAIL: MEANS@PWD.ORG

### SANITARY SEWER:

CITY OF PORTLAND  
PUBLIC SERVICES DEPARTMENT  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
PHONE: 207.874.8832  
FAX: 207.874.8816  
CONTACT: DAVID MARGOLIS-PINED  
E-MAIL: DMP@PORTLANDMAINE.GOV

### CABLE:

TIME WARNER CABLE OF MAINE  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
PHONE: 207.253.2324  
CONTACT: MARK PELLETIER, CONSTRUCTION PROJECT COORDINATOR  
E-MAIL: MARK.PELLETIER@TWCABLE.COM

### NATURAL GAS:

UNITIL SERVICE CORPORATION  
1075 FOREST AVENUE  
PORTLAND, MAINE 04103  
PHONE: 207.541.2505  
CONTACT: BRIDGET MATHERS

## OWNER AND APPLICANT

SCHLOTTERBECK BLOCK LLC  
77 SPRUCE STREET  
PORTLAND, MAINE 04101  
PHONE: 207.650.8979

## PERMITS:

### TYPE OF PERMIT:

SITE PLAN REVIEW

### GOVERNING BODY:

CITY OF PORTLAND  
389 CONGRESS STREET  
4TH FLOOR  
PORTLAND, MAINE 04101  
TEL: 207.874.8729  
CONTACT: RICHARD KNOWLAND  
E-MAIL: RWK@PORTLANDMAINE.GOV

### STATUS:

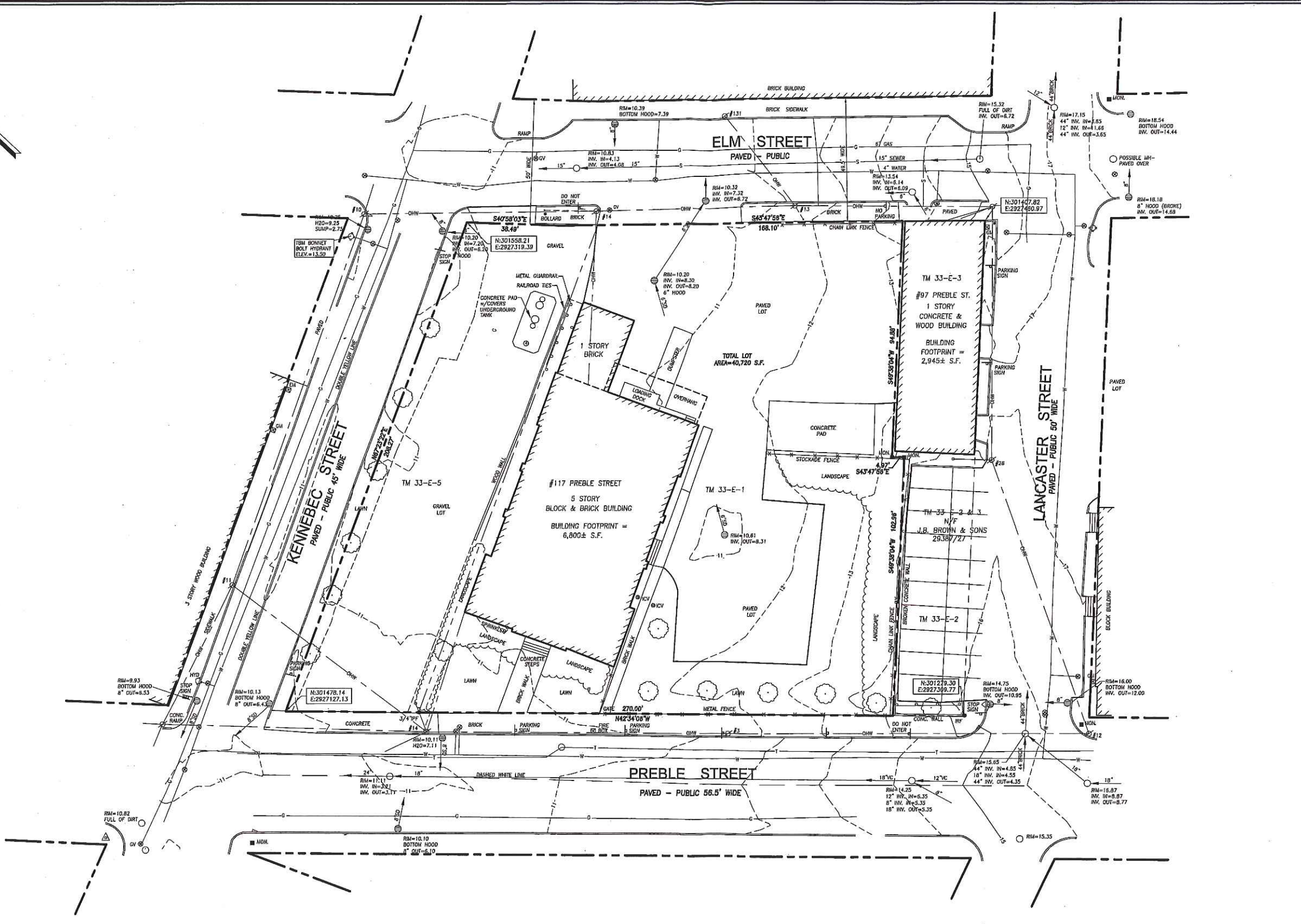
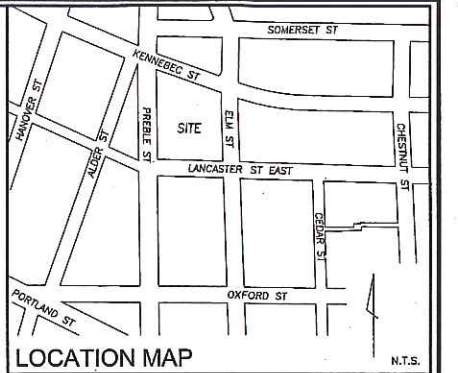
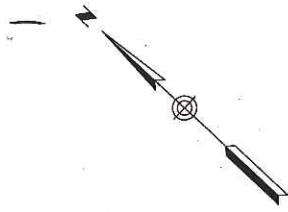
SUBMITTED: OCTOBER 5, 2015

## SITE LOCATION MAP:



## SHEET INDEX:

SHEET	TITLE
1	COVER PAGE
1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY SUBDIVISION PLAT
L1.0	EXISTING CONDITIONS PLAN
L1.1	CONSTRUCTION MANAGEMENT PLAN
L2.0	LAYOUT PLAN
L2.1	DETAIL SITE PLANS: SIDEWALK RAMPS
L3.0	GRADING, DRAINAGE AND UTILITIES PLAN
L4.0	EROSION AND SEDIMENT CONTROL PLAN
L5.0	PLANTING PLAN
L6.0	SITE DETAILS
L6.1	SITE DETAILS
L6.2	SITE DETAILS
L6.3	SITE DETAILS
L7.0	LIGHTING PHOTOMETRICS PLAN
L7.1	LIGHTING PHOTOMETRICS PLAN: WITHOUT STREET LIGHTS
SW-1	PRE-DEVELOPMENT STORMWATER DRAINAGE PLAN (TO BE SUBMITTED WITH STORMWATER REPORT)
SW-2	POST-DEVELOPMENT STORMWATER DRAINAGE PLAN (TO BE SUBMITTED WITH STORMWATER REPORT)
A1.1	FIRST FLOOR PLAN AND LOWER FLOOR PLAN
A1.2	2nd - 3th FLOOR PLANS
A1.3	4th - 5th FLOOR PLANS
A1.4	ROOF PLAN
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
A2.3	MASONRY REPAIRS ELEVATIONS
A2.4	MASONRY REPAIRS ELEVATIONS



- LEGEND**
- IRON PIPE OR ROD FOUND
  - MONUMENT FOUND
  - UTILITY POLE
  - MANHOLE
  - ⊕ EM/GM ELECTRIC/GAS METER
  - ⊕ SIGN
  - ⊕ CATCH BASIN
  - ⊕ HYDRANT
  - ⊕ WATER VALVE OR SHUTOFF
  - ⊕ LIGHT POLE
  - ⊕ DECIDUOUS TREE
  - ⊕ CONIFEROUS TREE
  - FENCE
  - CURB
  - OHW OVERHEAD WIRES
  - W WATER LINE
  - G GAS LINE
  - T TELEPHONE
  - SD STORM DRAIN
  - S SANITARY SEWER
  - 1' CONTOUR

**UTILITY NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

**PLAN REFERENCES**

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- ALTA/ACSM LAND TITLE SURVEY ON PREBLE STREET, LANCASTER STREET EAST, ELM STREET & OXFORD STREET, PORTLAND, MAINE MADE FOR BAYSIDE I, LLC JAN. 26, 2000 BY OWEN HASKELL, INC. RECORDED IN PLAN BOOK 200 PAGE 40.

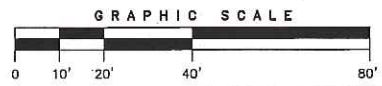
**GENERAL NOTES**

- OWNER OF RECORD: J.B. BROWN & SONS  
TAX MAP 33-E-1 & 5  
C.C.R.D. BOOK 26354 PAGE 312 & 314
- BEARINGS ARE BASED ON MAINE STATE PLAN COORDINATE SYSTEM MAINE WEST NAD 83, BASED ON CITY POINT 55 N:301742.42 E: 2927203.68 AND POINT 59 N:301442.06 E:2927035.61 FROM PLAN REFERENCE 1.
- ELEVATIONS BASED ON NGVD 1929. CITY BENCHMARK TBM 307 PLAN REFERENCE 1. MDOT DISK "612-(1)-10 1983" IN CONCRETE BASE OF LIGHT POLE AT NORTHEAST CORNER ELM/SOMERSET ELEV. = 9.02.

**CERTIFICATE**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE, WITH THE EXCEPTION OF MARKERS NOT SET AT ALL CORNERS.

9/29/15  
DATE  
JOHN W. SWAN, PLS NO. 1038



REV. 1 9-28-15 REVISE LOT AREA

**BOUNDARY & TOPOGRAPHIC SURVEY**  
AT  
117 PREBLE STREET, PORTLAND, MAINE  
MADE FOR  
**MITCHELL & ASSOCIATES**  
70 CENTER STREET, PORTLAND, MAINE

**OWEN HASKELL, INC.**  
300 U.S. ROUTE ONE, PALMOUTH, ME 04105 (207) 774-0424  
PROFESSIONAL LAND SURVEYORS

Drawn By	RS	Date	Job No.
Trace By	JLW	JULY 7, 2015	2015-109 P
Check By	JWS	Scale	Drwg. No.
Book No.	1134	1" = 20'	1

**GENERAL NOTES**

- SITE AREA: 40,720 S.F. OR 0.93 ACRE
- APPLICANT: SCHLOTTERBECK BLOCK, LLC  
77 SPRUCE STREET  
PORTLAND, MAINE 04101
- RECORD OWNER: J.B. BROWN & SONS  
482 CONGRESS STREET  
P.O. BOX 207  
PORTLAND, MAINE 04112
- LOT DATA: TAX MAP 33, BLOCK E, LOT 1  
C.C.R.D BOOK 26354, PAGE 312  
AREA: 30,492 S.F.  
  
TAX MAP 33, BLOCK E, LOT 5  
C.C.R.D BOOK 26354, PAGE 314  
AREA: 10,314 S.F.
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1 AND 5, BLOCK E, ON THE CITY OF PORTLAND'S ASSESSORS MAP 33.
- A PORTION OF THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 N.G.V.D. 1929. HOWEVER, THE TOPOGRAPHICAL SURVEY OF THE PARCEL SHOWS THE LOT ABOVE THE ELEVATION OF 10 N.G.V.D. (1929).
- UTILITIES SHOWN ARE BASED ON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHICAL SURVEY OF 117 PREBLE STREET", PERFORMED BY OWEN HASKELL, INC., DATED JULY 7, 2015.
- ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
- SPACE AND BULK STANDARDS:

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	40,720 S.F.
MINIMUM FRONTAGE:	NONE	242 FEET
FRONT SETBACK:	NONE REQUIRED	18 FEET
SIDE SETBACK:	NONE REQUIRED	5 FEET
REAR SETBACK:	NONE REQUIRED	31 FEET
MAX. STREET SETBACK:	10 FEET	18 FEET (EXISTING)
MAX. BUILDING LOT COVERAGE:	100 PERCENT	68 PERCENT
MAX. BUILDING HEIGHT:	105 FEET	N/A
MIN. BUILDING HEIGHT:	45 FEET	N/A
- BICYCLE PARKING:

REQUIRED:	24 SPACES
PROPOSED:	24 SPACES
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.

**PLAN REFERENCES**

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**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE		
IRON PIPE OR ROD FOUND		
MONUMENT FOUND		
UTILITY POLE		
MANHOLE		
ELECTRIC/GAS METER		
SIGN		
CATCH BASIN		
HYDRANT		
WATER VALVE		
LIGHT POLE		
FENCE		
GRANITE CURB		
SLIPFORM CONCRETE CURB		
OVERHEAD WIRES		
WATER LINE		
GAS LINE		
TELEPHONE		
STORM DRAIN		
SANITARY SEWER		
EASEMENT AREA		

**Approved: Portland Planning Board**

Date: \_\_\_\_\_

Chair, \_\_\_\_\_

Board Members, \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

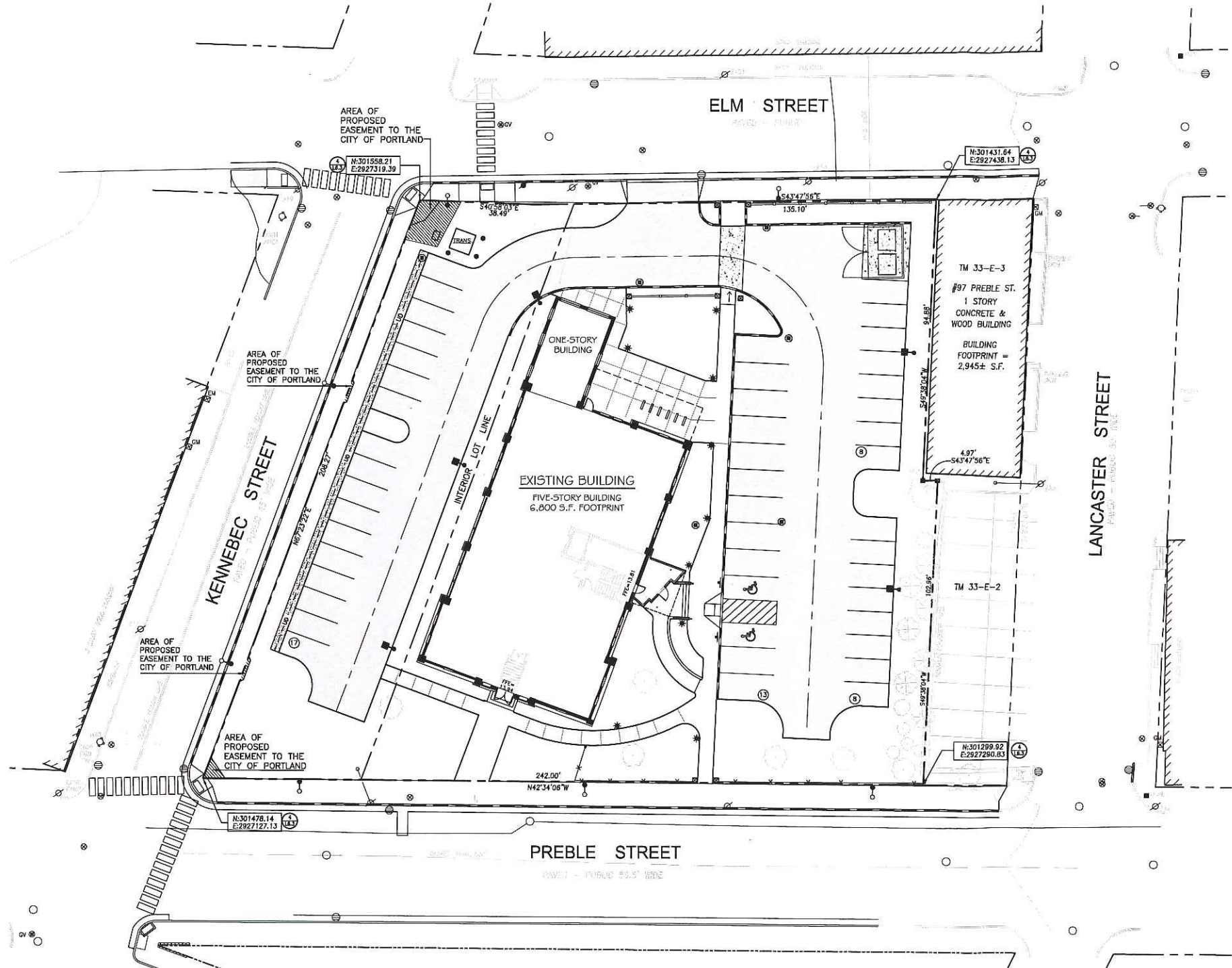
\_\_\_\_\_

**CERTIFICATION:**  
Owen Haskell, Inc. hereby certifies that this Plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information and belief, it conforms to the Board of Licensure for Professional Land Surveyors current standards of practice.

**LEVEL III SITE PLAN CONDITIONS OF APPROVAL:**  
The Planning Board voted \_\_\_\_\_ that the plan is in conformance with the site plan standards and all other applicable provisions of the land use code, subject to the following conditions:  
1. The proposed specifications for the mechanical equipment shall be reviewed and approved by the Planning Authority and Acting Zoning Administrator prior to the issuance of a building permit.

**SUBDIVISION PLAT CONDITIONS OF APPROVAL:**  
The Planning Board voted \_\_\_\_\_ that the plan is in conformance with the subdivision standards of the land use code, subject to the following conditions:  
1. The final sidewalk easements to provide public access shall be reviewed and approved by Corporation Counsel prior to the issuance of certificate of occupancy.  
2. The recording plat shall be revised noting all waivers and conditions for review and approval by the Planning Authority prior to recording. All waivers shall be recorded within 90 days of the Planning Board approval.

**WAIVERS**  
On the basis of the application plans, reports and other information submitted by the applicant, findings, recommendations, contained in the Planning Board Report for The Schlotterbeck Block site plan and subdivision, including but not limited to Section VIII Technical Waivers, of the report and the staff reviews relevant to Portland's Technical and Design Standards and other regulations, as well as the Planning Board deliberations and the testimony presented at the Planning Board hearing, the Planning Board finds the following:  
**1. Street Trees**  
The Planning Board finds that the applicant has demonstrated that due to site constraints preventing the planting of required street trees in the right of way, the requirements of Section 14-526(2)(b)(ii) of the Site Plan Ordinance cannot be met; and the Board finds that the applicant has satisfied the waiver criteria set out in Section 14-526(2)(b)(iii)(b) with the monetary contribution to the City's tree fund of \$200 per tree for \_\_\_\_\_ trees for a total of \$5,200. The Planning Board therefore voted \_\_\_\_\_ to waive Section 14-526 (b)(2)(b)(ii) Street Trees of the Site Plan Ordinance.  
**2. Aisle Width**  
The Planning Board finds that the applicant has demonstrated that extraordinary conditions unique to this property exist that limit the ability to meet the aisle width standard of 24 feet and Mr. Erico has found that the proposed aisle widths provide safe on-site circulation; and the Board finds that the public interest and purposes of the land development plan are secured. The Planning Board therefore voted \_\_\_\_\_ to waive Technical Manual 1.7.2.3. Minimum driveway width (two-way) to allow a 20 foot aisle width along Arbor Street and 20 feet along Forest Avenue.



Prepared For:  
Owner and Applicant:  
SCHLOTTERBECK BLOCK L.L.C.  
77 Spruce Street  
Portland, Maine 04101  
Tel.: 207-650-8979

Prepared By:  
MITCHELL & ASSOCIATES  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel.: 207-774-4427

RANSOM CONSULTING ENGINEERS  
400 Commercial Street # 4  
Portland, Maine 04101  
Phone: 207-772-2891

GODUTI-THOMAS ARCHITECTS  
44 Oak Street # 2  
Portland, Maine 04101  
Phone: 207-775-3184

**The Schlotterbeck Block**  
Portland, Maine  
117 Preble Street

Date: OCTOBER 5, 2015

Issued For:

Revisions:  
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS

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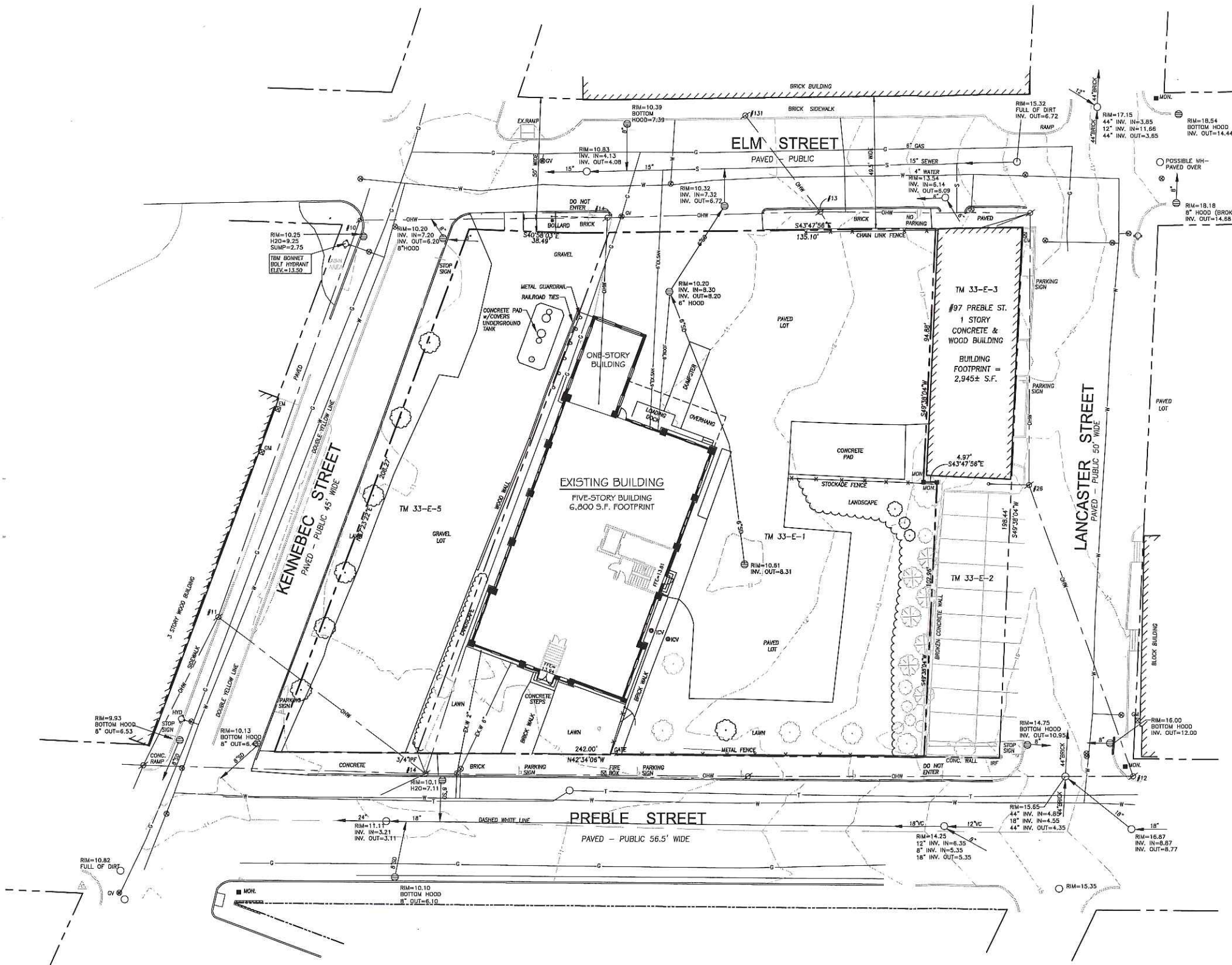
Title:  
SUBDIVISION PLAN

Scale: 1" = 20'

North:

Sheet No.:  
**1 of 1**

I:\Projects\2015\2015-05-12\17 Preble Street.dwg mlls 12/02/15 12:05 PM



GENERAL NOTES

1. SITE AREA: 40,806 S.F. OR 0.93 ACRE
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77 SPRUCE STREET  
PORTLAND, MAINE 04101
3. RECORD OWNER: J.B. BROWN & SONS  
462 CONGRESS STREET  
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# The Schlotterbeck Block

Portland, Maine

117 Preble Street

Date:	OCTOBER 5, 2015
Issued For:	
Revisions:	DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS
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Title:	EXISTING CONDITION PLAN

Scale: 1" = 20'

North:

