

Prepared For:
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The Schlotterbeck Block

Portland, Maine

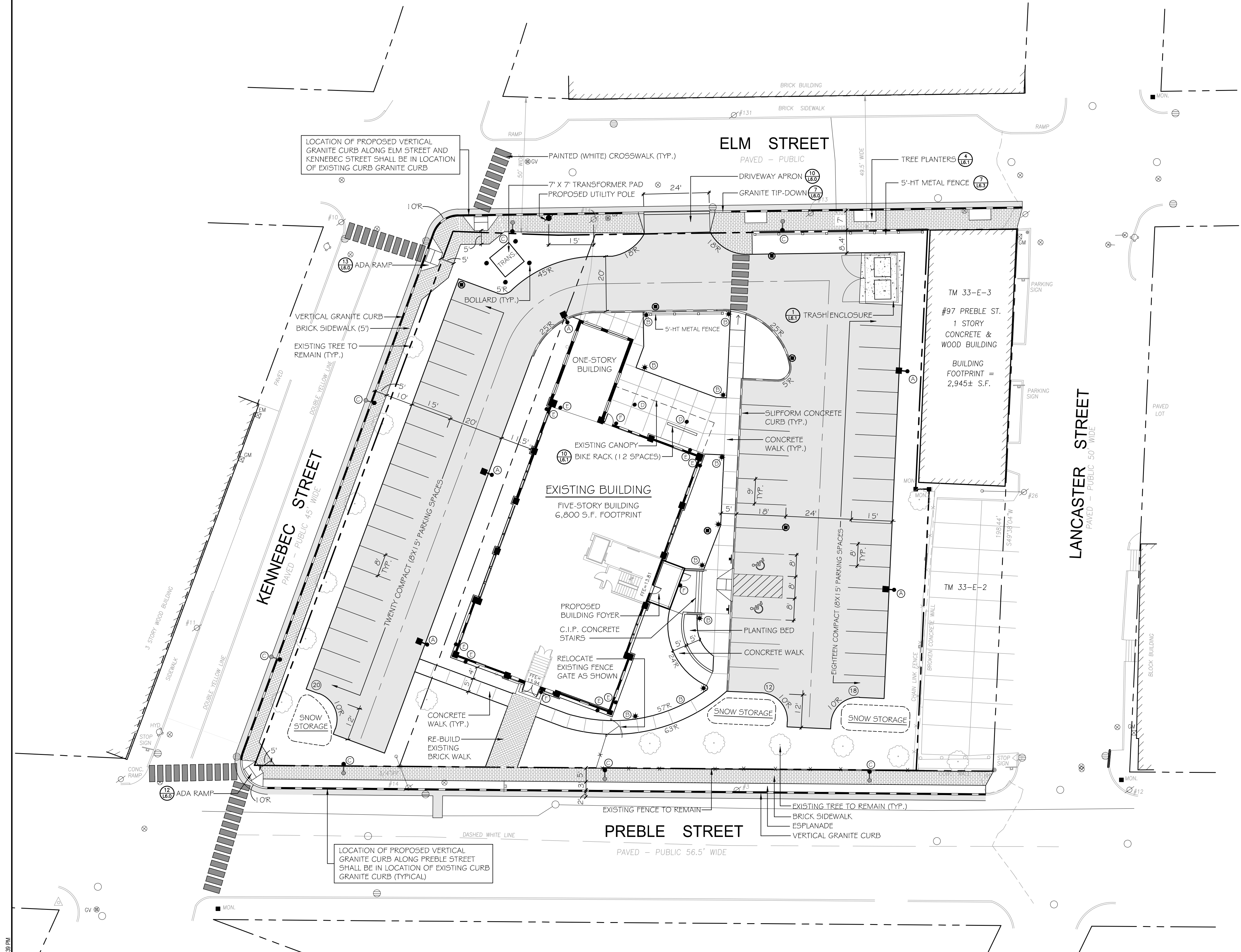
117 Preble Street

- GENERAL NOTES**
- SITE AREA: 40,720 S.F. OR 0.93 ACRE
 - APPLICANT: SCHLOTTERBECK BLOCK, LLC
77 SPRUCE STREET
PORTLAND, MAINE 04101
 - RECORD OWNER: J.B. BROWN & SONS
482 CONGRESS STREET
P.O. BOX 207
PORTLAND, MAINE 04112
 - LOT DATA: TAX MAP 33, BLOCK E, LOT 1
C.C.R.D BOOK 26354, PAGE 312
AREA: 30,492 S.F.
- TAX MAP 33, BLOCK E, LOT 5
C.C.R.D BOOK 26354, PAGE 314
AREA: 10,314 S.F.
- THE SURVEYED PARCELS ARE SHOWN AS LOTS 1 AND 5, BLOCK E, ON THE CITY OF PORTLAND'S ASSESSORS MAP 33.
 - A PORTION OF THE PARCEL IS LOCATED, BY SCALING METHODS, WITHIN ZONE C (AREAS OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE COMMUNITY PANEL NO. 230051-0013-B WITH AN EFFECTIVE DATE OF JULY 17, 1986. THE FLOOD ELEVATION FOR THE A2 ZONE WHICH ENCOMPASSES BACK COVE HAS AN ELEVATION OF 10 N.G.V.D. 1929. HOWEVER, THE TOPOGRAPHICAL SURVEY OF THE PARCEL SHOWS THE LOT ABOVE THE ELEVATION OF 10 N.G.V.D. (1929).
 - UTILITIES SHOWN ARE BASED ON A PLAN ENTITLED 'BOUNDARY AND TOPOGRAPHIC SURVEY OF 117 PREBLE STREET', PERFORMED BY OWEN HASKELL, INC., DATED JULY 7, 2015.
 - ZONING DISTRICT: B-7 MIXED DEVELOPMENT DISTRICT ZONE
 - SPACE AND BULK STANDARDS:

	REQUIRED	PROPOSED
MINIMUM LOT SIZE:	NONE	40,720 S.F.
MINIMUM FRONTAGE:	NONE	242 FEET
FRONT SETBACK:	NONE REQUIRED	18 FEET
SIDE SETBACK:	NONE REQUIRED	5 FEET
REAR SETBACK:	NONE REQUIRED	31 FEET
MAX. STREET SETBACK:	10 FEET	18 FEET (EXISTING)
MAX. BUILDING LOT COVERAGE:	100 PERCENT	68 PERCENT
MAX. BUILDING HEIGHT:	105 FEET	NA