Sheet No.: **L1.0**

LEGEND

PROPERTY LINE	
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MANHOLE	
ELECTRIC/GAS METER	
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 Owner and Applicant:  
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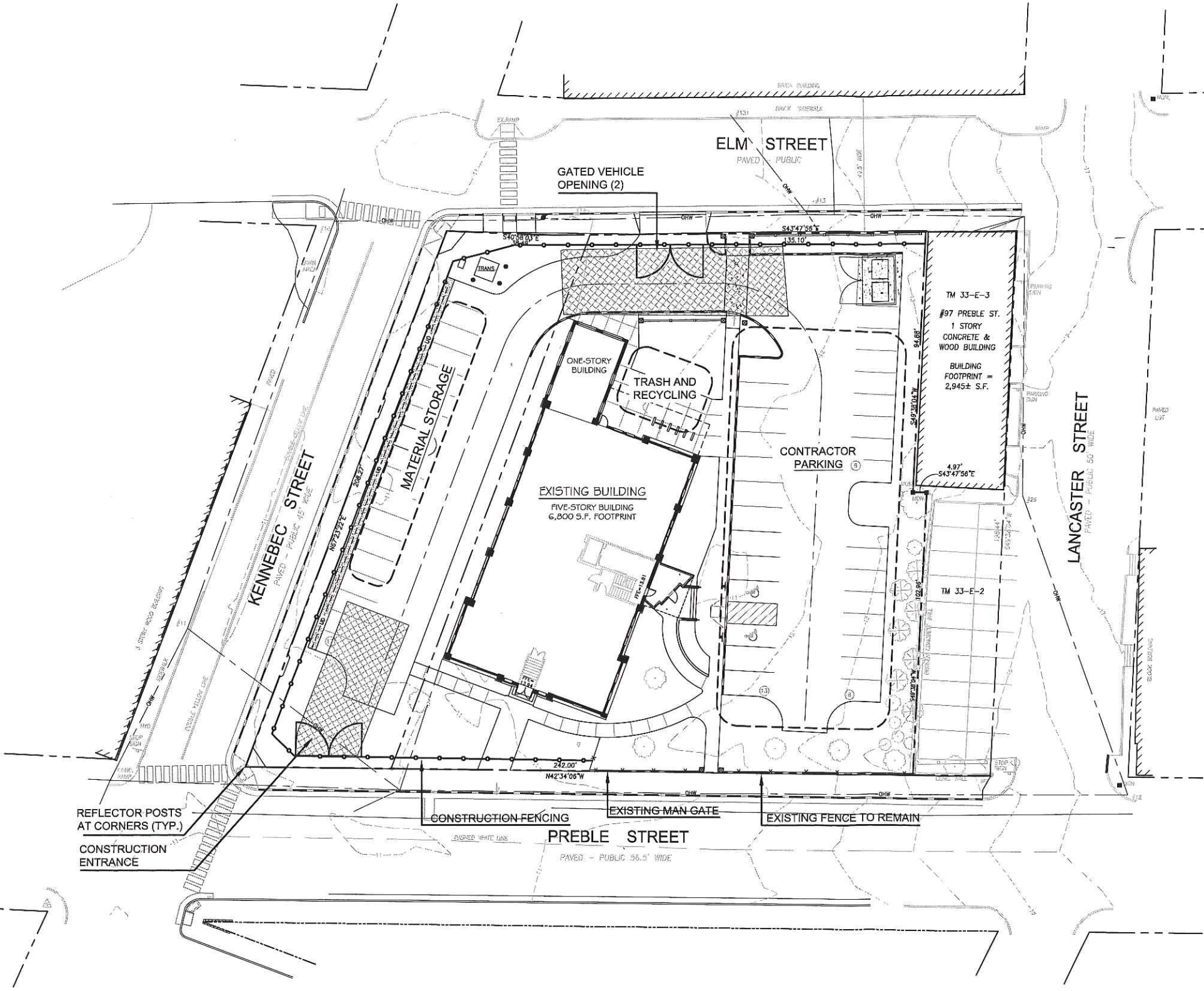
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# The Schlotterbeck Block

Portland, Maine

117 Preble Street

- 1. CONSTRUCTION MANAGEMENT PLAN NOTES**
2. THE SITE CAN ACCOMMODATE A TOTAL OF 30 (THIRTY) CONTRACTOR AND SUB-CONTRACTOR VEHICLES. THE OWNER AND CONTRACTOR WILL NOT PROVIDE PARKING BEYOND THESE 30 PARKING SPACES. IF PARKING DEMAND EXCEEDS THESE 30 SPACES, IT WILL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO UTILIZE LEGAL CITY OF PORTLAND PARKING SPACES IN THE VICINITY OF THE PROJECT.
  3. THE CONTRACTOR ANTICIPATES MAINTAINING THE ACCESSIBILITY OF THE ELM STREET AND PREBLE STREET SIDE WALKS UNTIL SIDEWALK RE-CONSTRUCTION OF THESE SIDEWALKS OCCURS.
  4. HOURS OF CONSTRUCTION: 6:30 AM -- 5:00 PM, MONDAY THROUGH FRIDAY.
  5. SITE WILL HAVE SECURITY LIGHTING AT NIGHT.
  6. STREETS MUST MAINTAIN A 20' WIDTH FOR FIRE DEPARTMENT ACCESS AT ALL TIMES.
  7. FIRE HYDRANTS SHALL NOT BE BLOCKED OR ENCLOSED BY FENCING. A 3' FOOT CLEARANCE MUST BE KEPT AT ALL TIMES AROUND THE FIRE HYDRANT.
  8. IF GATES ARE LOCKED, A PORTLAND FIRE DEPARTMENT KNOX PADLOCK MUST BE PURCHASED BY THE APPLICANT TO ALLOW ACCESS FOR THE FIRE DEPARTMENT.
  9. THE CONSTRUCTION COMPANY'S EMERGENCY CONTACT INFORMATION SHALL BE POSTED ON THE PROPERTY IN CASE OF AN AFTER HOURS EMERGENCY.
  10. ALL CONSTRUCTION SHALL COMPLY WITH 2009 NFPA 1 CHAPTER 16 SAFEGUARDS DURING BUILDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS.
  11. ANY CUTTING AND WELDING DONE WILL REQUIRE A HOT WORK PERMIT FROM FIRE DEPARTMENT.



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	⊙	⊙
MONUMENT FOUND	⊞	⊞
UTILITY POLE	⊙	⊙
MANHOLE	⊙	⊙
ELECTRIC/GAS METER	⊞ EM/GM	⊞
SIGN	⊞	⊞
CATCH BASIN	⊞	⊞
HYDRANT	⊞	⊞
WATER VALVE	⊞	⊞
LIGHT POLE	⊞	⊞
FENCE	--- X ---	---
GRANITE CURB	---	---
OVERHEAD WIRES	--- OHW ---	---
WATER LINE	--- W ---	---
GAS LINE	--- G ---	---
TELEPHONE	--- T ---	---
STORM DRAIN	--- SD ---	---
SANITARY SEWER	--- S ---	---
1' CONTOUR	--- 1' ---	---
BRICK PAVERS	---	---
CONCRETE PAVERS	---	---
GRANITE PILLAR	---	---

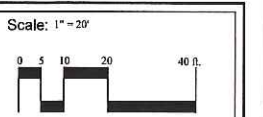
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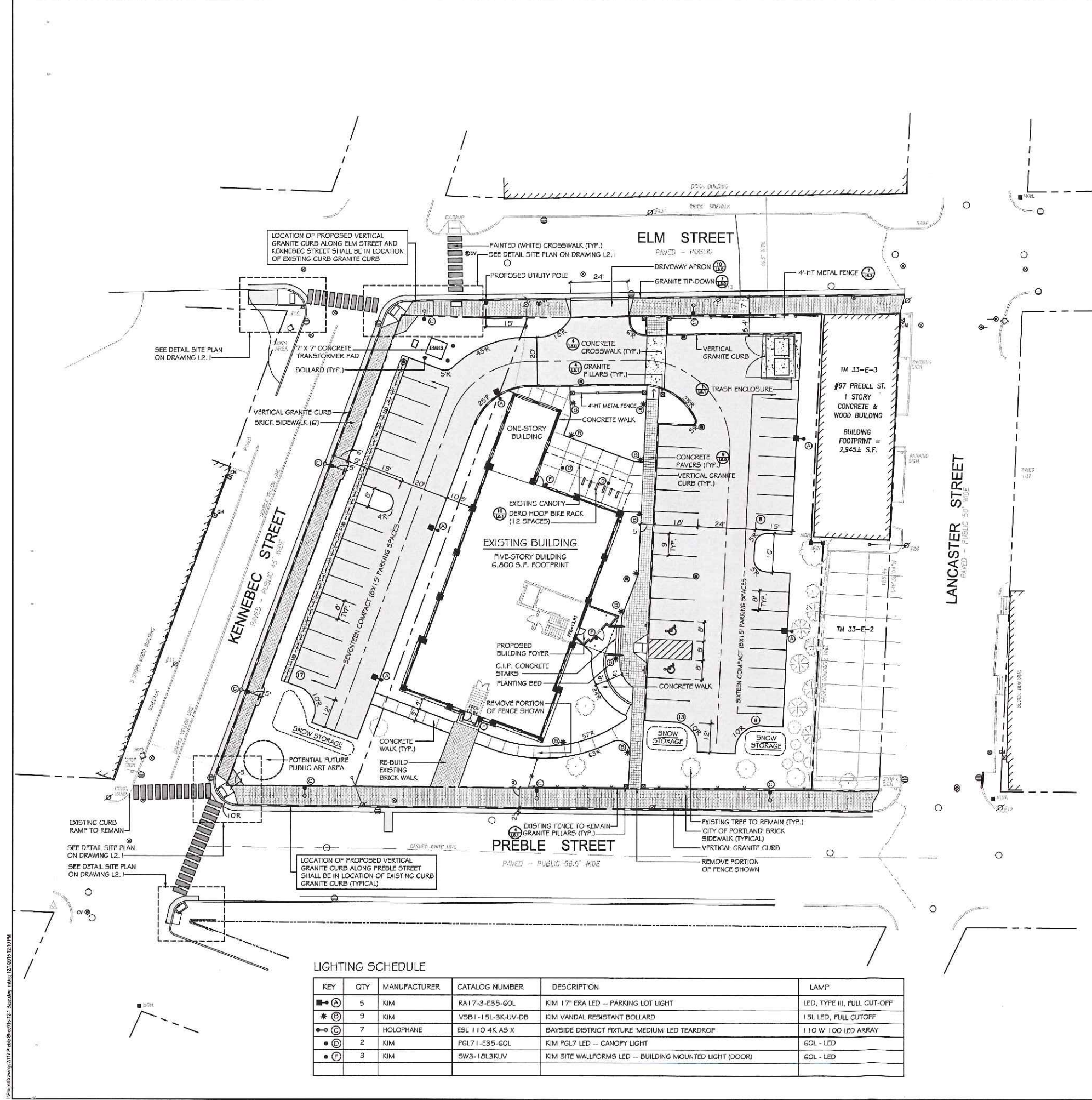
Title: CONSTRUCTION MANAGEMENT PLAN



North:

Sheet No.: **L1.1**





**GENERAL NOTES**

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C.C.R.D BOOK 26354, PAGE 314  
AREA: 10,314 S.F.
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1 AND 5, BLOCK E, ON THE CITY OF PORTLAND'S ASSESSORS MAP 33.
- A PORTION OF THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 N.G.V.D. 1929. HOWEVER, THE TOPOGRAPHICAL SURVEY OF THE PARCEL SHOWS THE LOT ABOVE THE ELEVATION OF 10 N.G.V.D. (1929).
- UTILITIES SHOWN ARE BASED ON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 117 PREBLE STREET", PERFORMED BY OWEN HASKELL, INC., DATED JULY 7, 2015.
- ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
- SPACE AND BULK STANDARDS:
 

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	40,720 S.F.
MINIMUM FRONTAGE:	NONE	242 FEET
FRONT SETBACK:	NONE REQUIRED	18 FEET
SIDE SETBACK:	NONE REQUIRED	5 FEET
REAR SETBACK:	NONE REQUIRED	31 FEET
MAX. STREET SETBACK:	10 FEET	18 FEET (EXISTING)
MAX. BUILDING LOT COVERAGE:	100 PERCENT	68 PERCENT
MAX. BUILDING HEIGHT:	105 FEET	N/A
MIN. BUILDING HEIGHT:	45 FEET	N/A
- BICYCLE PARKING:
 

REQUIRED:	24 SPACES (22 RESIDENTIAL, 2 COMMERCIAL)
PROPOSED:	24 SPACES (12 EXTERIOR, 12 INTERIOR)
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- PARKING SUMMARY:
 

PARKING REQUIRED PER PARKING ANALYSIS:	50 SPACES
PROPOSED PARKING:	46 SPACES
PROPOSED COMPACT (8' X 15'):	33 SPACES (72%)
REQUIRED A.D.A. ACCESSIBLE SPACES:	2 SPACES
PROPOSED A.D.A. ACCESSIBLE SPACES:	2 SPACES

Prepared For:  
Owner and Applicant:  
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# The Schlotterbeck Block

Portland, Maine

117 Preble Street

Date: OCTOBER 5, 2015

Issued For:

Revisions:  
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS

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Title: LAYOUT AND LIGHTING PLAN

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	○	○
MONUMENT FOUND	■	■
UTILITY POLE	⊗	⊗
MANHOLE	○	○
ELECTRIC/GAS METER	⊗ EM/GM	⊗
SIGN	—	—
CATCH BASIN	⊗	⊗
HYDRANT	⊗	⊗
WATER VALVE	⊗	⊗
LIGHT POLE	⊗	⊗
FENCE	—	—
GRANITE CURB	—	—
OVERHEAD WIRES	— OHW	—
WATER LINE	— W	—
GAS LINE	— G	—
TELEPHONE	— T	—
STORM DRAIN	— SD	—
SANITARY SEWER	— S	—
1' CONTOUR	— 10	—
BRICK PAVERS	—	—
CONCRETE PAVERS	—	—
GRANITE PILLAR	—	—

**LIGHTING SCHEDULE**

KEY	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
⊗	5	KIM	RA17-3-E35-60L	KIM 17" ERA LED -- PARKING LOT LIGHT	LED, TYPE III, FULL CUT-OFF
⊗	9	KIM	VSB1-15L-3K-UV-DB	KIM VANDAL RESISTANT BOLLARD	15L LED, FULL CUTOFF
⊗	7	HOLOPHANE	ESL 110 4K AS X	BAYSIDE DISTRICT FIXTURE MEDIUM LED TEARDROP	110 W 100 LED ARRAY
⊗	2	KIM	PGL71-E35-60L	KIM PGL7 LED -- CANOPY LIGHT	GOL - LED
⊗	3	KIM	SW3-18L3KUV	KIM SITE WALLFORMS LED -- BUILDING MOUNTED LIGHT (DOOR)	GOL - LED

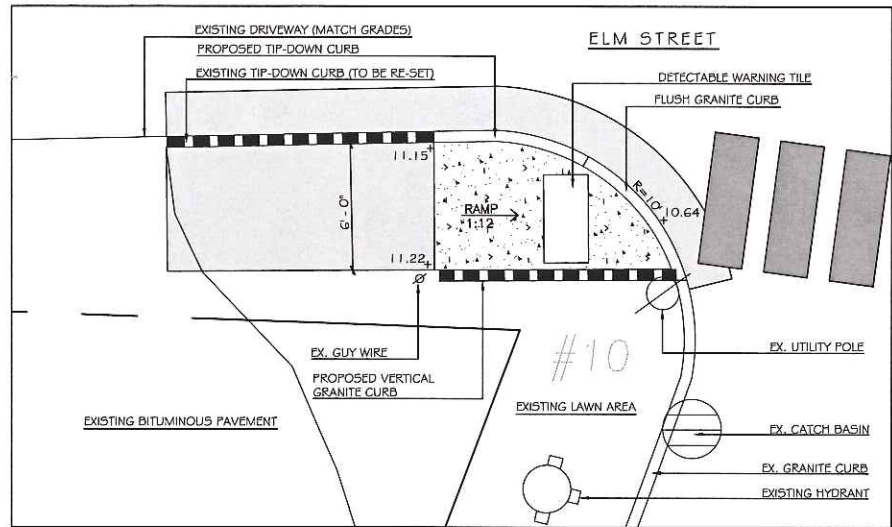


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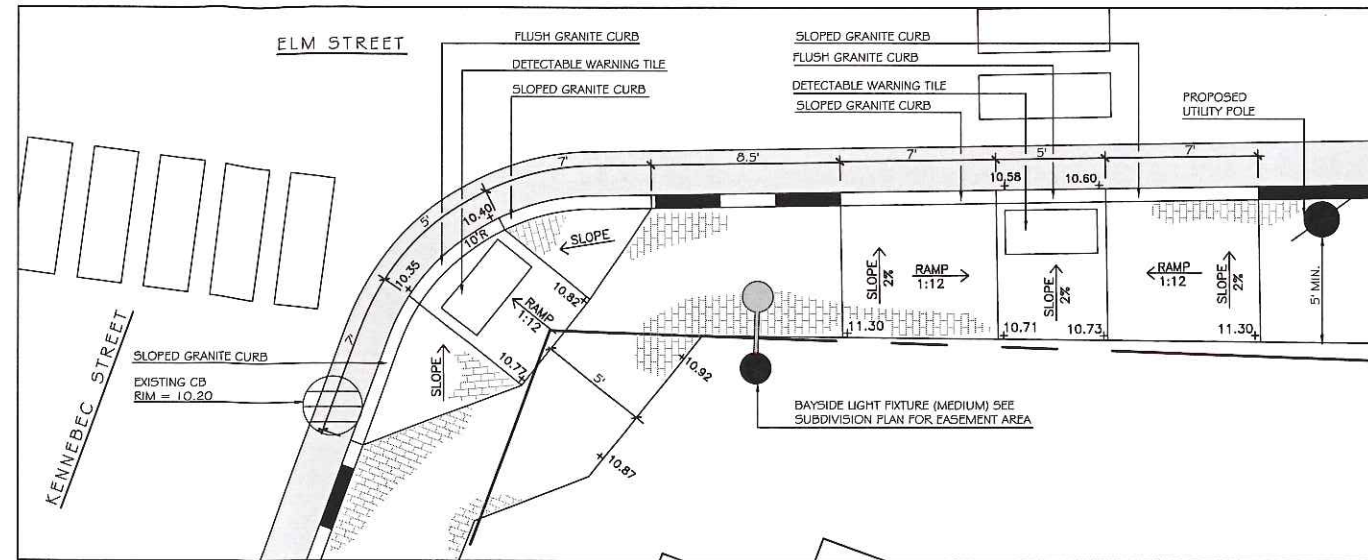
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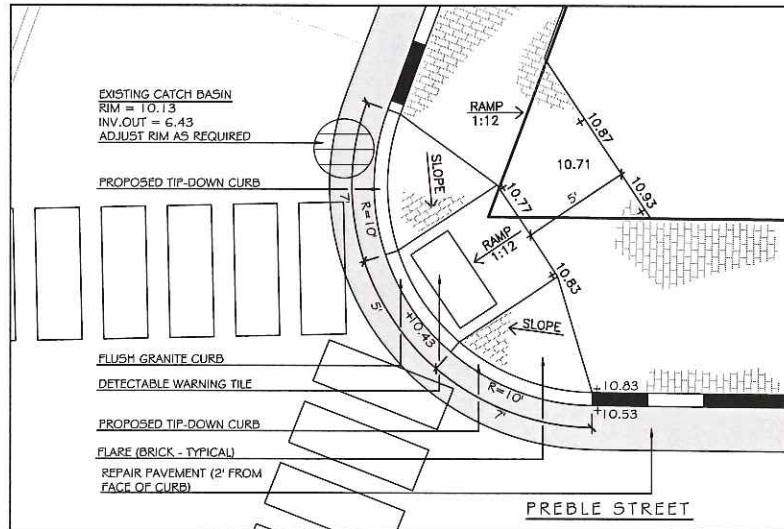
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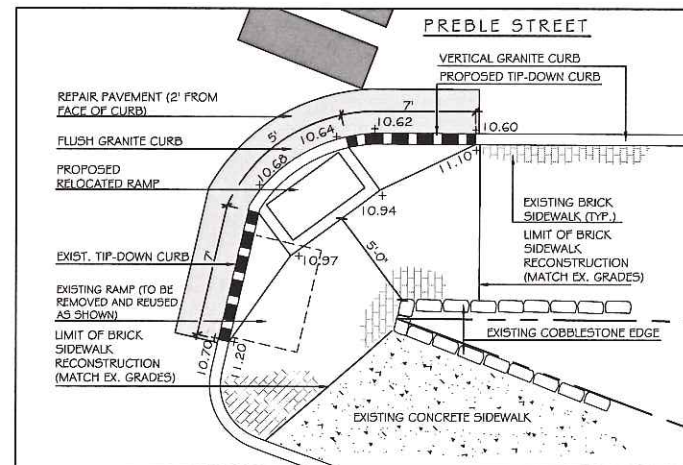
1  
L2.1  
NOT TO SCALE  
SIDEWALK RAMP: KENNEBEC STREET AND ELM



2  
L2.1  
SIDEWALK RAMP: KENNEBEC STREET AND ELM

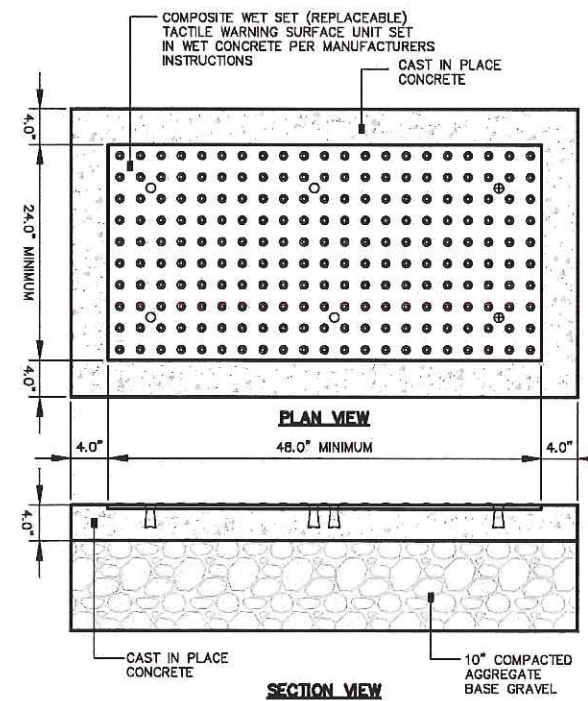


2  
L2.1  
SCALE: 1" = 4'  
SIDEWALK RAMP: KENNEBEC STREET AND PREBLE STREET (NORTH)



3  
L2.1  
SCALE: 1" = 4'  
SIDEWALK RAMP: KENNEBEC STREET AND PREBLE STREET (SOUTH)

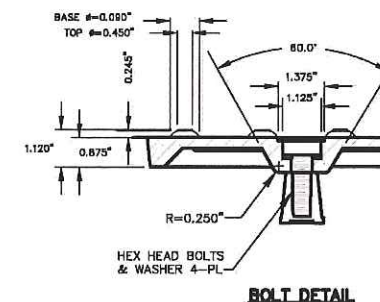
NOTE: CONTRACTOR SHALL COORDINATE WITH CITY OF PORTLAND AND OWNER'S REPRESENTATIVE BEFORE CONSTRUCTING CURB CUTS.



SIDEWALK RAMP DETECTABLE WARNING TILE  
NOT TO SCALE

NOTES:

1. COMPOSITE WET SET (REPLACEABLE) TACTILE WARNING SURFACE UNITS SHALL BE AS MANUFACTURED BY ADA SOLUTIONS, INC. (WWW.ADATILE.COM), OR APPROVED EQUAL.
2. CAST IN PLACE CONCRETE SHALL MEET SPECIFICATIONS FOR MDOT CLASS A STRUCTURAL CONCRETE, MINIMUM COMPRESSIVE STRENGTH 4,000 PSI. THE CONCRETE SHALL BE SEALED PRIOR TO SETTING PANELS. THE EXPOSED CONCRETE BORDER SHALL RECEIVE A GROOVED EDGE BETWEEN THE TILE AND CONCRETE, ALONG WITH A UNIFORM BROOM FINISH PERPENDICULAR TO THE FLOW OF PEDESTRIAN TRAFFIC.
3. TRUNCATED DOMES SHALL BE ALIGNED IN ROWS, PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. TRUNCATED DOME BRICKS AND GRANITE PAVERS ARE NOT ALLOWED.
4. FOR ALL SIDEWALK RAMPS MADE OF CONCRETE OR ASPHALT, FEDERAL YELLOW COLORED (#33538) TILES SHALL BE USED. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.
5. FOR ALL SIDEWALK RAMPS MADE OF BRICK, SEATTLE YELLOW (#23594) COATED COLORED TILES SHALL BE USED.



BOLT DETAIL



1  
L2.1  
NOT TO SCALE  
SIDEWALK RAMP DETECTABLE WARNING TILE

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Title: DETAIL SITE PLANS: SIDEWALK RAMPS

Scale: AS SHOWN

North:

Sheet No.: L2.1

**DRAINAGE STRUCTURE SCHEDULE**

ALL CATCH BASIN PRECAST CONCRETE STRUCTURES SHALL BE 4'-0" DIAMETER (INSIDE).

CB#1  
RIM: 10.75  
INV. OUT (8"): 8.07

CB#2  
RIM: 11.10  
INV. IN (8"): 7.94  
INV. OUT (12"): 7.84

CB#3  
RIM: 10.80  
INV. IN (12"): 7.54  
INV. OUT (12"): 7.44

CB#4  
RIM: 10.40  
INV. IN (12"): 7.26  
INV. OUT (12"): 7.16

CB#5  
RIM: 10.35  
INV. IN (EX. RD): V.I.F.  
INV. IN (12"): 6.94  
INV. OUT: 6.84

CB#6  
RIM: 9.40  
INV. IN (UD): 7.00  
INV. IN (12"): 6.46  
INV. OUT (12"): 6.36

EXIST. CB (ELM STREET)  
RIM: 10.20  
INV. IN (8"): 7.20 (EXISTING)  
INV. IN (12"): 6.30 (PROPOSED: CORE DRILL)  
INV. OUT (8"): 6.20 (EXISTING)

**STORM DRAIN SCHEDULE**

SD NO.	PIPE TYPE	LENGTH	SLOPE (FT/FT)
SD#1	12" HDPE	26 L.F.	0.005
SD#2	12" HDPE	60 L.F.	0.005
SD#3	12" HDPE	36 L.F.	0.005
SD#4	12" HDPE	44 L.F.	0.005
SD#5	12" HDPE	73 L.F.	0.005
SD#6	12" SDR-35	16 L.F.	0.005

**GRADING AND DRAINAGE NOTES:**

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW UNDERGROUND ELECTRICAL, TELEPHONE AND CATV SERVICES ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE, INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE CATCHBASIN SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPE AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS; CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING WATER, GAS AND SANITARY SEWER SHALL BE PERMANENTLY CAPPED CONFORMING TO UTILITY COMPANY AND CITY OF PORTLAND STANDARDS. CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES AND/OR UTILITY COMPANY.
- THE PROJECT BENCH MARK IS BONNET BOLT OF FIRE HYDRANT LOCATED AT INTERSECTION OF ELM STREET AND KENNEBEC STREET. BENCHMARK ELEVATION: 13.50.
- BMP INSPECTIONS: THE OWNER SHALL HIRE A QUALIFIED POST-CONSTRUCTION STORMWATER INSPECTOR TO ANNUALLY INSPECT THE BMPs, INCLUDING CATCH BASIN, DRYWELL, IN-LINE ROOF FILTERS, PIPES AND RELATED STRUCTURES, IN ACCORDANCE WITH ALL MUNICIPAL AND STATE INSPECTION, CLEANING AND MAINTENANCE REQUIREMENTS OF THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PER SECTION 32 OF THE CITY OF PORTLAND CODE OF ORDINANCES).
- SITE LIGHTING SHALL MEET THE CITY OF PORTLAND STANDARDS AS OUTLINED IN SECTION 12.2.5 LIGHT TRESPASS-LIGHTING SHALL NOT BE GREATER THAN 0.1 FOOTCANDLES AT THE PROPERTY LINE.

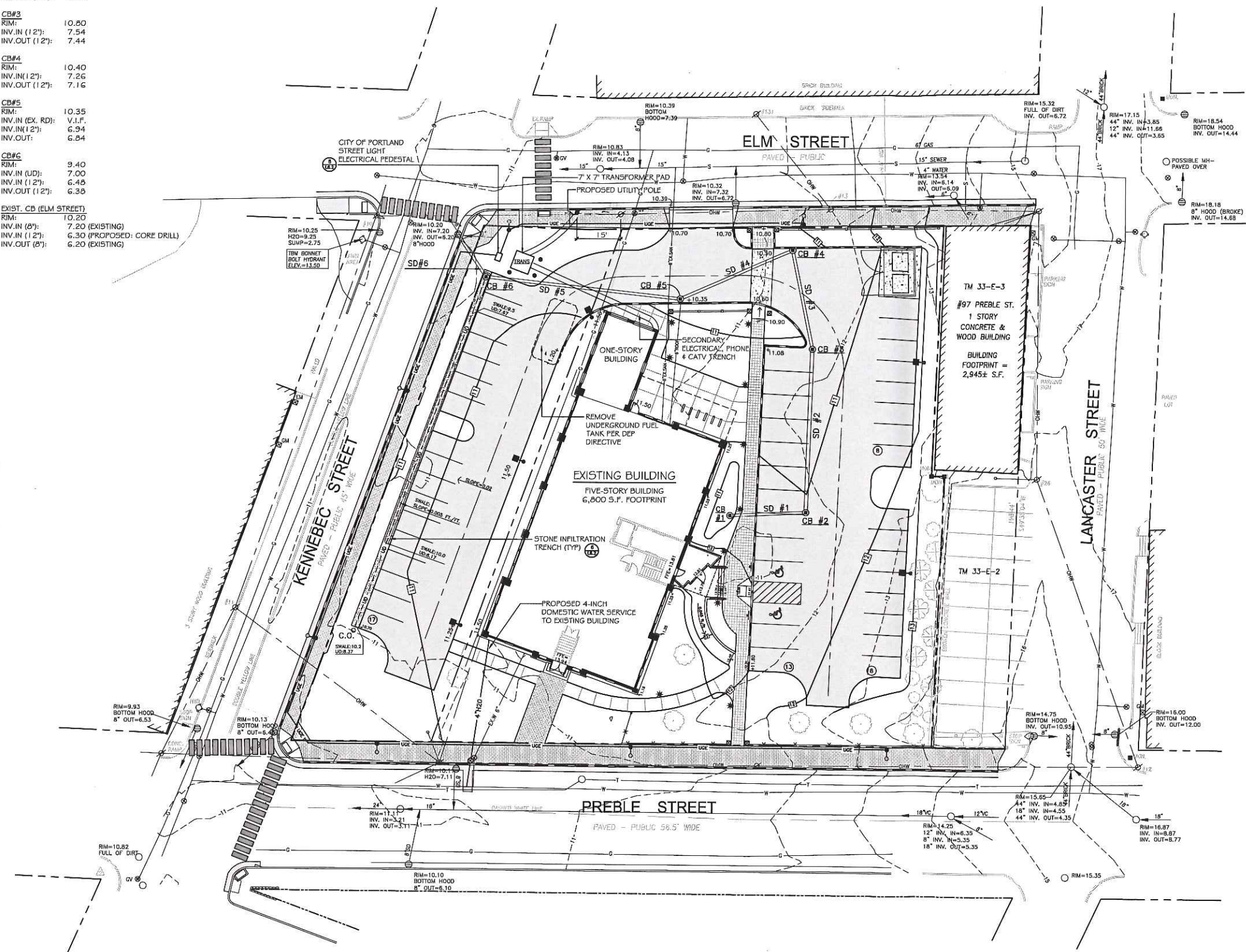
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Portland, Maine  
117 Preble Street



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
IRON PIPE OR ROD FOUND	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
ELECTRIC/GAS METER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
GRANITE CURB	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
TELEPHONE	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
1' CONTOUR	[Symbol]	[Symbol]
BRICK PAVERS	[Symbol]	[Symbol]
CONCRETE PAVERS	[Symbol]	[Symbol]
GRANITE PILLAR	[Symbol]	[Symbol]
CLEANOUT	[Symbol]	[Symbol]
STONE INFILTRATION TRENCH	[Symbol]	[Symbol]
SECONDARY ELECTRIC (FOR CITY LIGHTS)	[Symbol]	[Symbol]

Date: OCTOBER 5, 2015

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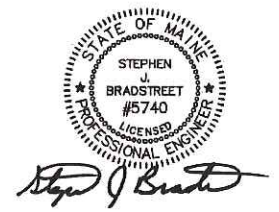
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Title:  
**GRADING, DRAINAGE AND UTILITIES PLAN**

Scale: 1" = 20'

North: [Symbol]

Sheet No.: **L3.0**



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**EROSION AND SEDIMENT CONTROL PLAN**

THIS PLAN HAS BEEN DEVELOPED AS A STRATEGY TO CONTROL SOIL EROSION AND SEDIMENTATION DURING AND AFTER THE RE-DEVELOPMENT OF THE SCHLOTTERBECK AND FOSS BUILDING AT 117 PREBLE STREET IN PORTLAND, MAINE. THIS PLAN IS BASED ON THE MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES, MARCH, 2003.

**A. PROPOSED DEVELOPMENT**

THE PROJECT CONSISTS OF THE RE-DEVELOPMENT OF AN EXISTING FIVE-STORY, 6,800 SQUARE FOOT BUILDING. THE BUILDING WILL INCLUDE 55 APARTMENT UNITS AND 2,000 S.F. OF COMMERCIAL OFFICE SPACE. THE 40,702 S.F. PARCEL CURRENTLY CONSISTS OF THE BUILDING AND A PAVED PARKING LOT AND A GRAVEL PARKING LOT; 73% OF THE EXISTING SITE IS IMPERVIOUS. THE PROPOSED IMPERVIOUS LOT IMPERVIOUS IS 27,300 S.F. OR 67% OF THE SITE.

**B. EROSION CONTROL PRACTICES/TEMPORARY MEASURES**

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:  
 EACH GROUND AREA, OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 15 DAYS OF INITIAL DISTURBANCE OF SOIL AND SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN DAYS OF FINAL GRADING. THIS STATEMENT APPLIES TO DISTURBED AREAS BEYOND THE LIMITS OF THE PROPOSED BUILDING. EXPOSED AREAS SHALL BE STABILIZED PRIOR TO A RAIN EVENT.

TEMPORARY SOIL STABILIZATION SHALL BE EITHER BY TEMPORARY MULCHING, TEMPORARY SEEDING, PERMANENT BASE GRAVEL, OR ASPHALT BINDER COURSE AS FOLLOWS:

**TEMPORARY SEEDING:** SEED SHALL BE AROOSTOOK RYE APPLIED AT 2.60#/1,000 SF. LIME SHALL BE AGRICULTURAL GROUND LIMESTONE APPLIED AT 1.30#/1,000 SF. FERTILIZER SHALL BE 10-10-10 CLASSIFICATION APPLIED AT 1.30#/1,000 SF. MULCH SHALL CONSIST OF HAY AND STRAW MULCH AND SPREAD EVENLY AT A RATE OF 70-90#/1,000 SF. TEMPORARY SEEDINGS SHALL ONLY BE MADE BETWEEN APRIL 15 AND OCTOBER 1, AND SHALL NOT BE PLACED OVER SNOW.

**TEMPORARY MULCHING:** MULCH SHALL CONSIST OF CHOPPED HAY OR STRAW MULCH AND SPREAD BY MECHANICAL BLOWER EVENLY AT A RATE OF 150-200#/1,000 SF. TEMPORARY MULCH SHALL BE REMOVED PRIOR TO PERMANENT SOIL STABILIZATION. MULCH MUST NOT BE PLACED OVER SNOW. SNOW SHALL BE REMOVED PRIOR TO MULCHING.

**PERMANENT BASE GRAVEL:** BASE GRAVEL UNDER PAVEMENT SHALL BE SUITABLE AS TEMPORARY SOIL STABILIZATION UNDER THE FOLLOWING CONDITIONS:  
 a) SLOPES SHALL BE LESS THAN EIGHT PERCENT;  
 b) GRAVEL SHALL MEET THE SPECIFICATIONS FOR BASE OR SUBBASE GRAVEL FOR THE PROPOSED COMPLETED PAVEMENT.

**C. EROSION CONTROL PRACTICES/PERMANENT MEASURES**

THE FOLLOWING PERMANENT MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE UTILIZED:

1. PERMANENT SEEDING SHALL BE PERFORMED DURING CONSTRUCTION OPERATIONS AS EACH DISTURBED AREA HAS BEEN BROUGHT TO FINISH GRADE. PERMANENT SEEDINGS SHALL BE MADE AS DORMANT SEEDING AFTER THE FIRST KILLING FROST. DORMANT SEEDING AND MULCH SHALL BE USED AT TWO TIMES THE PERMANENT SEEDING AND MULCHING RATE SHOWN BELOW FOR BOTH LAWN AS WELL AS EMBANKMENTS. SEED, LOAM, LIME, FERTILIZER AND MULCH ARE TO BE AS FOLLOWS:

**SEED:** THE SEED MIXTURE SHALL CONSIST OF SEED PROPORTIONED BY WEIGHT. ALL SEED SHALL BE FRESH, CLEAN, "NEW CROP" SEED. HARMLESS INERT MATTER AND WEED SEEDS SHALL BE PERMITTED UP TO ONE PERCENT OF THE GROSS WEIGHT OF EACH VARIETY OF SEED. ALL SEED SUPPLIED SHALL BE PACKED IN APPROVED CONTAINERS BEARING THE MANUFACTURER'S NAME AND ANALYSIS OF CONTENTS. THE FOLLOWING MATERIALS AND APPLICATION RATES SHALL BE REQUIRED FOR PERMANENT SEEDING:

- LAWN:**
- CREeping RED RESCUE: 0.69#/1,000 SF
  - KENTUCKY BLUEGRASS: 0.57#/1,000 SF
  - PERENNIAL RYEGRASS: 0.46#/1,000 SF
  - REDTOP: 0.12#/1,000 SF
  - TOTAL: 1.84#/1,000 SF

**LOAM:** SHALL BE FREE OF GRASSES, ROOTS, LARGE STONE AND INORGANIC DEBRIS. PLACE LOAM AT FOUR INCHES MINIMUM DEPTH OVER ALL DISTURBED AREAS. FINAL GRADING OF ALL LAWN AREAS TO BE APPROVED BY LANDSCAPE ARCHITECT BEFORE SEEDING.

**LIME:** LIME SHALL BE AGRICULTURAL GROUND LIMESTONE AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY. FERTILIZER: FERTILIZER SHALL BE 10-20-20 CLASSIFICATION AND APPLIED AS PER RECOMMENDATION OF A STATE COMMERCIAL SOIL TESTING LABORATORY.

**MULCH:** MULCH SHALL CONSIST OF HAY OR STRAW MULCH. MULCH SHALL BE SPREAD EVENLY AT A RATE OF TWO AND ONE HALF TONS PER ACRE OVER ALL SEEDING. AFTER APPLICATION, THE MULCH SHALL BE THOROUGHLY WETTED. IN STEEP AREAS, THE MULCH SHALL BE HELD IN PLACE BY THE USE OF JUTE EROSION CONTROL NETTING OR APPROVED ALTERNATIVE NETTING MATERIAL. NOTE: ALL EXPOSED SOIL MUST BE COVERED REGARDLESS OF MULCHING RATES SPECIFIED.

THE CONTRACTOR SHALL MAINTAIN THE SEEDED AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OR THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROPER WATERING, PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RESEEDING, RESEEDING AND REMULCHED.

**D. WINTER CONDITIONS**

EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDERTAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS./1,000 S.F. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR SHALL INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION FROM THE SITE, DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

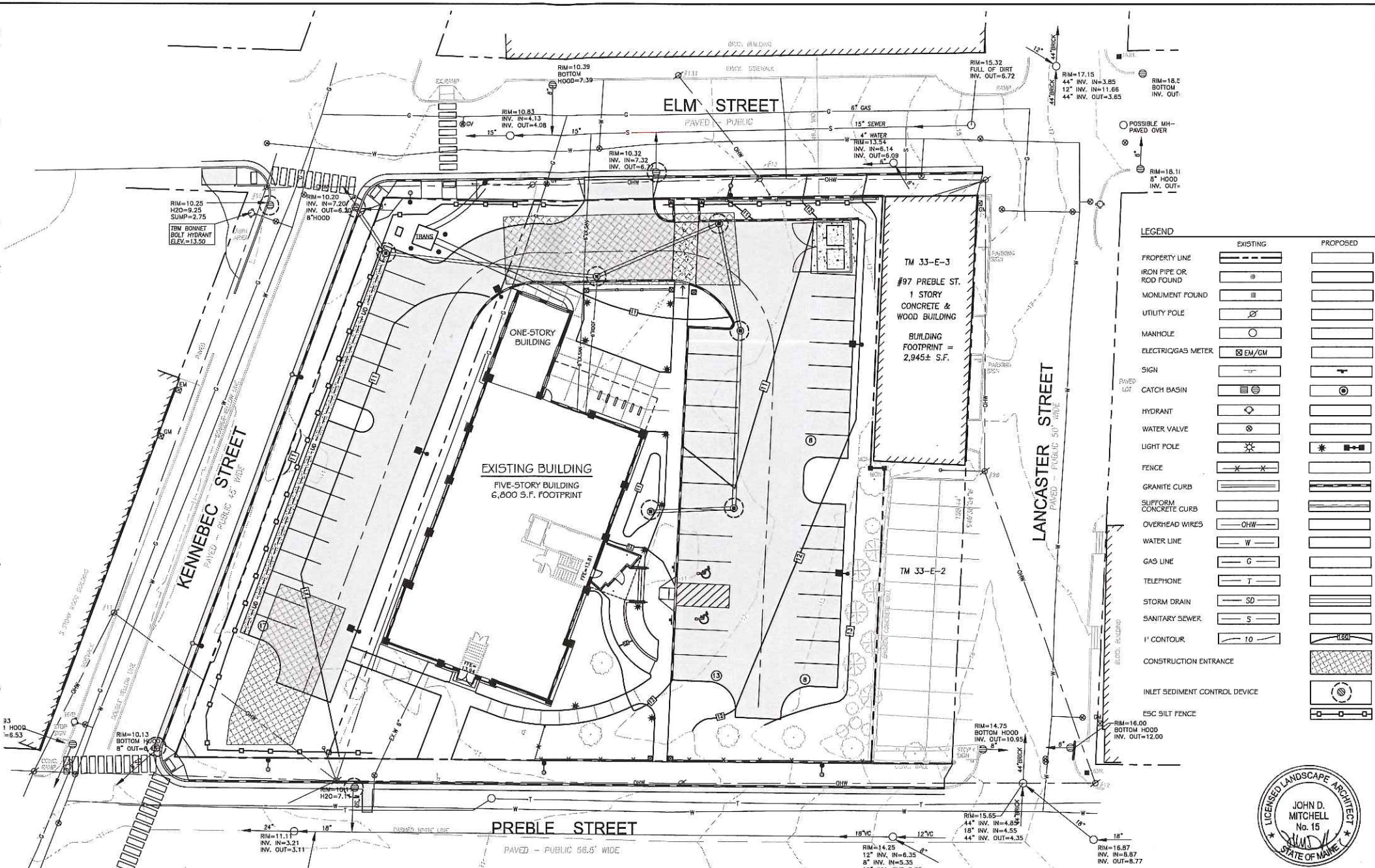
**E. CONSTRUCTION SEQUENCE**

- THE GENERAL SEQUENCE OF WORK SHALL BE AS FOLLOWS:
1. INSTALL EROSION CONTROL DEVICES. (SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OR SEDIMENT BARRIER.)
  2. TEMPORARILY STABILIZE DISTURBED AREAS BY MULCHING ALL EXPOSED SOIL WITHIN 15 DAYS OF INITIAL DISTURBANCE.
  3. INSTALL STORMWATER SYSTEM.
  4. COMPLETE SITE CONSTRUCTION WORK.
  5. CONSTRUCT PAVED ACCESS AND PARKING AREAS.
  6. INSTALL PERMANENT VEGETATION ON ALL EXPOSED AREAS WITHIN 15 DAYS OF FINAL GRADING; AND
  7. PERFORM CONTINUING MAINTENANCE ON ALL EROSION AND SEDIMENTATION CONTROL DEVICES AND MEASURES.

**F. SITE INSPECTION & MAINTENANCE**

WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAINFALLS OF 0.5" OVER A CONSECUTIVE 24-HOUR PERIOD, SHALL BE CONDUCTED BY THE SITE CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT. NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE SITE CONTRACTOR AFTER STORM EVENTS. DISPOSAL OF ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR.

CONTINUED TEMPORARY MAINTENANCE AND LONG TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE SCHLOTTERBECK BLOCK LLC.



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]
IRON PIPE OR ROD FOUND	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
ELECTRIC/GAS METER	[Symbol]	[Symbol]
SIGN	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]
FENCE	[Symbol]	[Symbol]
GRANITE CURB	[Symbol]	[Symbol]
SUPPLEMENTARY CONCRETE CURB	[Symbol]	[Symbol]
OVERHEAD WIRES	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
TELEPHONE	[Symbol]	[Symbol]
STORM DRAIN	[Symbol]	[Symbol]
SANITARY SEWER	[Symbol]	[Symbol]
1' CONTOUR	[Symbol]	[Symbol]
CONSTRUCTION ENTRANCE	[Symbol]	[Symbol]
INLET SEDIMENT CONTROL DEVICE	[Symbol]	[Symbol]
ESC SILT FENCE	[Symbol]	[Symbol]

Prepared For:  
 Owner and Applicant:  
**SCHLOTTERBECK BLOCK L.L.C.**  
 77 Spruce Street  
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Prepared By:  
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 Landscape Architects  
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 Portland, Maine  
 117 Preble Street



Date: OCTOBER 5, 2015

Issued For:

Revisions:  
 DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS

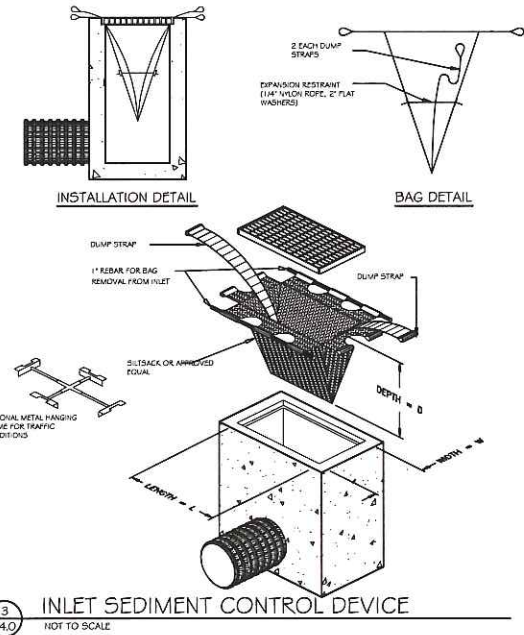
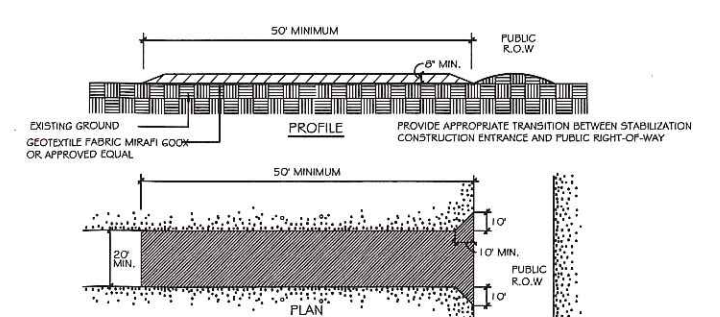
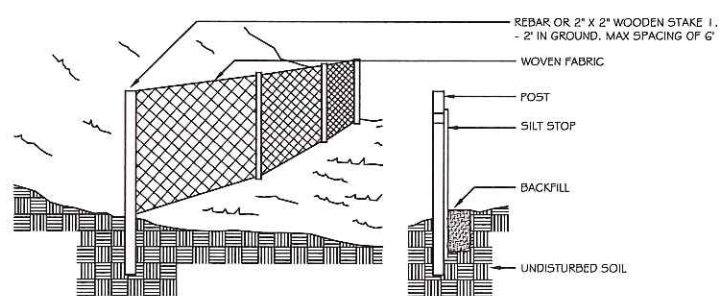
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Title:  
**EROSION AND SEDIMENT CONTROL PLAN**

Scale: 1" = 20'

North: [Compass rose]

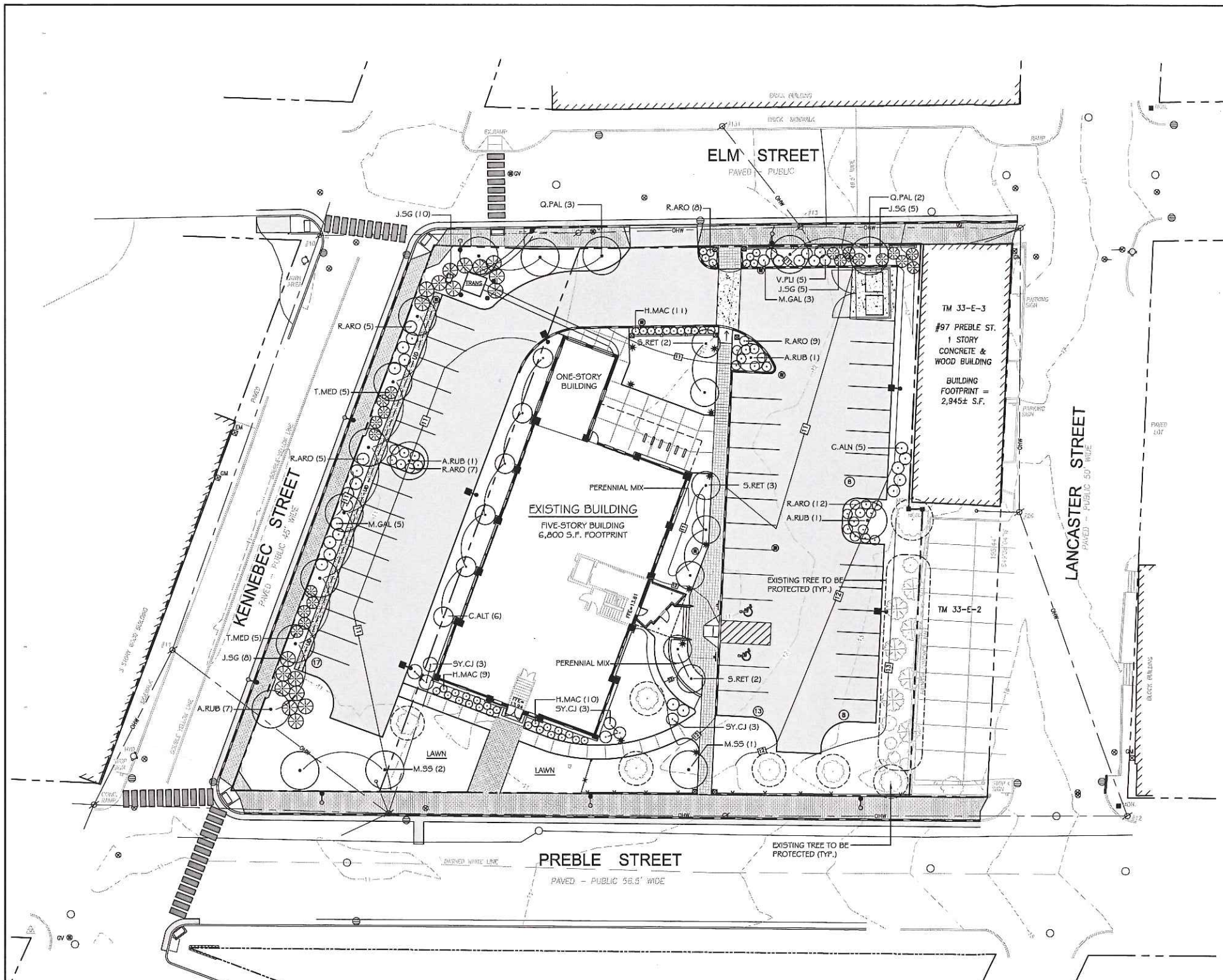
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**CONSTRUCTION SPECIFICATIONS:**

1. STONE SIZE: AASHTO DESIGNATION M 43, SIZE NO. 2 (2.5" TO 1.5"). USE CRUSHED STONE.
2. LENGTH: AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS: NOT LESS THAN EIGHT (8) INCHES.
4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
5. WASHING: WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONES AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

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**GENERAL PLANTING NOTES**

1. CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
3. DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
4. PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
5. CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
6. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF 'AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN' LATEST EDITION.
7. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
8. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
9. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
10. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
11. ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH (DO NOT EXCEED 3" DEPTH).
12. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
13. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
14. DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

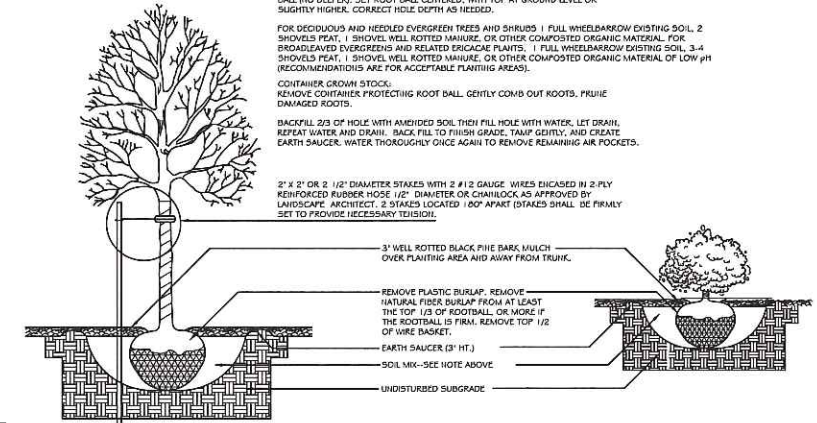
DIG HOLE AT LEAST 2 TIMES THE WIDTH OF ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH TOP AT GROUND LEVEL OR SLIGHTLY HIGHER. CORRECT HOLE DEPTH AS NEEDED.

FOR DECIDUOUS AND NEEDLED EVERGREEN TREES AND SHRUBS: 1. FULL WHEELBARROW EXISTING SOIL, 2. SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL FOR PROCLAIMED EVERGREENS AND RELATED DRACACEAE PLANTS. 1 FULL WHEELBARROW EXISTING SOIL, 3-4 SHOVELS PEAT, 1 SHOVEL WELL ROTTED MANURE, OR OTHER COMPOSTED ORGANIC MATERIAL OF LOW pH (RECOMMENDATIONS ARE FOR ACCEPTABLE PLANTING AREAS).

CONTAINER GROWN STOCK: REMOVE CONTAINER PROTECTING ROOT BALL. GENTLY COMB OUT ROOTS, PRUNE DAMAGED ROOTS.

BACKFILL 2/3 OF HOLE WITH AMENDED SOIL THEN FILL HOLE WITH WATER. LET DRAIN. REPEAT WATER AND DRAIN. BACKFILL TO FINISH GRADE. TAMP GENTLY, AND CREATE EARTH SAUCER. WATER THOROUGHLY ONCE AGAIN TO REMOVE REMAINING AIR POCKETS.

2" X 2" OR 1/2" DIAMETER STAKES WITH 2 #12 GAUGE WIRES ENCASED IN 2 PLY REINFORCED RUBBER HOSE 1/2" DIAMETER OR CHAINLOCK AS APPROVED BY LANDSCAPE ARCHITECT. 2 STAKES LOCATED 100" APART (STAKES SHALL BE FIRMLY SET TO PROVIDE NECESSARY TENSION).



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	⊙	⊙
MONUMENT FOUND	■	■
UTILITY POLE	⊘	⊘
MANHOLE	○	○
ELECTRIC/GAS METER	⊗ EM/GM	⊗ EM/GM
SIGN	—	—
CATCH BASIN	⊕	⊕
HYDRANT	⊙	⊙
WATER VALVE	⊗	⊗
LIGHT POLE	⊗	⊗
FENCE	— X —	— X —
GRANITE CURB	—	—
OVERHEAD WIRES	— OHW —	— OHW —
WATER LINE	— W —	— W —
GAS LINE	— G —	— G —
TELEPHONE	— T —	— T —
STORM DRAIN	— SD —	— SD —
SANITARY SEWER	— S —	— S —
1" CONTOUR	— 10 —	— 10 —
BRICK PAVERS	—	—
CONCRETE PAVERS	—	—
GRANITE PILLAR	—	—

**PLANTING SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
A.RUB	10	ACER RUBRUM 'RED SUNSET'	RED MAPLE	2.5" CAL.	
M.SS	3	MALUS 'SPRING SNOW'	'SPRING SNOW' CRABAPPLE	1.75" CAL.	
Q.PAL	5	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	2" CAL.	
S.RET	7	SYRINGA RETICULATA	JAPANESE TREE LILAC	1.75" CAL.	
<b>SHRUBS</b>					
C.ALN	5	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD CLETHRA	2 GAL.	
C.ALT	6	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	5 GAL.	CLUMP
M.GAL	8	MYRICA GALE	SWEETGALE	3 GAL.	
H.MAC	30	HYDRANGEA MACROPHYLLA	ANNABELLE HYDRANGEA	2 GAL.	
J.SG	28	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	3 GAL.	
R.ARO	46	RHUS AROMATICA	GRADLO SUMAC	2 GAL.	
V.PLI	5	VIBURNUM PLICATUM TOM. SHOSHONI	SHOSHONI VIBURNUM	2 GAL.	
SY.CJ	3	SYRINGA 'CHARLES JOLY'	'CHARLES JOLY' LILAC	3 GAL.	
T.MED	10	TAXUS X MEDIA 'TAUNTONII'	TAUNTON YEW	24"	

Prepared For:  
Owner and Applicant:  
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**The Schlotterbeck Block**

Portland, Maine

117 Preble Street

Date: OCTOBER 5, 2015

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Revisions:  
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS

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Title: **PLANTING PLAN**

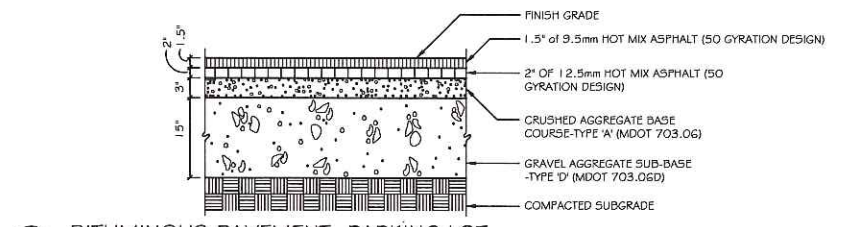
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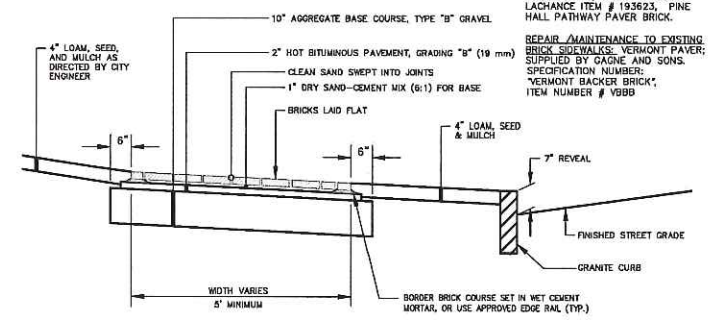
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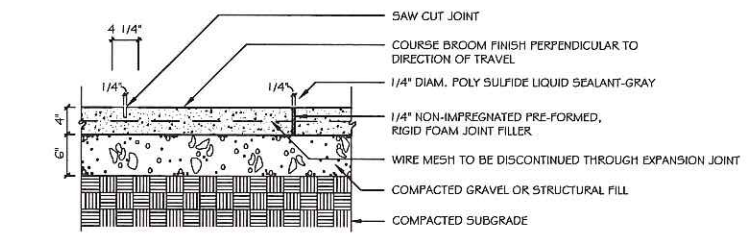
1 BITUMINOUS PAVEMENT- PARKING LOT  
NOT TO SCALE

NOTE: PREBLE STREET SIDEWALK HAS AN ESPLANADE. KENNEBEC STREET AND ELM STREET DO NOT HAVE AN ESPLANADE. SEE PLANS.

BRICKS TO BE USED:  
NEW CONSTRUCTION:  
4"x8" PINE HALL PATHWAY PAVEMENT BRICK; MFG. BY PINE HALL BRICK CO., MADISON, NORTH CAROLINA. LACHANCE ITEM # 193623, PINE HALL PATHWAY PAVEMENT BRICK.  
REPAIR/MAINTENANCE TO EXISTING BRICK SIDEWALKS: VERMONT PAVEMENT, SUPPLIED BY GAGNE AND SONS. SPECIFICATION NUMBER: VERMONT BACKER BRICK, ITEM NUMBER # VBBB

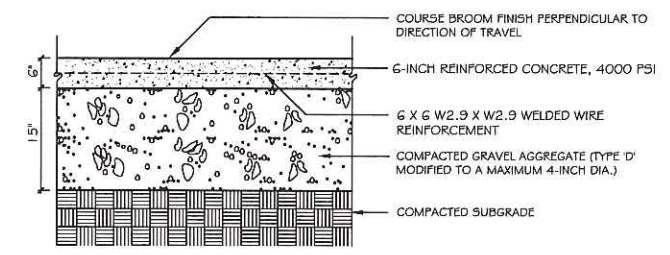


2 BRICK SIDEWALK WITH BITUMINOUS BASE AND GRANITE CURB  
NOT TO SCALE



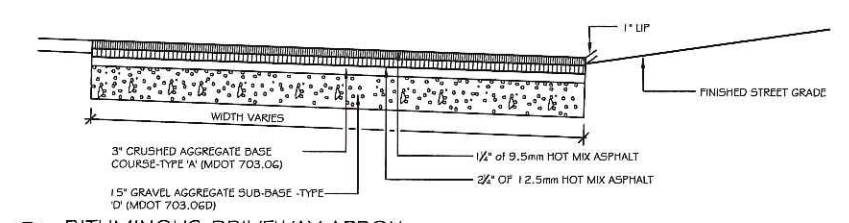
FINISH: SCREED AND BULL FLOAT, BROOM FINISH, PERPENDICULAR TO TRAVEL DIRECTION  
JOINTS: HAND TROWEL TO 1/2\"/>

3 CONCRETE WALK  
NOT TO SCALE

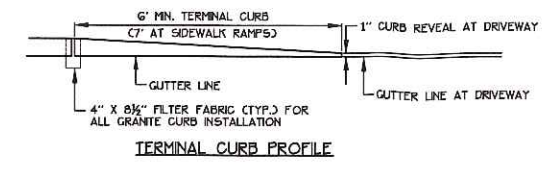


FINISH: SCREED AND BULL FLOAT, BROOM FINISH, PERPENDICULAR TO TRAVEL DIRECTION  
JOINTS: HAND TROWEL TO 1/2\"/>

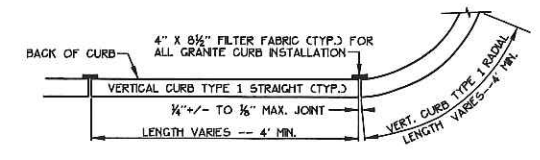
4 CONCRETE PAD: CROSSWALK AND DUMPSTER PAD  
NOT TO SCALE



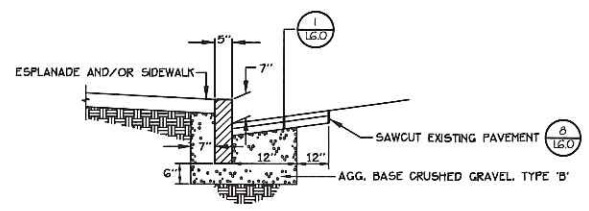
5 BITUMINOUS DRIVEWAY APRON  
NOT TO SCALE



TERMINAL CURB PROFILE

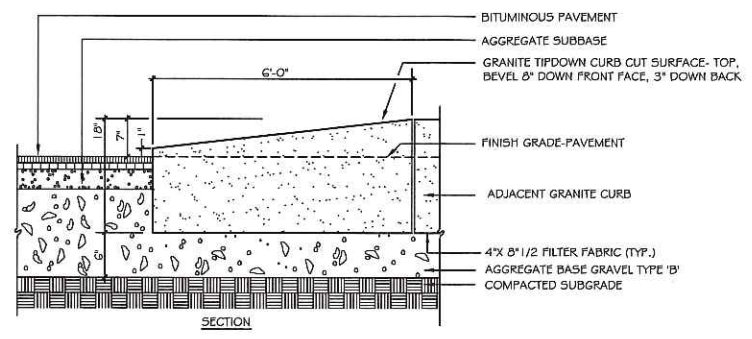


VERTICAL GRANITE CURB PLAN VIEW

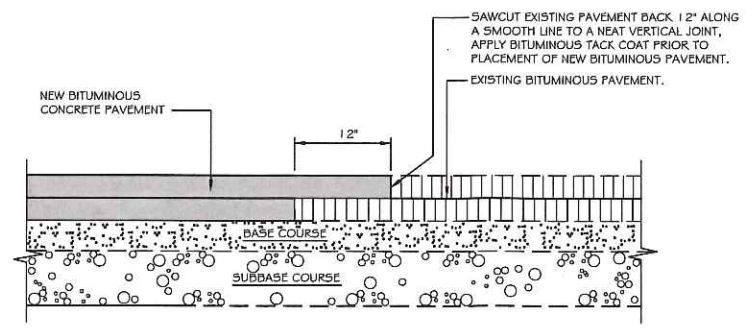


VERTICAL GRANITE CURB CROSS SECTION

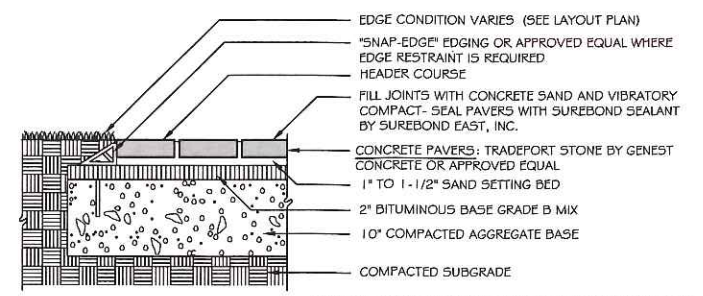
6 CITY OF PORTLAND STANDARD DETAIL: VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS  
NOT TO SCALE



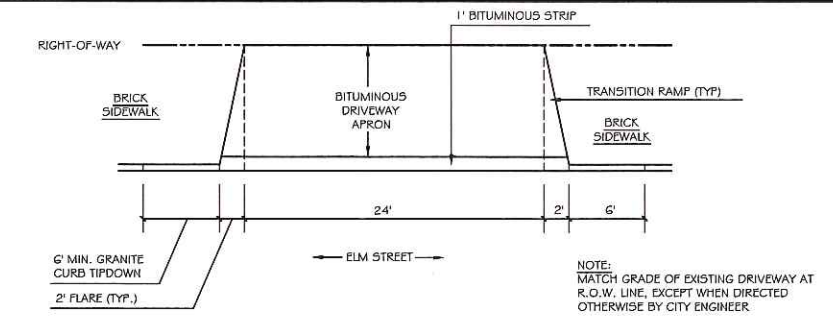
7 GRANITE TIP-DOWN CURB  
NOT TO SCALE



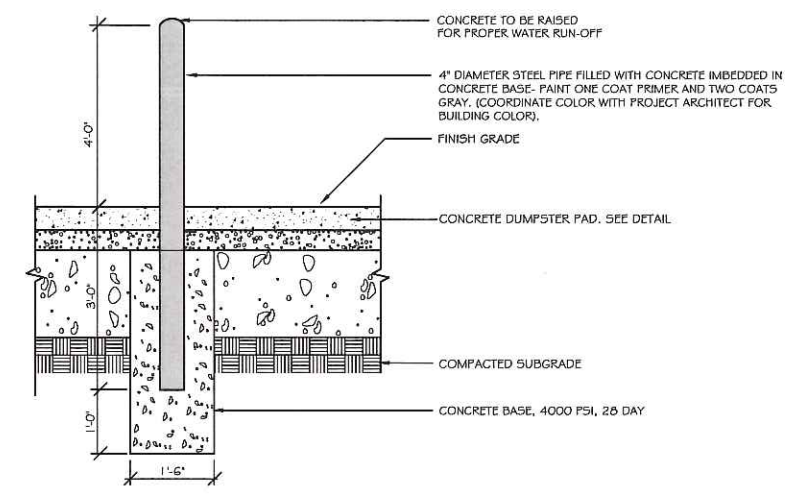
8 PAVEMENT SAWCUT DETAIL  
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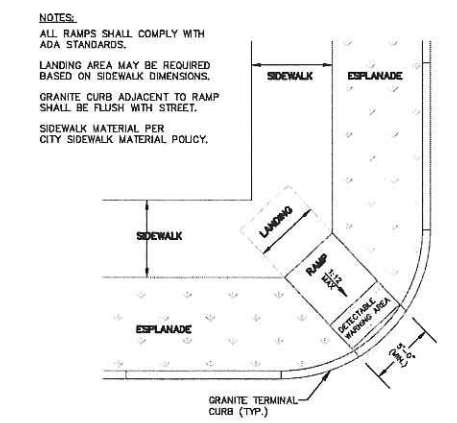
9 PRE-CAST CONCRETE MODULAR PAVERS  
NOT TO SCALE



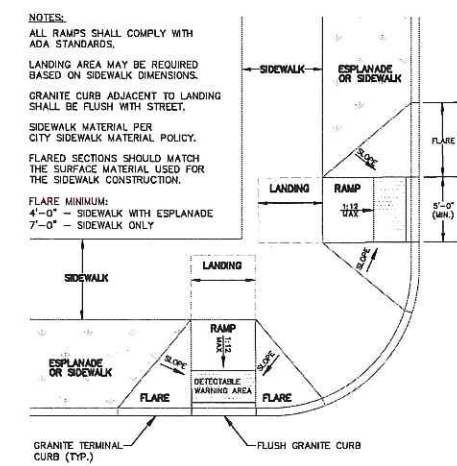
10 DRIVEWAY APRON LAYOUT  
NOT TO SCALE



11 PIPE BOLLARD DETAIL  
NOT TO SCALE



12 ADA RAMP AT PREBLE STREET/KENNEBEC STREET  
NOT TO SCALE



13 ADA RAMP AT ELM STREET/KENNEBEC STREET  
NOT TO SCALE

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Revisions:  
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS

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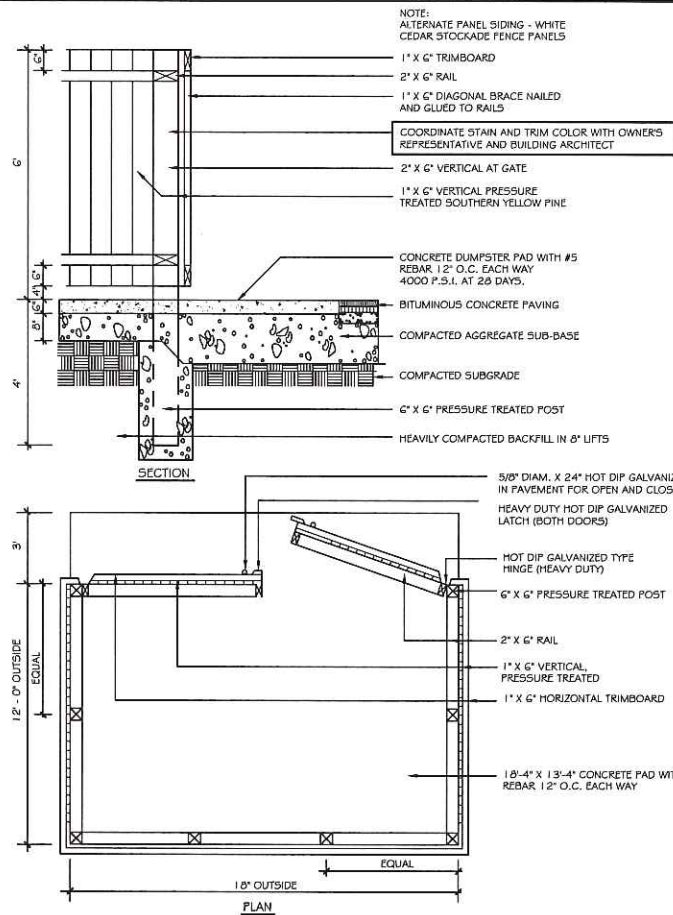
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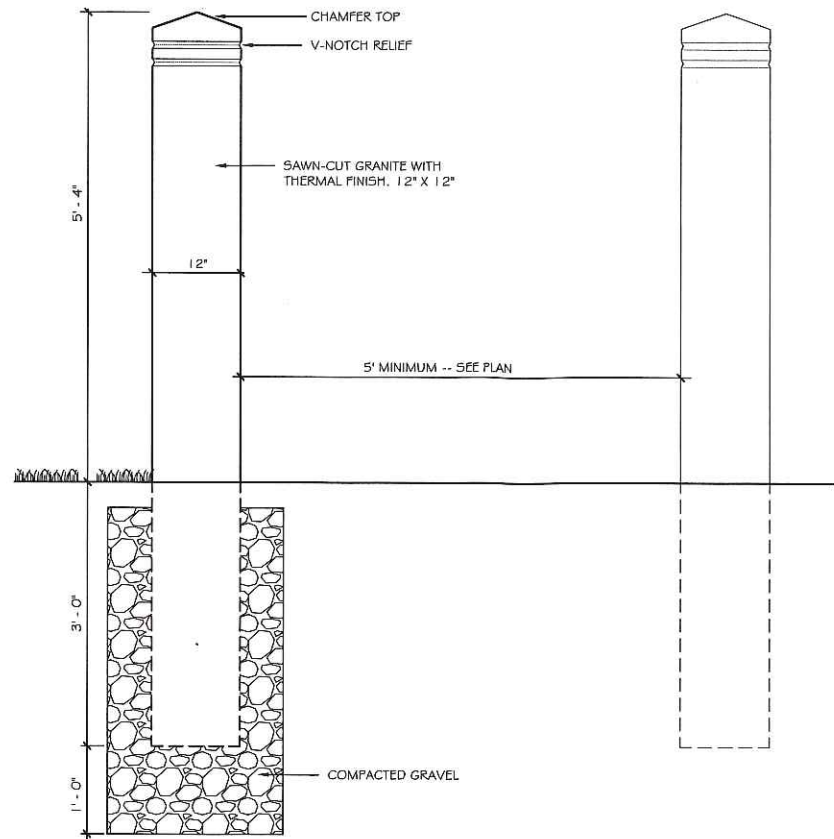


PERMITTING SET -- NOT FOR CONSTRUCTION

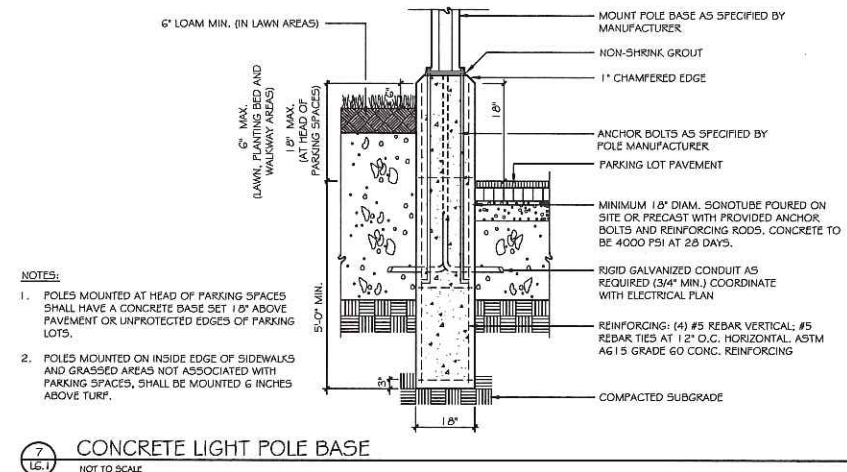
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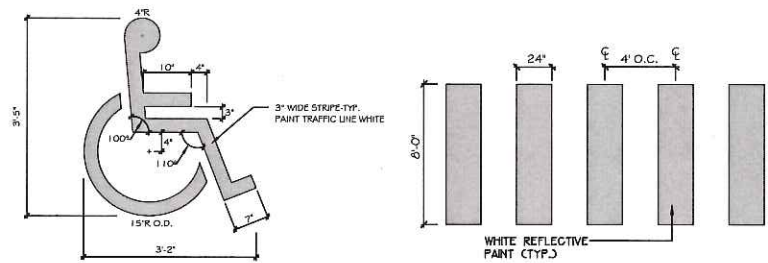
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NOT TO SCALE



4 GRANITE PILLAR GATEWAY  
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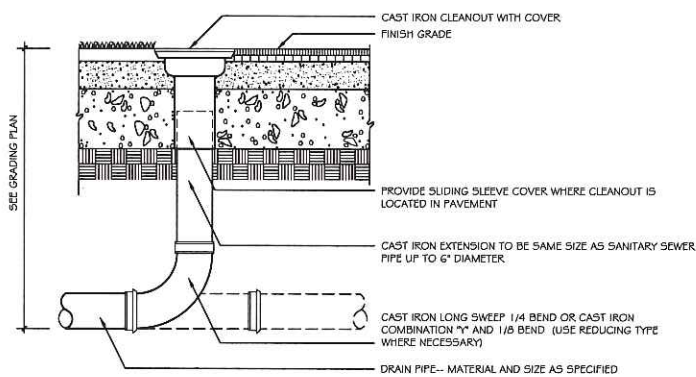


7 CONCRETE LIGHT POLE BASE  
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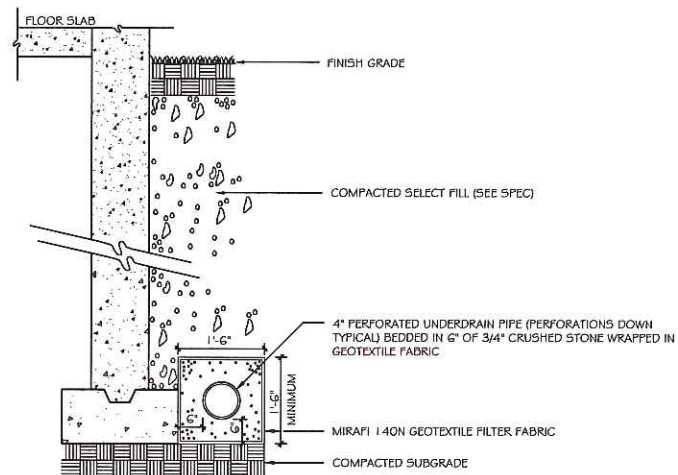


8 ACCESSIBLE SPACE MARKINGS  
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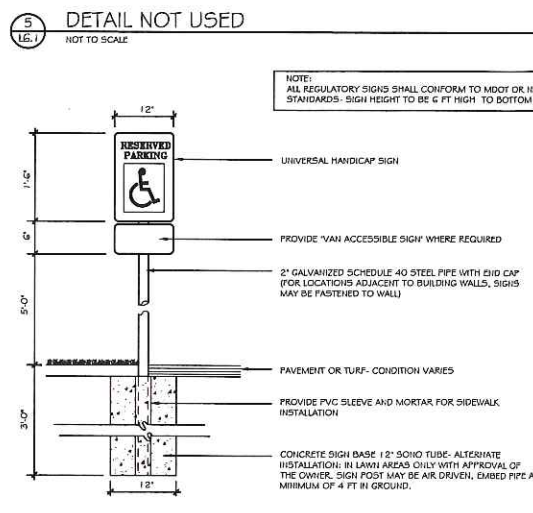
9 PAINTED CROSSWALK  
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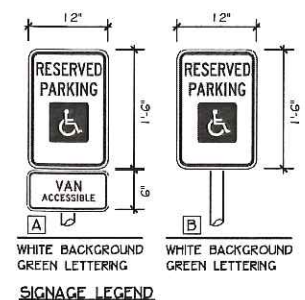
2 FOUNDATION DRAIN CLEANOUT DETAIL  
NOT TO SCALE



3 FOUNDATION DRAIN  
NOT TO SCALE



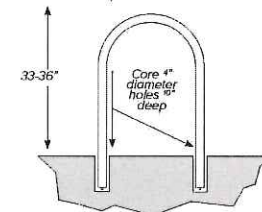
5 DETAIL NOT USED  
NOT TO SCALE



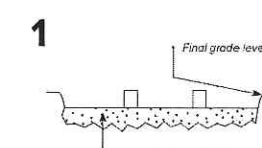
6 SIGNAGE  
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INSTALLING INTO EXISTING SIDEWALK

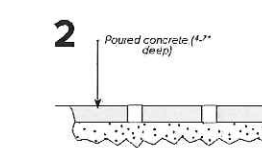
Core holes no less than 3" diameter (4" recommended) and 10" deep into sidewalk. Fill holes with Par-Rok or epoxy grout. Place Hoop Rack into holes, making sure the rack is level. 33'-36" of the Hoop Rack should remain above the surface. If the Hoop Rack is less than 33" high, it will not support the bike adequately. Make sure the rack is level and held in place until the grout has set.



INSTALLING INTO A NEW SIDEWALK



Place corrosion resistant sleeve (min. 4" inside diameter) in sand pour bed in exact location where rack will be installed. Make sure top of sleeve is at same level as desired finished concrete surface. Fill sleeve with sand to keep it in place and prevent it from filling with concrete.



Pour concrete and allow to cure.

DERO www.dero.com | 1-888-337-6729

10 DERO HOOP BIKE RACK (SIX HOOPS FOR 12 BIKES)  
NOT TO SCALE

PERMITTING SET -- NOT FOR CONSTRUCTION

Prepared For:  
Owner and Applicant:  
SCHLOTTERBECK BLOCK L.L.C.  
77 Spruce Street  
Portland, Maine 04101  
Tel.: 207-650-8979

Prepared By:  
MITCHELL & ASSOCIATES  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel.: 207-774-4427

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44 Oak Street # 2  
Portland, Maine 04101  
Phone: 207-775-3184

The Schlotterbeck Block  
Portland, Maine  
117 Preble Street



Date: OCTOBER 5, 2015

Issued For:

Revisions:  
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS

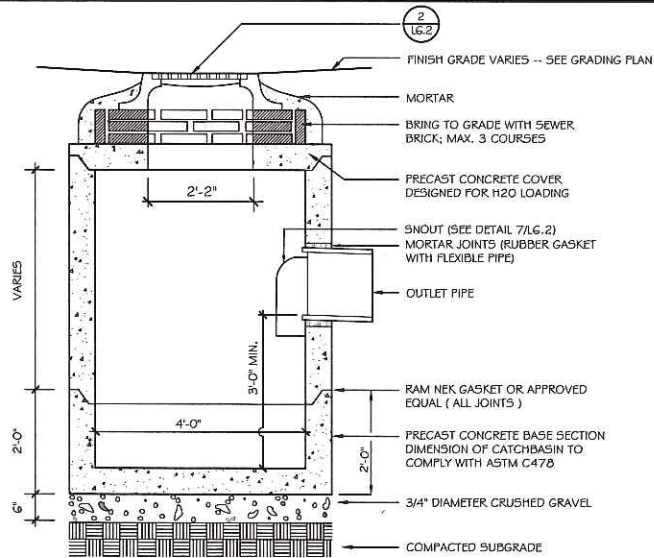
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Title: SITE DETAILS

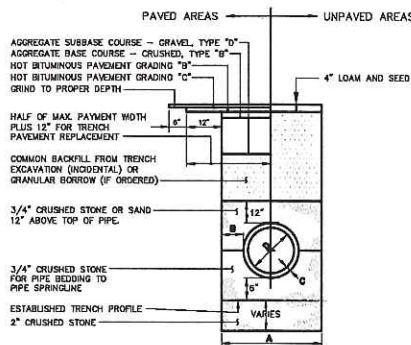
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North: Sheet No.: L6.1





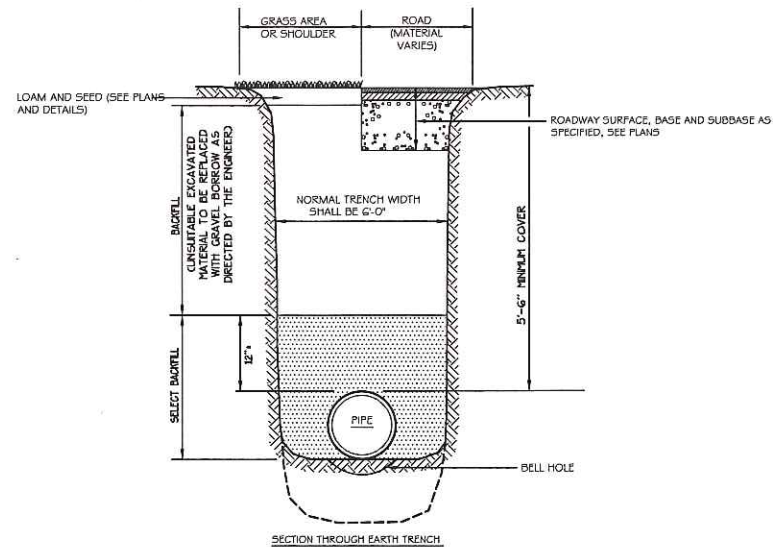
**NOTES:**  
DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.  
ANY ALTERNATE TRENCHING OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.



**NOTES:**

- ALTERNATIVE CONSTRUCTION METHODS OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
- IN PAVED AREAS, DEPTHS OF GRAVEL AND HOT MIX ASPHALT PAYMENTS SHALL MATCH THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
- DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HANDBARS OF THE PIPE, BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 8".
- DIMENSION A IS THE MAXIMUM WIDTH ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BORROW, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER D, AS SET FORTH IN THE FOLLOWING TABLE.

PIPE DIAMETER, D (INCHES)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	4.0
14	5.0
16	5.0
18	6.0
20	6.0
24	6.0
27	6.0
30	6.0
36	6.0
42	7.0
48	7.0



**TYPICAL PIPE TRENCH INSTALLATION**  
NOT TO SCALE

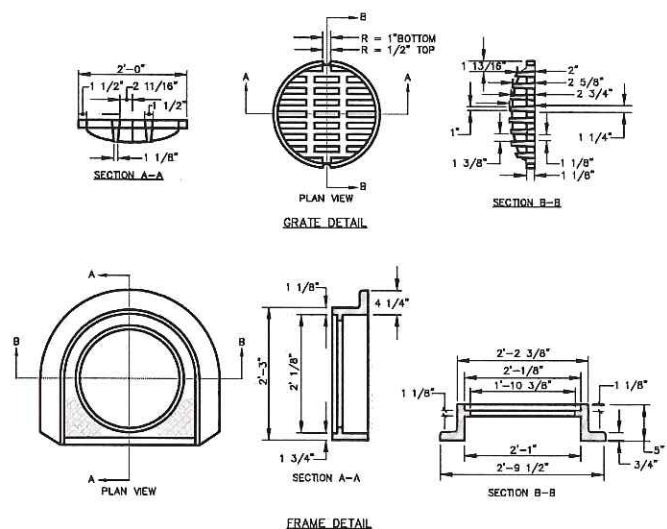
**TYPICAL PIPE INSTALLATION - NOTES**  
NOT TO SCALE

**7 PORTLAND WATER DISTRICT PIPE TRENCH DETAIL**  
NOT TO SCALE

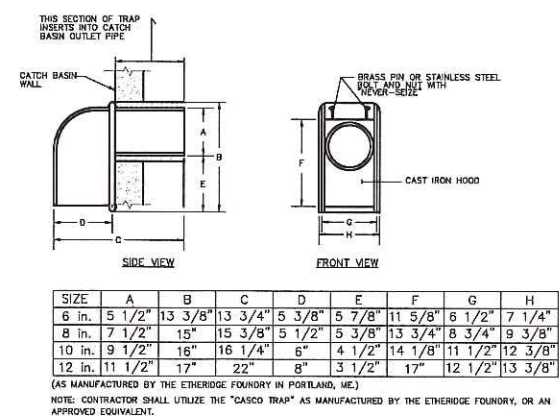
**GENERAL NOTES FOR MANHOLES AND CATCH BASINS**

- ALL CONCRETE SHALL HAVE A MINIMUM 12% WATER-REDUCING COMPRESSIVE STRENGTH OF 4000 PSI PER SQ. YD. AT THE END OF 28 DAYS, UNLESS OTHERWISE NOTED.
- MANHOLES MAY BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, OR CAST IN PLACE.
- PRECAST REINFORCED CONCRETE MANHOLES MANUFACTURED PER ASTM SPEC. C-578.
- ALL STONE AND SEWER MANHOLE COVERS SHALL BE SOLID AND SHALL HAVE ONE 7/8" DIAMETER DRILLED PICK HOLE LOCATED 8" FROM THE CENTER OF THE COVER.
- ALL SANITARY MANHOLE COVERS SHALL HAVE "HEAVY" CAST INTO THE COVER. ALL STORMWATER/DRAIN MANHOLE COVERS SHALL HAVE "DRAIN" CAST INTO THE COVER.
- ALL MANHOLE RISERS SHALL BE EITHER 2" OR APPROVED EQUAL.
- SEWER BRICK SHALL CONFORM TO ASTM SPEC. DESIGNATE OR C-22-83, GRADE SA AND SA.
- ALL SANITARY MANHOLES SHALL HAVE A WATERPROOFING COATING APPLIED TO THE EXTERIOR SURFACE.
- CATCH BASIN FRAMES FOR TYPE AA CATCH BASIN CURB INLETS SHALL BE EITHER DURA OR APPROVED EQUAL.
- CATCHES SHALL CONFORM TO ASTM DESIGNATION AHS-CLASS 35.
- EXISTING MANHOLES, CATCH BASINS, FRAMES, AND COVERS SHALL BE SALVAGED BY THE CONTRACTOR, AND SHALL REMAIN THE PROPERTY OF THE CITY OF PORTLAND.
- ALL CATCH BASIN OUTLETS SHALL BE INSTALLED WITH A CATCH TRAP. SEE FIGURE 9-02.

**1 PRECAST CONCRETE CATCHBASIN**  
NOT TO SCALE

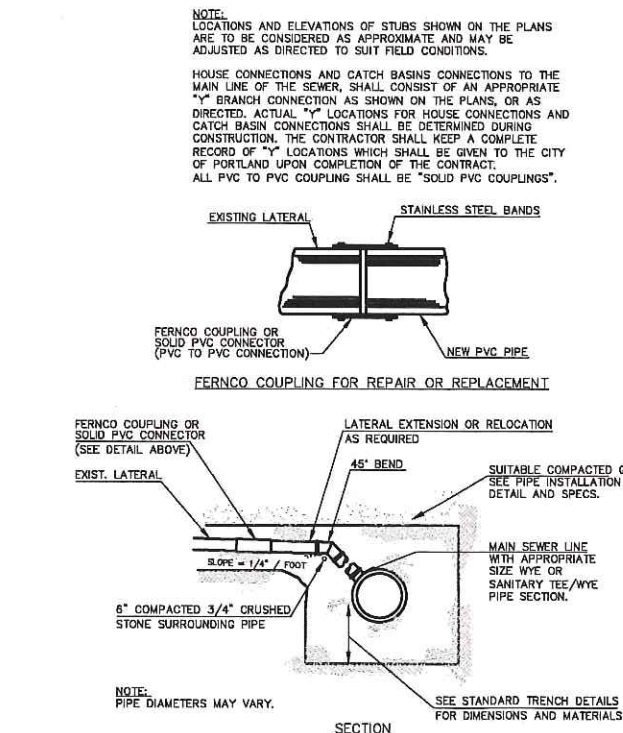


**2 CAST IRON CATCH BASIN COVER AND FRAME**  
NOT TO SCALE

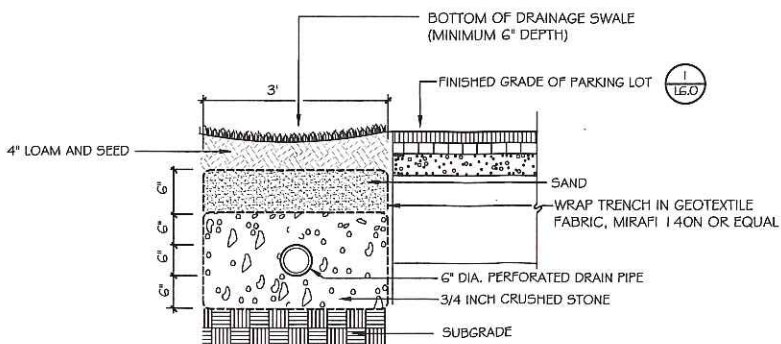


**3 CASCO TRAP (ALL CATCHBASIN DRAINAGE STRUCTURES)**  
NOT TO SCALE

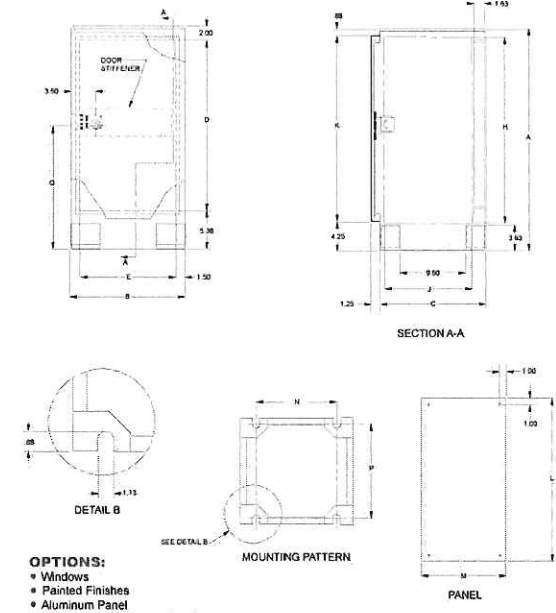
**4 CITY OF PORTLAND TRENCH DETAIL**  
NOT TO SCALE



**5 CITY OF PORTLAND LATERAL CONNECTION DETAIL**  
NOT TO SCALE



**6 STONE INFILTRATION TRENCH**  
NOT TO SCALE



**8 CITY OF PORTLAND STREET LIGHT PEDESTAL (TCP40 | 6 | 5)**  
NOT TO SCALE

**DIMENSIONS (inches)**

CATALOG NUMBER	MOUNTING OPTIONS	OVERALL ENCLOSURE	DOOR OPENING	SWITCH COMPARTMENT LOCATION	AVAILABLE SPACE	DOOR HEIGHT	PANEL	PAN. MTG. PATTERN	GENERAL INFORMATION
		A B C D	E F	G H	I J K L M N	O	P Q	R S	T U
TCPE401615	PRD ONLY	39.88 19.25 15.19 32.50	13.25	OPTIONAL	34.50 12.00 34.75 35.00 13.50 11.50 13.50			21.03	
TCPE401619	PRD ONLY	02.00 19.25 30.10 45.75	13.75	OPTIONAL	49.00 12.00 47.75 36.00 13.00 11.00 13.44			23.87	

Prepared For:  
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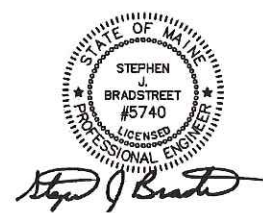
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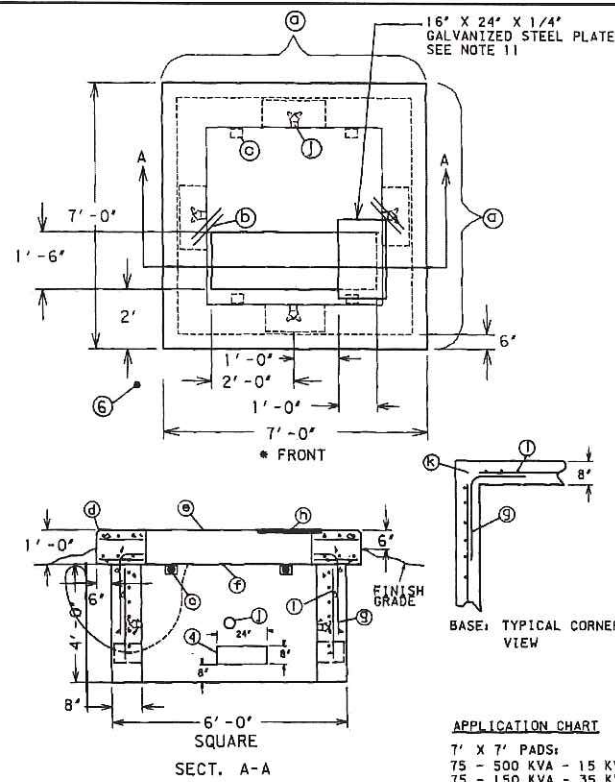
Scale: AS SHOWN

North:

Sheet No.: **L6.2**



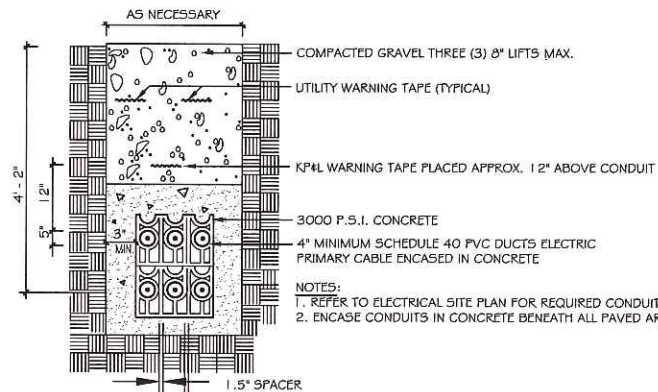
**PERMITTING SET -- NOT FOR CONSTRUCTION**



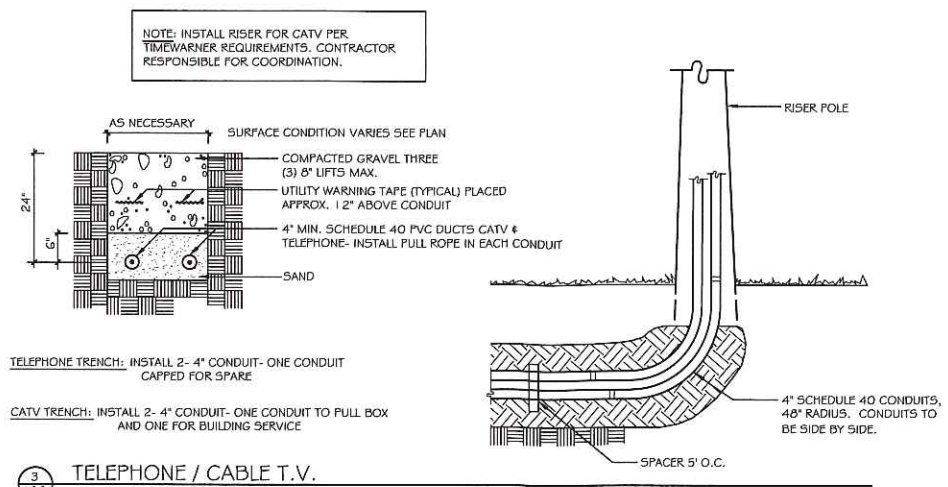
**NOTES:**

- FRONT denotes the side on which the access doors are located. The concrete base shall be set on a suitable gravel base and located so the FRONT is accessible by truck and suitably protected from plow and traffic damage.
- Before installing or requiring any active drainage structure (e.g., drain pipe) into the foundation or pad, the contractor, CMP Line Supervisor, or CMP Distribution Engineer must contact Central Maine Power Company's Environmental Services Department at 623-3521 ext. 3479 to request a site inspection.
- Finish grade shall be graded in such manner to allow surface water to flow away from the pad.
- Provide 8" x 24" cable holes (bond out) 8" up the wall from the base. Locate one cable hole per wall, more if necessary. Line up cable holes with trench.
- Conduits entering concrete structures shall be set back from the inside wall 1" to 2" inches and the space within the knockout surrounding the conduits completely filled with mortar to prevent soil from entering structure. Inside the structure the mortar shall be finished and beveled from the conduit ends to the inside wall face to cover and smooth the edges of the knockouts.
- A 3/4" x 8" galvanized ground rod is to be installed six inches in front of the left FRONT corner of the foundation. The top of the ground rod is to be 6 inches below final grade.
- A ground wire shall be installed from the ground rod through the cable hole at the bottom of the pad. 10 feet of ground wire shall be provided so that it can be installed through the two grounding lugs and connected to the neutral spade.
- Concrete compressive strength shall be 4000 PSI @ 28 days. For cast-in-place early high strength may be used with a minimum of seven day cure time.
- Reinforcing steel to have: Fy = 60 KSI.
- For precast units, the precast supplier shall provide lifting lugs in the slab (foundation) and bases the precast supplier shall assemble the slab to the base prior to shipping to the site to ensure that the slab and base fit properly (with no rocking of the slab evident).
- A 16" x 24" x 1/4" galvanized steel plate to cover a portion of the cable hole when the transformer does not completely cover it. Cut the steel plate to fit, if necessary.
  - 7-15 Rebar evenly spaced each way top to bottom.
  - 2-#4 corner diagonal rebar 2'-0" long top and bottom.
  - 4" x 4" x 1/2" angle 6' long with 2-3/4" diameter expansion anchors (preload = 4 plades two place precast only).
  - Chamber typical
  - 2" concrete cover over top rebar.
  - 3" concrete cover over bottom rebar.
  - #5 L-Bar #12" (cast-in-place only)
  - 16" x 24" x 1/4" galvanized steel plate, M10\*5000521190
  - #5 Rebar on 12" centers.
  - Pulling eye insert, for use with national course thread eye-bolt, (Richmond LCB-1) or equivalent. Located opposite each cable hole and 2' (two feet) from the bottom.
  - All rebar ends to be covered by 1' of concrete, minimum.

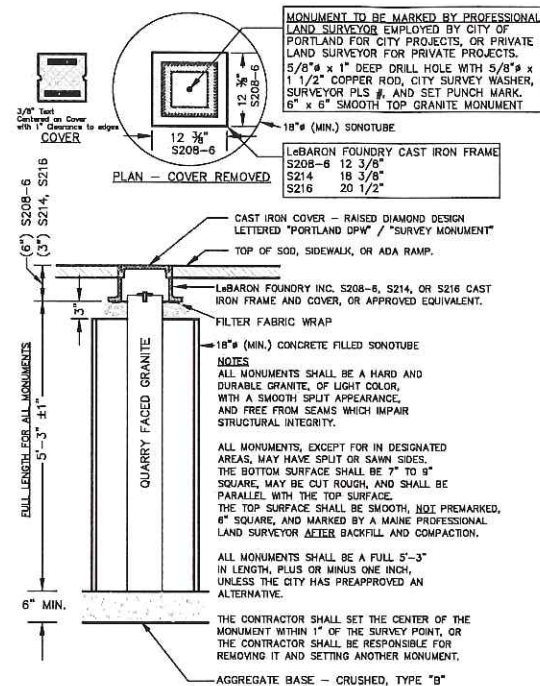
**1** 7' X 7' TRANSFORMER PAD (75 - 500 KVA)  
NOT TO SCALE



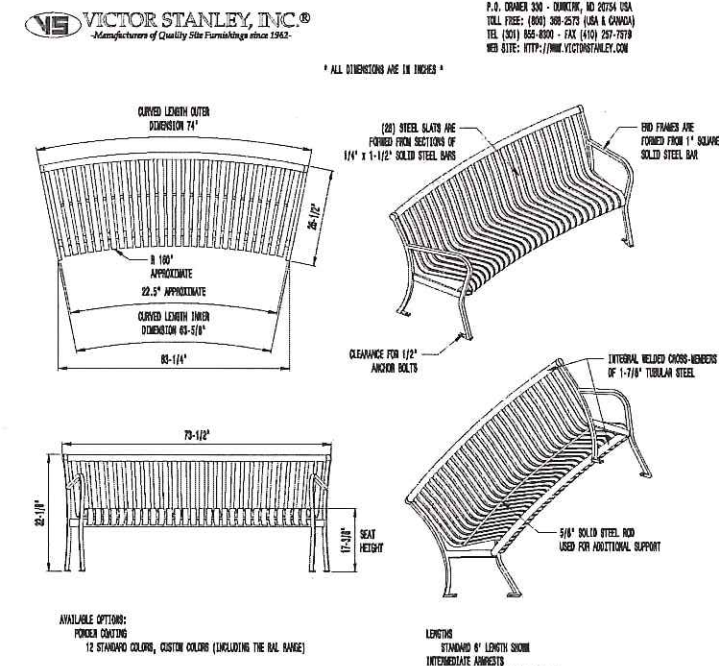
**2** ELECTRIC TRENCH  
NOT TO SCALE



**3** TELEPHONE / CABLE T.V.  
NOT TO SCALE

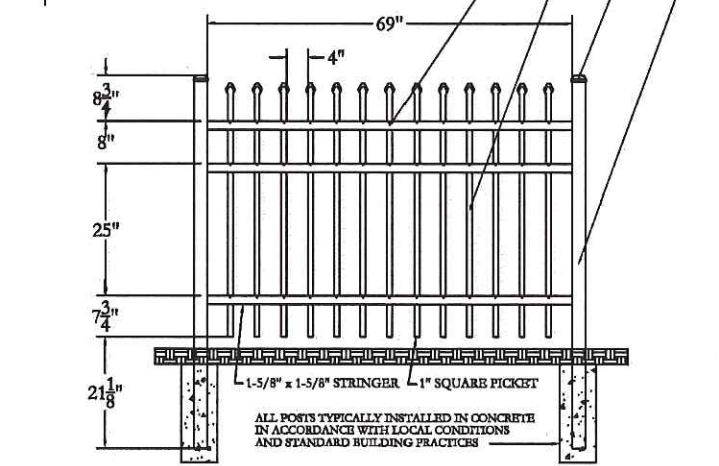


**4** CITY OF PORTLAND GRANITE MONUMENT DETAIL  
NOT TO SCALE



**6** BENCH DETAIL  
NOT TO SCALE

FENCE PARTS		
Name	Qty	Item
1101-48 PICKET	13	1
70-1/2" - 13 HOLE IND. STRINGER	3	3
2-1/2" POST	2	4
2-1/2" ALUMINUM POST CAP	2	5



**7** 4'-HT. ORNAMENTAL FENCE DETAIL  
NOT TO SCALE

**5** DETAIL NOT USED  
NOT TO SCALE

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**The Schlotterbeck Block**  
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117 Preble Street

Date: **OCTOBER 5, 2015**

Issued For:

Revisions:  
DEC. 1, 2015: REVISED PER STAFF REVIEW COMMENTS

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Title: **SITE DETAILS**

Scale: AS SHOWN

North:

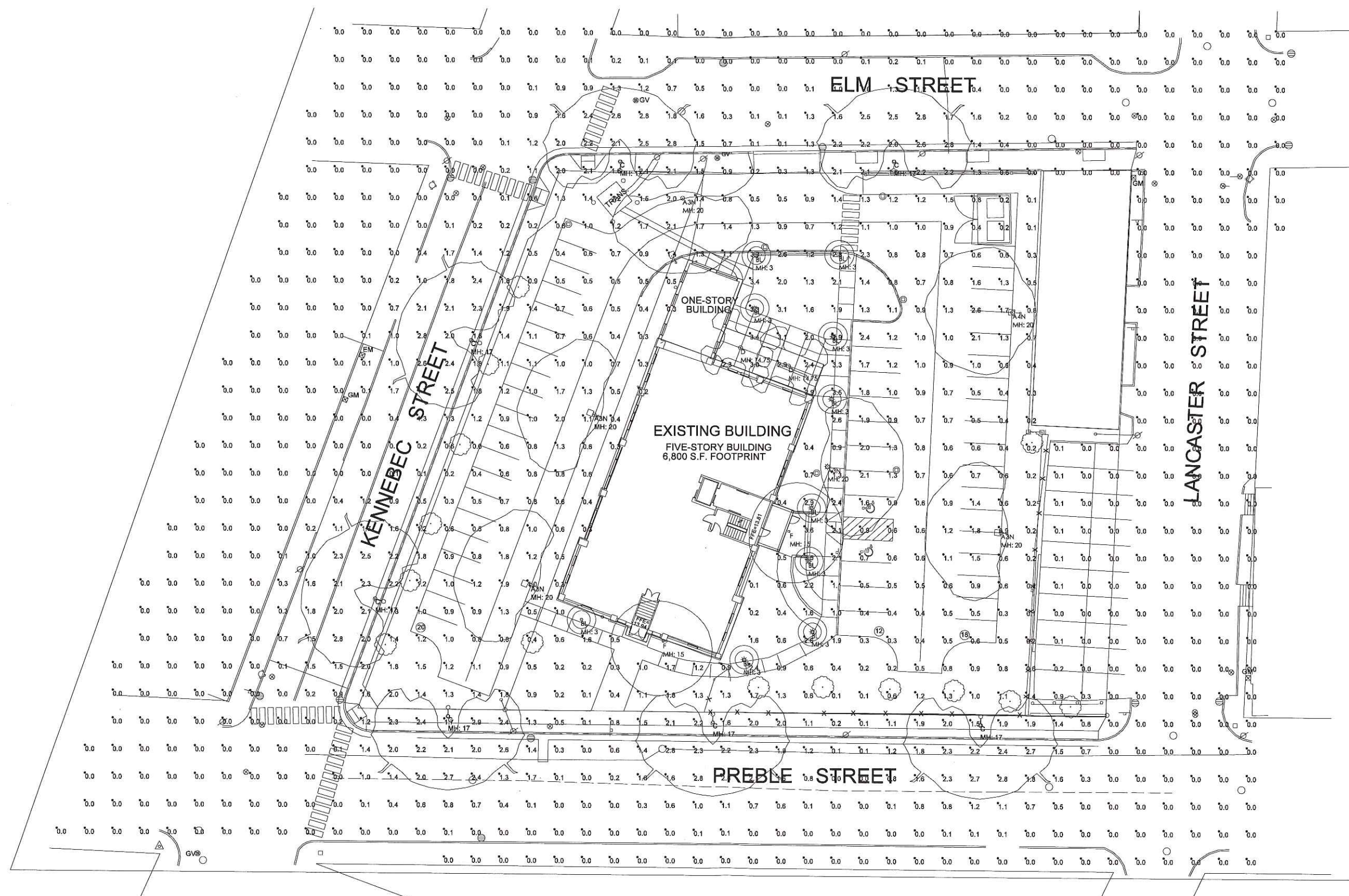
Sheet No.: **L6.3**



Calculation Summary							
Label	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
BACK PARKING	0.90	1.9	0.4	2.25	4.75	10	10
ENTRY DRIVE	1.43	3.1	0.4	3.58	7.75	10	10
FRONT PARKING	0.98	2.6	0.3	3.27	8.67	10	10
FULL SITE	0.62	3.6	0.0	N.A.	N.A.	10	10

Luminaire Schedule (note fixture catalogue numbers are not complete)						
Type	Symbol	Qty	Lum. Lumens	LLF	Lum. Watts	Description
A4N	⊙	1	3912	0.900	63.4	RA174E35-60L3K-NFO
A3N	⊙	5	3248	0.900	63.2	RA173E35-60L3K-NFO
C	⊙	7	6220	0.900	109	ESL 110 4K AS X 7 DS
D	⊙	2	4812	0.900	65.1	PGL71WE35-60L3K
F	⊕	2	1058	0.900	19.5	SW1-18LED-3500K
BL	⊖	10	1125	0.800	95	BOL_FP45_13 L-CI_XX-M50_00-V

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
  - 2) CALCULATIONS MAY SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
  - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE UNLESS OTHERWISE INDICATED.
  - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
  - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
  - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
  - 7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



PLAN VIEW

L7.0 -- LIGHTING PHOTOMETRICS PLAN

GENERATED FOR:  
**MITCHELL & ASSOC**  
 SCALE: NOT TO SCALE  
 SITE: 10-23-15.AG  
 L7.0-Photometrics

DATE: 10/23/2015  
 GENERATED BY: SWANEY LIGHTING, SCARBOROUGH ME - 207-883-7100 - swaneylighting.com

TITLE:  
**THE SCHLOTTERBECK BLOCK  
 117 PREBLE STREET, PORTLAND MAINE  
 SITE LIGHTING LAYOUT**

SWANEY LIGHTING ASSOCIATES, INC.

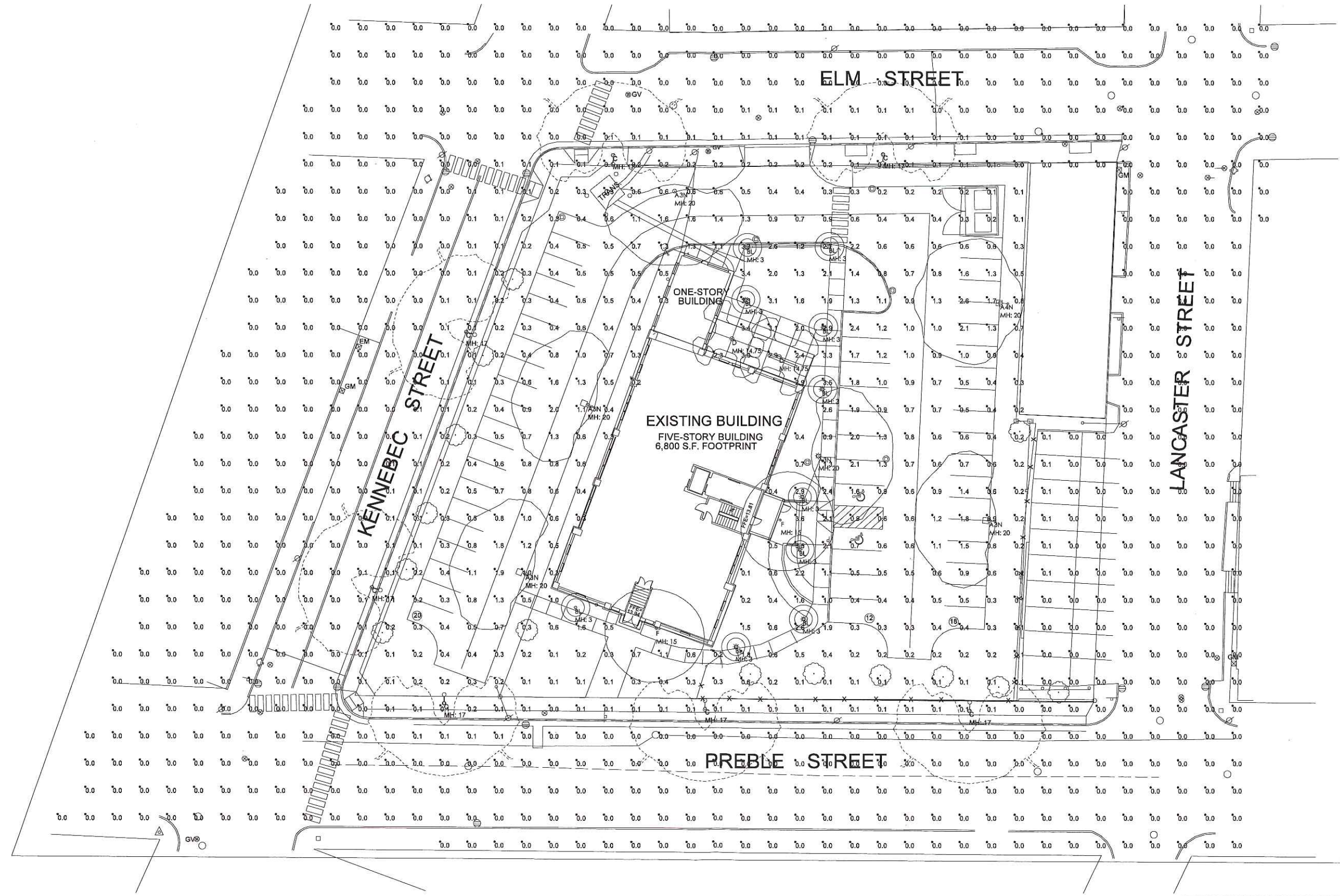
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Label	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
BACK PARKING	0.73	1.9	0.3	2.43	6.33	10	10
ENTRY DRIVE	1.25	3.1	0.3	4.17	10.33	10	10
FRONT PARKING	0.93	2.6	0.3	3.10	8.67	10	10
FULL SITE	0.26	3.6	0.0	N.A.	N.A.	10	10

Luminaire Schedule (note fixture catalogue numbers are not complete)						
Type	Symbol	Qty	Lum. Lumens	LLF	Lum. Watts	Description
A4N	⊙	1	3912	0.900	63.4	RA174E35-60L3K-NFO
A3N	⊙	5	3248	0.900	63.2	RA173E35-60L3K-NFO
C	⊙	7	6220	0.900	109	ESL 110 4K AS X 7 DS
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# STREET LIGHTING TURNED OFF



PLAN VIEW

[L7.1 - LIGHTING PHOTOMETRICS PLAN (WITHOUT STREET LIGHTS)]

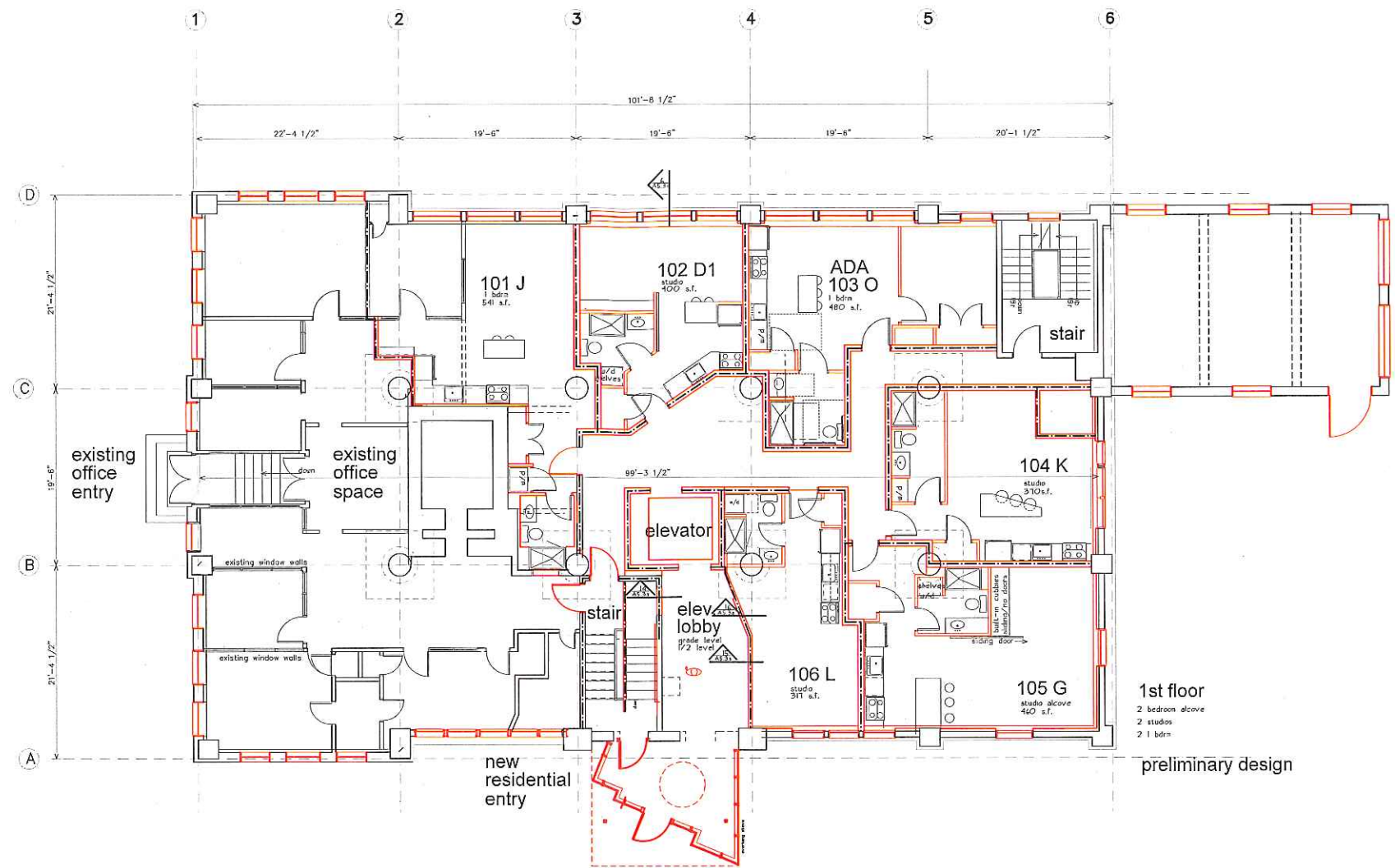
GENERATED FOR  
**MITCHELL & ASSOC**  
 SCALE NOT TO SCALE  
 SIZE 10-23-15.AG  
 L7.1-Photometrics

DATE: 10/23/2015  
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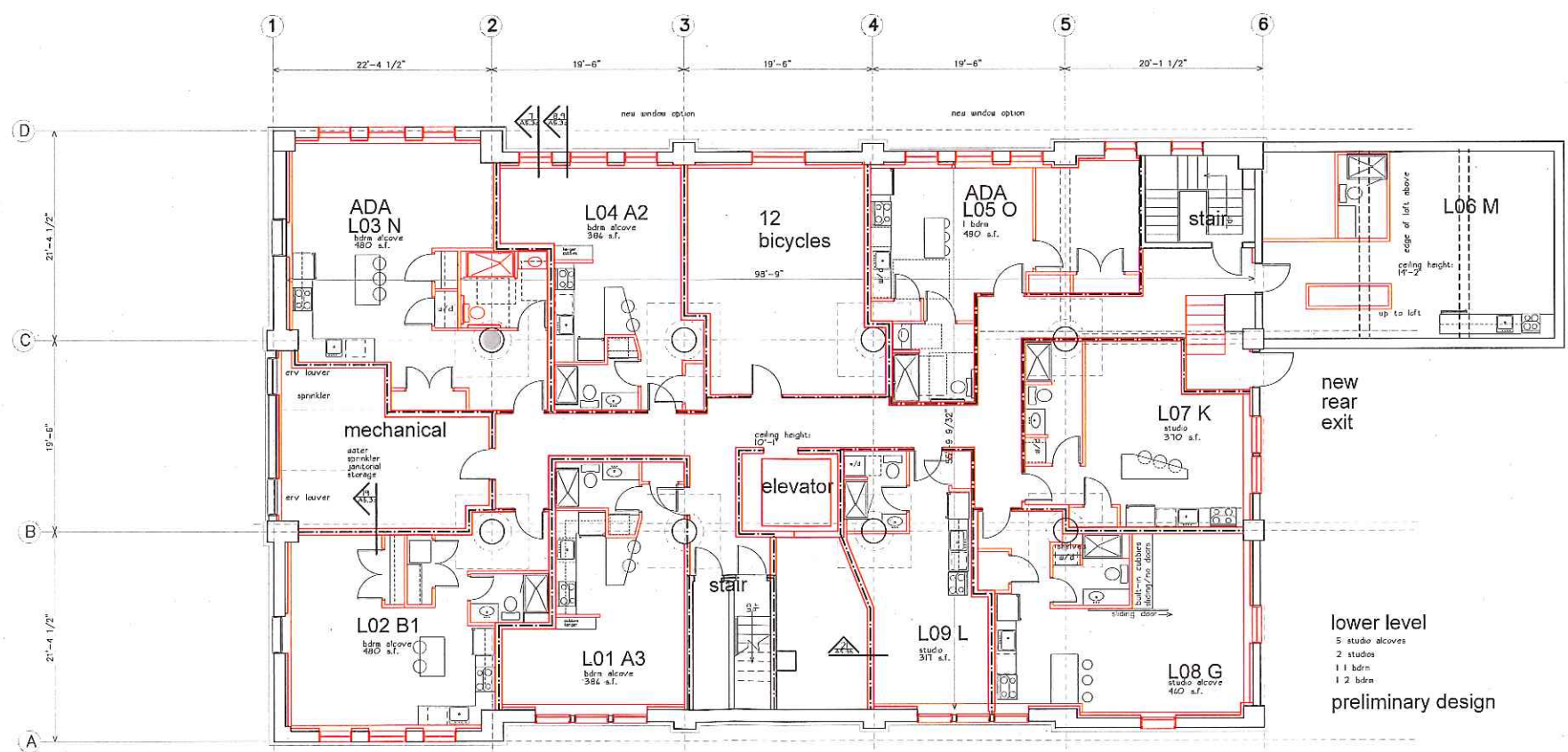
TITLE  
**THE SCHLOTTERBECK BLOCK  
 117 PREBLE STREET, PORTLAND MAINE  
 SITE LIGHTING LAYOUT**

SWANEY LIGHTING ASSOCIATES, INC.

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**1st floor**  
 2 bedroom alcove  
 2 studios  
 2 1 bdrn  
 preliminary design



**lower level**  
 5 studio alcoves  
 2 studios  
 1 1 bdrn  
 1 2 bdrn  
 preliminary design

project name  
**Schlotterbeck Block**  
 117 Preble Street  
 Portland, Maine

Schlotterbeck Block LLC  
 goduti/thomas architects  
 44 oak st.  
 portland, maine 04101  
 ph. 207-775-3184  
 fax 207-774-0846

revisions  
 date  
 october 2015  
 sheet title

**1st floor plan  
 lower level plan**

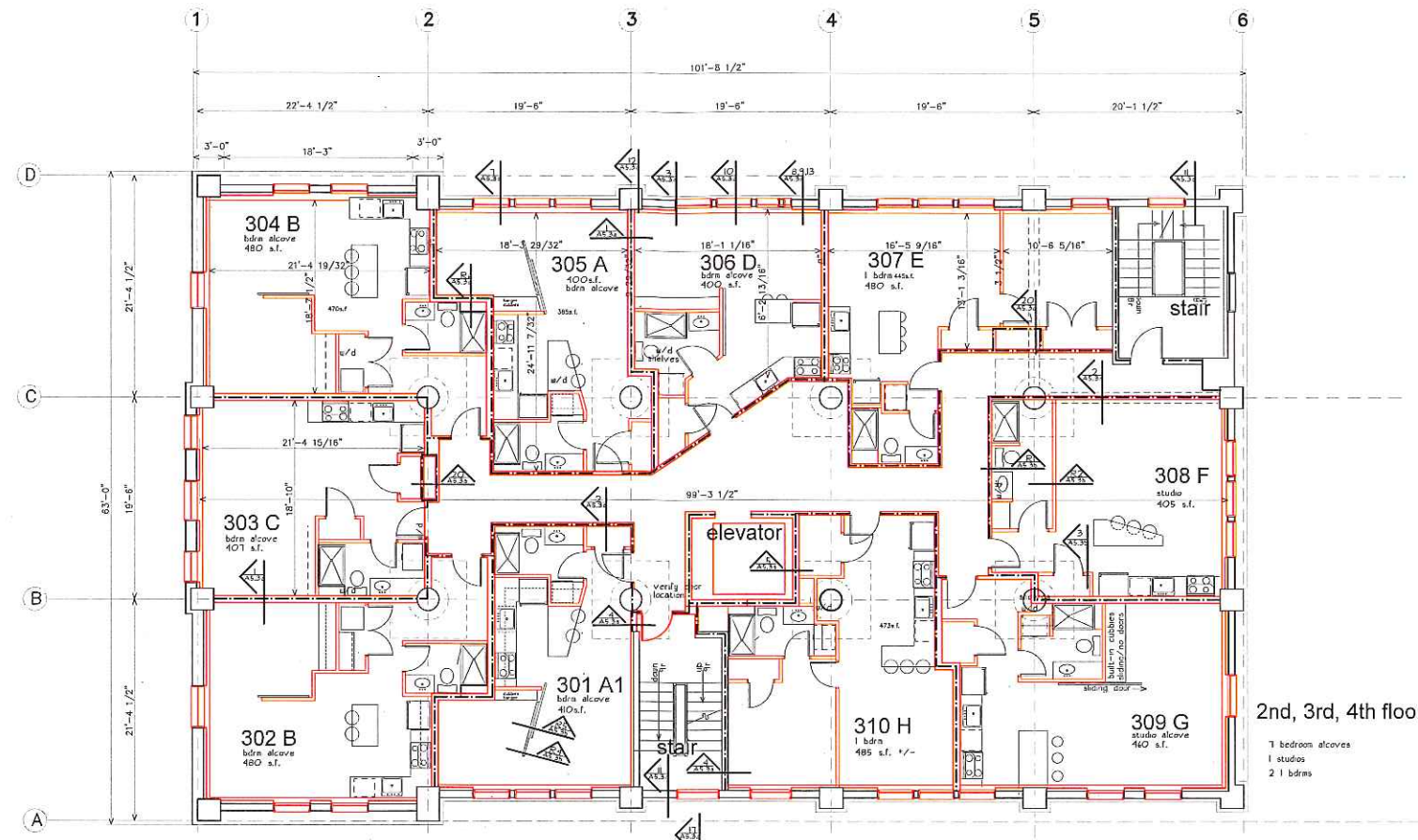
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drawn by  
 MS

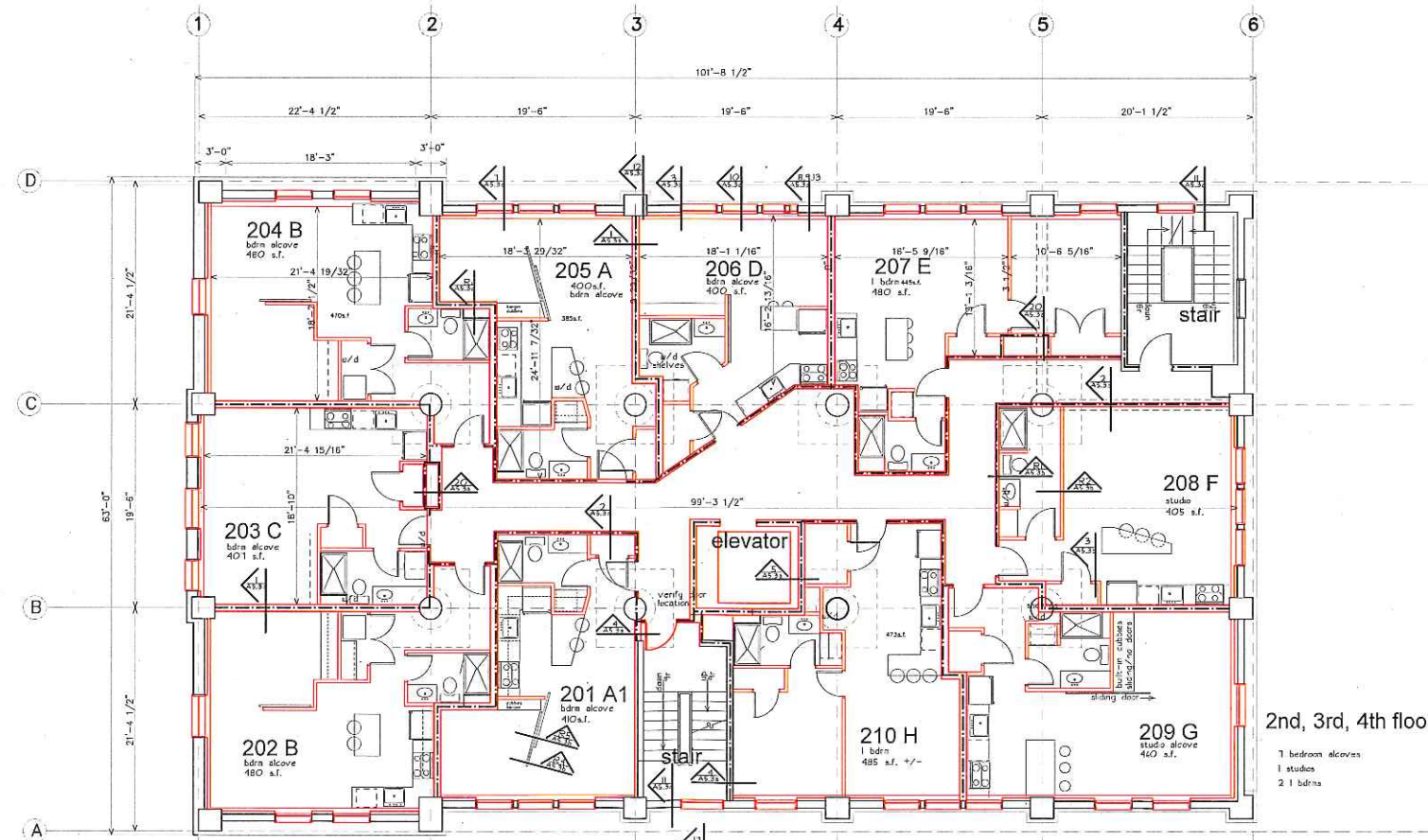
project number  
 breuer

sheet number



2nd, 3rd, 4th floors

1 bedroom alcoves  
1 studios  
2 1 brdrs



2nd, 3rd, 4th floors

1 bedroom alcoves  
1 studios  
2 1 brdrs

project name

# Schlotterbeck Block

117 Preble Street  
Portland, Maine

Schlotterbeck Block LLC

goduti/thomas architects

44 oak st.

portland, maine 04101

ph. 207-775-3184

fax 207-774-0846

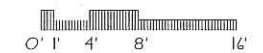
revisions

date

october 2015

sheet title

5th floor plan  
2nd, 3rd, 4th floor plans



scale

1/8"=1'-0"

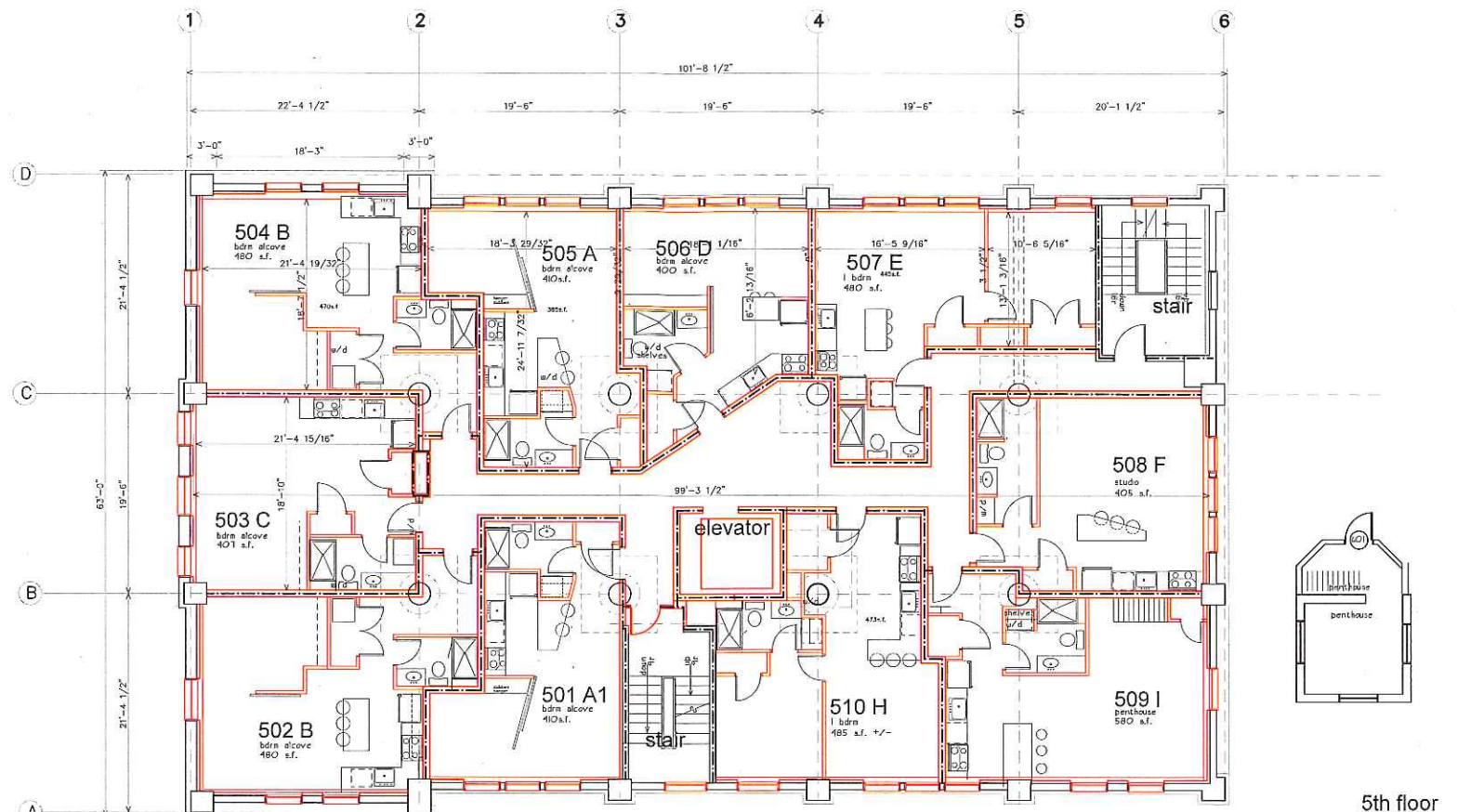
drawn by

MIS

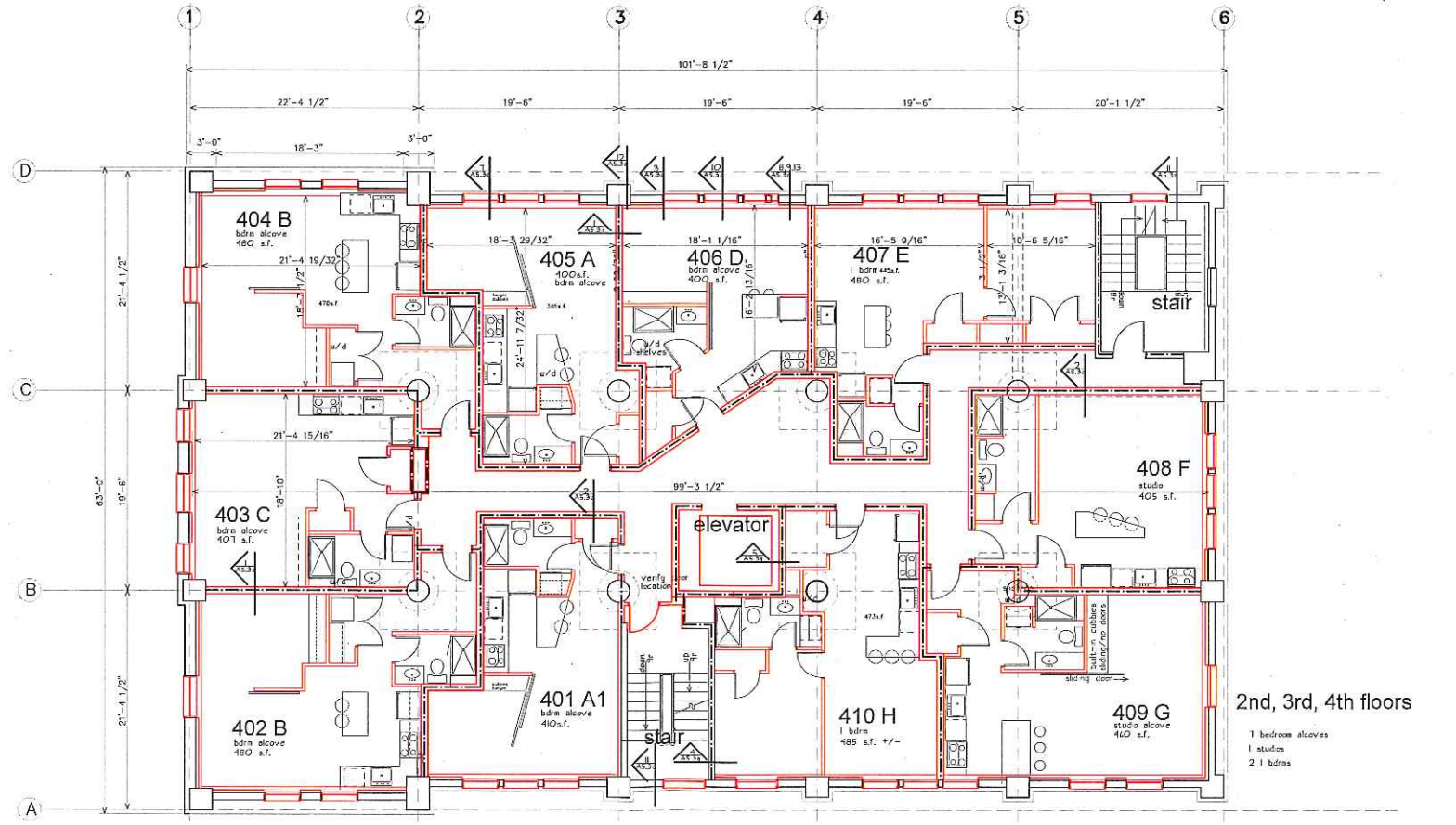
project number

brewer

sheet number



5th floor  
 6 bedroom alcoves  
 1 studios  
 2 1 bdrms  
 1 penthouse



2nd, 3rd, 4th floors  
 1 bedroom alcoves  
 1 studios  
 2 1 bdrms

project name

# Schlotterbeck Block

117 Preble Street  
 Portland, Maine

Schlotterbeck Block LLC

goduti/thomas architects

44 oak st.

portland, maine 04101

ph. 207-775-3184

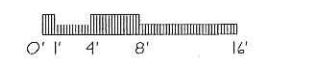
fax 207-774-0846

revisions

date  
 october 2015

sheet title

5th floor plan  
 2nd, 3rd, 4th floor plans



scale  
 1/8" = 1'-0"

drawn by  
 MS

project number  
 brewer

sheet number

project name

# Schlotterbeck Block

117 Preble Street  
Portland, Maine

Schlotterbeck Block LLC

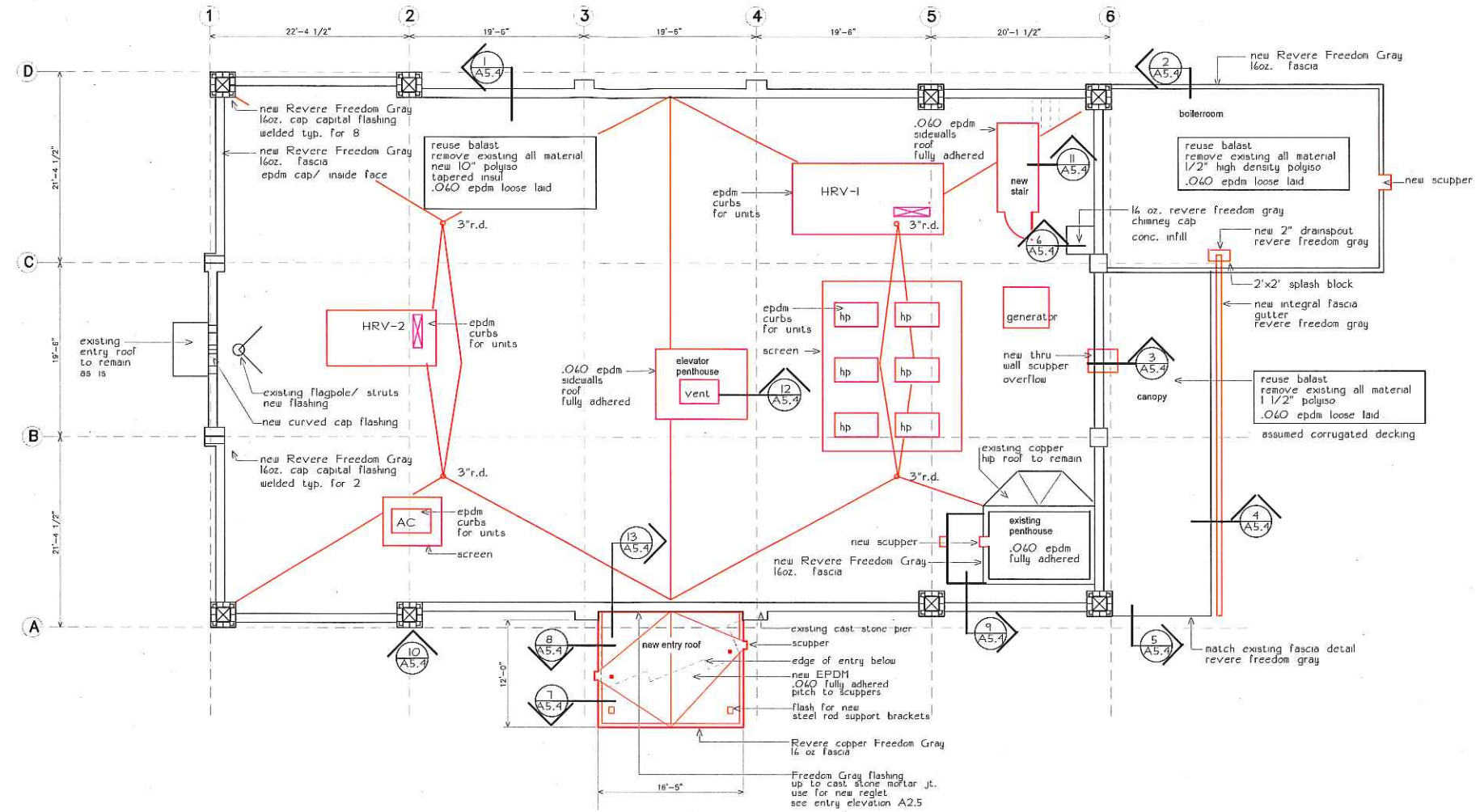
goduti/thomas architects

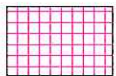
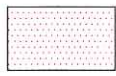
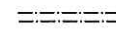
44 oak st.

portland, maine 04101

ph. 207-775-3184

fax 207-774-0846



-  loft floor: 1'-9" above floor  
1'-6" ceiling height below
-  existing ceiling height  
exposed concrete  
natural or painted as is  
10'-10" high
-  exposed ductwork  
supply / return duct  
4'x 6' / 6'x8' sizes

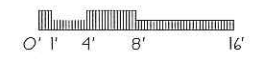
revisions

date

october 2015

sheet title

## roof plan



scale

1/8"=1'-0"

drawn by

RG

project number

breuer

sheet number

# A1.4



project name

# Schlotterbeck Block

117 Preble Street  
Portland, Maine

Schlotterbeck Block LLC

goduti/thomas architects

44 oak st.

portland, maine 04101

ph. 207-775-3184

fax 207-774-0846



South elevation  
Residential entry



Preble st. elevation  
original entry elevation

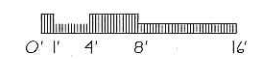
revisions

date

october 2015

sheet title

## elevations



scale

1/8"=1'-0"

drawn by

MS

project number

schlotterbeck

sheet number

project name

# Schlotterbeck Block

117 Preble Street  
Portland, Maine

Schlotterbeck Block LLC

goduti/thomas architects

44 oak st.

portland, maine 04101

ph. 207-775-3184

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Kennebec St. elevation



Elm St. elevation

revisions

date  
october 2015

sheet title

## elevations



scale  
1/8"=1'-0"

drawn by  
MS

project number  
schlotterbeck

sheet number



South elevation  
Residential entry



Prebble st. elevation  
original entry elevation

project name

# Schlatterbeck Block

117 Preble Street  
Portland, Maine

Schlatterbeck Block LLC


goduti/thomas architects


44 oak st.


portland, maine 04101

ph. 207-775-3184

fax 207-774-0846

 hatch indicates area where masonry needs to be cut and repointed  
see detail O sheet A5.O

 hatch indicates area where masonry needs to be repaired and repointed  
see detail O sheet A5.O

 repair spalled cast stone

 spalled cement coating repair

#### WINDOW STEEL LINTEL SCHEDULE

- type A: original lintel has been replaced  
no work necessary
- type B: original lintel in place  
repair, replace
- type C: replace existing lintel  
with new galvanized lintel
- type B/C: either repair or replace  
inspect with lift

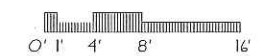
- NOTES:
1. wash all brick  
product: Eco Chem, Restore One
  2. remove all loose cement based waterproof coating on existing cast stone  
apply new coating layer over all existing cast stone
  3. cut and point all brick to cast stone joints and all cast stone to cast stone joints
  4. % of misc. repointing incomplete (no lift)

revisions

date  
october 2015

sheet title

#### masonry repair elevations



scale

1/8"=1'-0"

drawn by

MS

project number

breacr

sheet number

project name

# Schlotterbeck Block

117 Preble Street  
Portland, Maine

Schlotterbeck Block LLC

goduti/thomas architects


44 oak st.


portland, maine 04101

ph. 207-775-3184

fax 207-774-0846

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see detail O sheet A5.0

 hatch indicates area where masonry needs to be repaired and repointed  
see detail O sheet A5.0

 repair spalled cast stone

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type A: original lintel has been replaced  
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with new galvanized lintel

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inspect with lift

- NOTES:
1. wash all brick  
product: Eco Chem, Restore One
  2. remove all loose cement based waterproof coating on existing cast stone  
apply new coating layer over all existing cast stone
  3. cut and point all brick to cast stone joints and all cast stone to cast stone joints

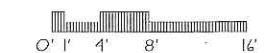
revisions

date

october 2015

sheet title

#### masonry repair elevations



scale

1/8"=1'-0"

drawn by

MS

project number

breuer

sheet number

**A2.4**



Kennebec St. elevation

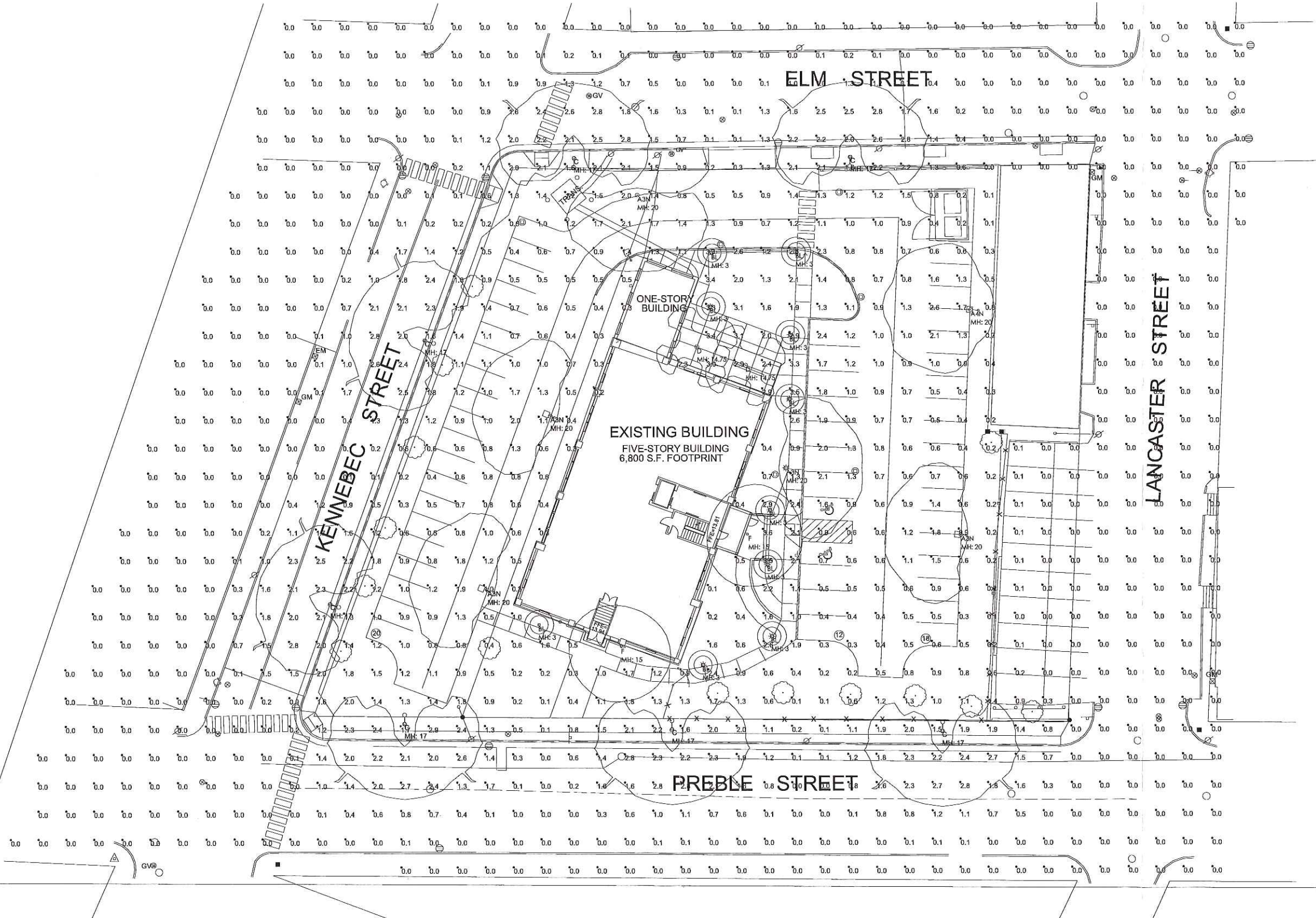


Elm St. elevation

Calculation Summary							
Label	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
BACK PARKING	0.90	1.9	0.4	2.25	4.75	10	10
ENTRY DRIVE	1.43	3.1	0.4	3.58	7.75	10	10
FRONT PARKING	0.98	2.6	0.3	3.27	8.67	10	10
FULL SITE	0.62	3.6	0.0	N.A.	N.A.	10	10

Luminaire Schedule (note fixture catalogue numbers are not complete)						
Type	Symbol	Qty	Lum. Lumens	LLF	Lum. Watts	Description
A4N	⊙	1	3912	0.900	63.4	RA174E35-60L3K-NFO
A3N	⊙	5	3248	0.900	63.2	RA173E35-60L3K-NFO
C	⊙	7	6220	0.900	109	ESL 110 4K AS X 7 DS
D	⊙	2	4812	0.900	65.1	PGL71WE35-60L3K
F	⊙	2	1058	0.900	19.5	SW1-18LED-3500K
BL	⊙	10	1125	0.800	95	BOL FP45_13 L-CI_XX-M50 00-V

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
  - 2) CALCULATIONS MAY SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
  - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE UNLESS OTHERWISE INDICATED.
  - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
  - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
  - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
  - 7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



PLAN VIEW

L7.0 -- LIGHTING PHOTOMETRICS PLAN

TITLE  
**THE SCHLOTTERBECK BLOCK  
 117 PREBLE STREET, PORTLAND MAINE  
 SITE LIGHTING LAYOUT**

GENERATED FOR  
**MITCHELL & ASSOC**  
 SCALE NOT TO SCALE  
 DATE 10-23-15, AGJ  
 L7.0-Photometrics



NOTICE: THIS DRAWING IS THE EXCLUSIVE PROPERTY OF SWANEY LIGHTING ASSOCIATES. ITS ACCEPTANCE CONSTITUTES AN AGREEMENT THAT THE DRAWING WILL BE TREATED AS CONFIDENTIAL. THIS DRAWING IS TO BE USED FOR NO PURPOSE OTHER THAN AS SPECIFICALLY RETURNED UPON REQUEST AND IS NOT TO BE COMMUNICATED, DISCLOSED OR COPIED, EXCEPT AS EXPRESSLY AUTHORIZED BY SWANEY LIGHTING ASSOCIATES. THE BEST UTILIZATION OF LIGHTING FIXTURES INCLUDED IN THIS DRAWING, IT IS PROVIDED USING FIXTURE PERFORMANCE DATA FURNISHED BY THE MANUFACTURER. ANY VARIATION IN FIXTURE PERFORMANCE FROM THAT SHOWN FOR ANY OTHER PURPOSE IS NOT AUTHORIZED BY SWANEY LIGHTING ASSOCIATES.

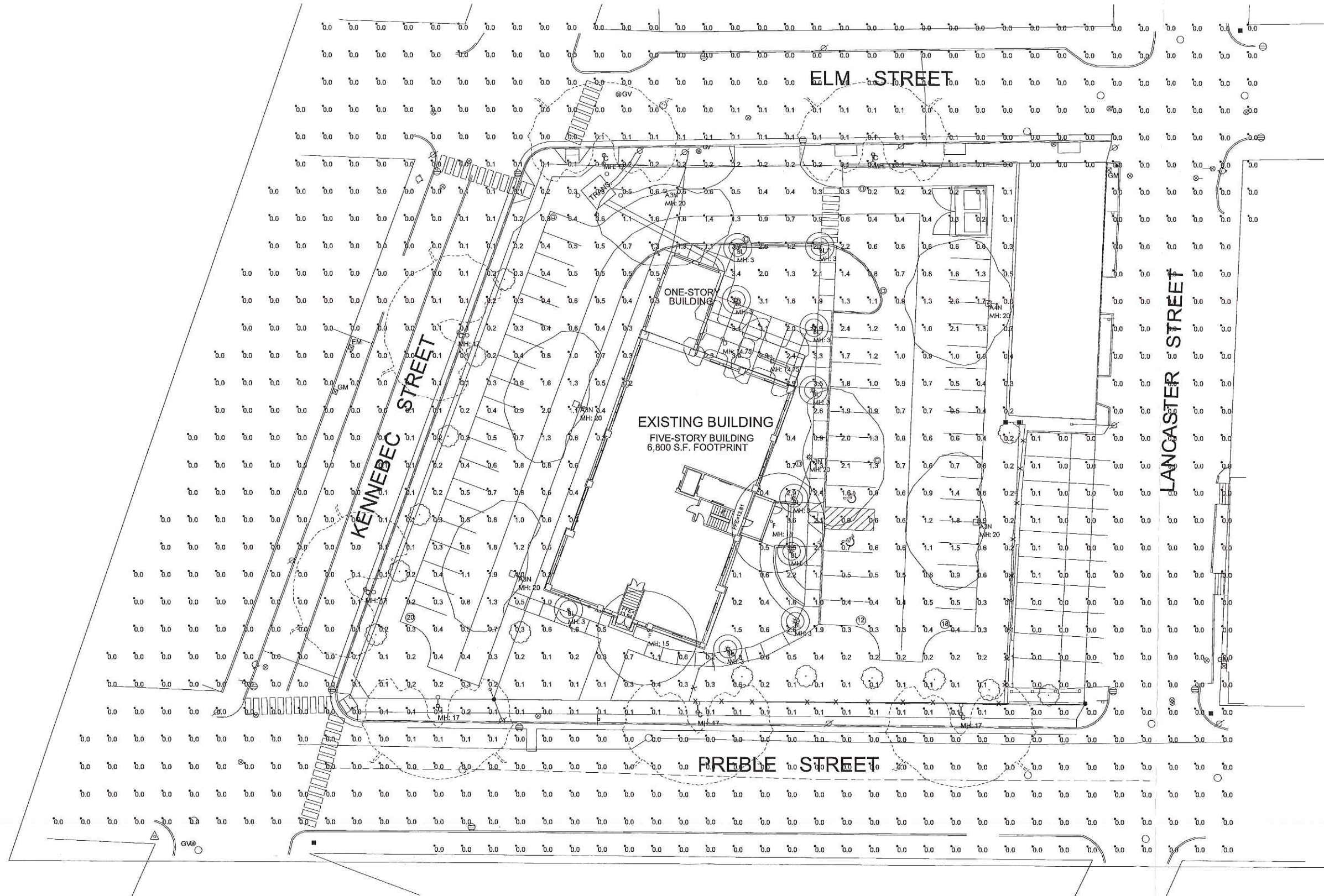
GENERATED BY SWANEY LIGHTING, SCARBOROUGH ME - 207-883-7100 - swaneylighting.com

Calculation Summary							
Label	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
BACK PARKING	0.73	1.9	0.3	2.43	6.33	10	10
ENTRY DRIVE	1.25	3.1	0.3	4.17	10.33	10	10
FRONT PARKING	0.93	2.6	0.3	3.10	8.67	10	10
FULL SITE	0.26	3.6	0.0	N.A.	N.A.	10	10

Luminaire Schedule (note fixture catalogue numbers are not complete)						
Type	Symbol	Qty	Lum. Lumens	LLF	Lum. Watts	Description
A4N	⊙	1	3912	0.900	63.4	RA174E35-60L3K-NFO
A3N	⊙	5	3248	0.900	63.2	RA173E35-60L3K-NFO
C	⊙	7	6220	0.900	109	ESL 110 4K AS X 7 DS
D	⊙	2	4812	0.900	65.1	PGL71WE35-60L3K
F	⊙	2	1058	0.900	19.5	SW1-18LED-3500K
BL	⊙	10	1125	0.800	95	BOL_FP45_13_L-CI_XX-M50_00-V

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
  - 2) CALCULATIONS MAY SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
  - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE UNLESS OTHERWISE INDICATED.
  - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
  - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
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  - 7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.

# STREET LIGHTING TURNED OFF



PLAN VIEW

L7.1 - LIGHTING PHOTOMETRICS PLAN (WITHOUT STREET LIGHTS)

THE SCHLOTTERBECK BLOCK  
117 PREBLE STREET, PORTLAND MAINE  
SITE LIGHTING LAYOUT

GENERATED FOR:  
MITCHELL & ASSOC  
SCALE: NOT TO SCALE  
DATE: 10-23-15, AGJ



NOTICE: THIS DRAWING IS THE EXCLUSIVE PROPERTY OF SWANEY LIGHTING ASSOCIATES. ITS ACCEPTANCE CONSTITUTES AN AGREEMENT THAT THE DRAWING WILL BE TREATED AS CONFIDENTIAL AND NOT TO BE REPRODUCED, COPIED, DISCLOSED OR COPIED, EXCEPT AS REQUIRED UPON REQUEST AND IS NOT TO BE COMMUNICATED, DISCLOSED OR COPIED, EXCEPT AS REQUIRED UPON REQUEST. THE INTENT OF THIS LIGHTING LAYOUT IS TO SUGGEST THE BEST UTILIZATION OF LIGHTING FIXTURES INCLUDED IN THIS DRAWING. IT IS PROVIDED USING FIXTURE PHOTOMETRICS PERFORMANCE SHOWN IN THIS FILE IS NOT THE RESPONSIBILITY OF THE MANUFACTURER. ITS USE FOR ANY OTHER PURPOSE IS NOT AUTHORIZED BY SWANEY LIGHTING ASSOCIATES.

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**DRAINAGE STRUCTURE SCHEDULE**

ALL CATCH BASIN PRECAST CONCRETE STRUCTURES SHALL BE 4'-0" DIAMETER (INSIDE).

**CB#1**  
RIM: 10.75  
INV. OUT (8"): 8.07

**CB#2**  
RIM: 11.10  
INV. IN (8"): 7.94  
INV. OUT (12"): 7.64

**CB#3**  
RIM: 10.80  
INV. IN (12"): 7.54  
INV. OUT (12"): 7.44

**CB#4**  
RIM: 10.40  
INV. IN (12"): 7.26  
INV. OUT (12"): 7.16

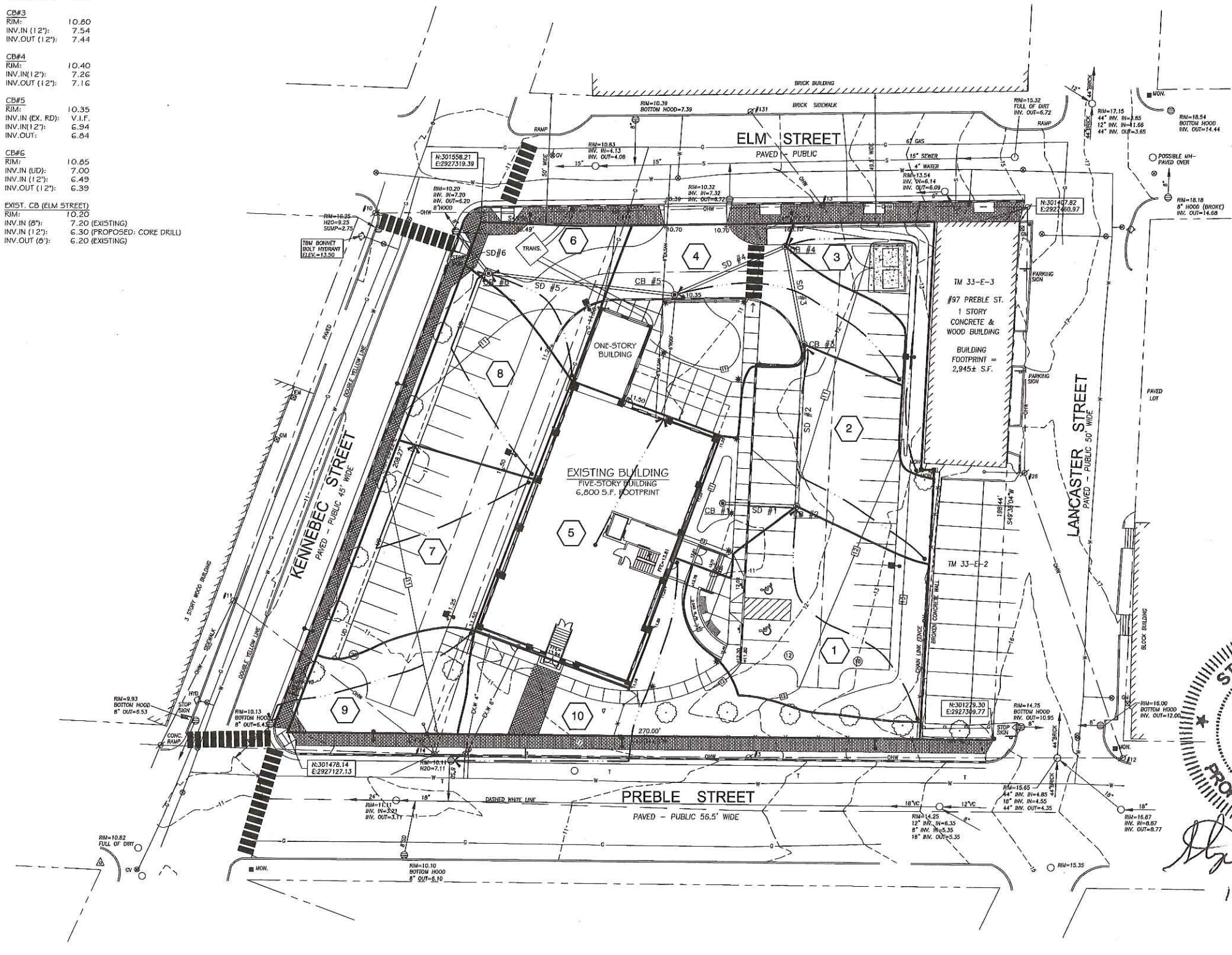
**CB#5**  
RIM: 10.35  
INV. IN (CX. RD): V.I.F.  
INV. IN (12"): 6.94  
INV. OUT: 6.84

**CB#6**  
RIM: 10.85  
INV. IN (UD): 7.00  
INV. IN (12"): 6.49  
INV. OUT (12"): 6.39

**EXIST. CB (ELM STREET)**  
RIM: 10.20  
INV. IN (8"): 7.20 (EXISTING)  
INV. IN (12"): 6.30 (PROPOSED: CORE DRILL)  
INV. OUT (8"): 6.20 (EXISTING)

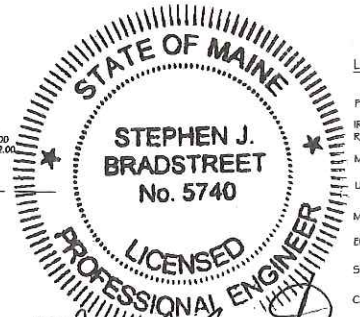
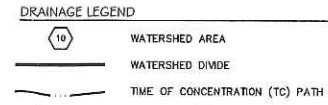
**STORM DRAIN SCHEDULE**

SD NO.	PIPE TYPE	LENGTH	SLOPE (FT/FT)
SD#1	12" HDPE	26 L.F.	0.005
SD#2	12" HDPE	60 L.F.	0.005
SD#3	12" HDPE	36 L.F.	0.005
SD#4	12" HDPE	44 L.F.	0.005
SD#5	12" HDPE	69 L.F.	0.005
SD#6	12" HDPE	18 L.F.	0.005



**GRADING AND DRAINAGE NOTES:**

- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ADDITIONAL WORK PROCEEDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION OF OR INSTALLATION OF ANY PART OF THIS WORK.
- CONTRACTOR SHALL AVOID ALL AREAS NOT REQUIRING GRADING. CONTRACTOR SHALL NOT DISTURB THESE AREAS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL DIGSAFE (1-888-344-7233) AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- CONTRACTOR SHALL CONDUCT TEST PIT EXCAVATION TO CONFIRM LOCATION OF EXISTING UTILITIES WHERE NEW UNDERGROUND ELECTRICAL, TELEPHONE AND CATV SERVICES ARE PROPOSED.
- WHERE STORM DRAINS OR SEWER MAINS HAVE LESS THAN FOUR (4) FEET OF COVER BETWEEN TOP OF PIPE AND FINISH GRADE. INSULATE PIPE USING TWO (2) INCH THICK STYROFOAM INSULATION BOARD OVER AND ALONG SIDES OF THE PIPE.
- EXISTING DRAINAGE CATCHBASIN SHALL BE CORED TO ACCEPT NEW DRAINAGE PIPE AS NOTED.
- PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE-HALF OF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
- ALL UTILITIES SHALL BE INSTALLED IN CONFORMANCE WITH INDIVIDUAL UTILITY DISTRICT REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH APPROPRIATE UTILITY DISTRICT BEFORE INSTALLATION.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- DISCONTINUED UTILITY SERVICES INCLUDING WATER, GAS AND SANITARY SEWER SHALL BE PERMANENTLY CAPPED CONFORMING TO UTILITY COMPANY AND CITY OF PORTLAND STANDARDS. CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICES AND/OR UTILITY COMPANY.
- THE PROJECT BENCH MARK IS BONNET BOLT OF FIRE HYDRANT LOCATED AT INTERSECTION OF ELM STREET AND KENNEBEC STREET. BENCHMARK ELEVATION: 13.50.
- BMP INSPECTIONS: THE OWNER SHALL HIRE A QUALIFIED POST-CONSTRUCTION STORMWATER INSPECTOR TO ANNUALLY, INSPECT THE BMPs, INCLUDING CATCH BASIN, DISWELL, IN-LINE ROOF FILTERS, PIPES AND RELATED STRUCTURES, IN ACCORDANCE WITH ALL MUNICIPAL AND STATE INSPECTION, CLEANING AND MAINTENANCE REQUIREMENTS OF THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PER SECTION 32 OF THE CITY OF PORTLAND CODE OF ORDINANCES).
- SITE LIGHTING SHALL MEET THE CITY OF PORTLAND STANDARDS AS OUTLINED IN SECTION 12 OF THE CITY OF PORTLAND TECHNICAL DESIGN STANDARDS. SITE LIGHTING SHALL ADHERE TO SECTION 12.2.5 LIGHT Trespass-LIGHTING SHALL NOT BE GREATER THAN 0.1 FOOTCANDLES AT THE PROPERTY LINE.



**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	●	○
MONUMENT FOUND	■	□
UTILITY POLE	⊙	⊙
MANHOLE	○	○
ELECTRIC/GAS METER	EM/GM	EM/GM
SIGN	⊖	⊖
CATCH BASIN	⊕	⊕
HYDRANT	⊙	⊙
WATER VALVE	⊕	⊕
LIGHT POLE	⊙	⊙
FENCE	⊗	⊗
GRANITE CURB	▬	▬
SUPPORT CONCRETE CURB	▬	▬
OVERHEAD WIRES	OH/W	OH/W
WATER LINE	W	W
GAS LINE	G	G
TELEPHONE	T	T
STORM DRAIN	SD	SD
SANITARY SEWER	S	S
1' CONTOUR	10	10

Prepared For:  
Owner and Applicant:  
**SCHLOTTERBECK BLOCK L.L.C.**  
77 Space Street  
Portland, Maine 04101  
Tel: 207-659-8979

Prepared By:  
**MITCHELL & ASSOCIATES**  
Landscape Architects  
70 Center Street  
Portland, Maine 04101  
Tel: 207-774-4427

**GODUTI-THOMAS ARCHITECTS**  
44 Oak Street #2  
Portland, Maine 04101  
Phone: 207-775-3184

**The Schlotterbeck Block**

Portland, Maine

117 Preble Street

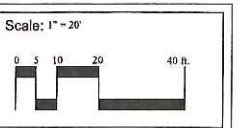
Date: SEPTEMBER 29, 2015

Issued For:

Revisions:

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Title: POST-DEVELOPMENT STORMWATER PLAN



North:

Sheet No.: **SW-2**