MIN. BUILDING HEIGHT:	45 FEET	NA
 - BICYCLE PARKING:

REQUIRED:	24 SPACES (22 RESIDENTIAL, 2 COMMERCIAL)
PROPOSED:	24 SPACES (12 EXTERIOR, 12 INTERIOR)
 - ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND ALL UTILITIES CONNECTING TO INFRASTRUCTURE WITHIN THE ROAD SHALL MEET CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
 - PARKING SUMMARY:

PARKING REQUIRED PER PARKING ANALYSIS:	50 SPACES
PROPOSED PARKING:	50 SPACES
PROPOSED COMPACT (8' X 15'):	38 SPACES (76%)
REQUIRED A.D.A. ACCESSIBLE SPACES:	2 SPACES
PROPOSED A.D.A. ACCESSIBLE SPACES:	2 SPACES



LOCATION OF PROPOSED VERTICAL GRANITE CURB ALONG ELM STREET AND KENNEBEC STREET SHALL BE IN LOCATION OF EXISTING CURB GRANITE CURB

VERTICAL GRANITE CURB
 BRICK SIDEWALK (5')
 EXISTING TREE TO REMAIN (TYP.)

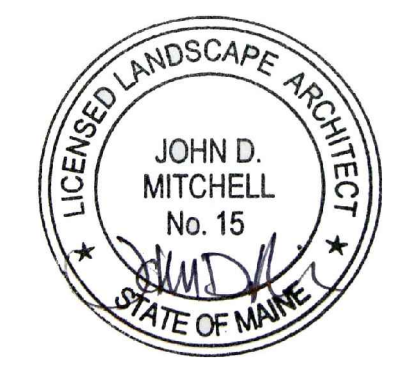
LOCATION OF PROPOSED VERTICAL GRANITE CURB ALONG PREBLE STREET SHALL BE IN LOCATION OF EXISTING CURB GRANITE CURB (TYPICAL)

LIGHTING SCHEDULE

KEY	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP
■ (A)	5	KIM	RA17-3-E35-GOL	KIM 17" ERA LED -- PARKING LOT LIGHT	LED, TYPE III, FULL CUT-OFF
● (B)	9	HOLOPHANE	BOL-PP45-13	FREEMONT CAST IRON BOLLARD	70W, METAL HALIDE
● (C)	7	HOLOPHANE	ESL 110 4K AS X	BAYSIDE DISTRICT FIXTURE 'MEDIUM' LED TEARDROP	110 W 100 LED ARRAY
● (D)	2	KIM	PGL71-E35-GOL	KIM PGL7 LED -- CANOPY LIGHT	GOL - LED
● (E)	6	KIM	WD14-LED	KIM 14" WALL DIRECTOR -- UPLIGHT	GOL - LED, TYPE III
● (F)	3	KIM	SW3-18L3KUV	KIM SITE WALLFORMS LED -- BUILDING MOUNTED LIGHT (DOOR)	GOL - LED

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
IRON PIPE OR ROD FOUND	●	---
MONUMENT FOUND	■	---
UTILITY POLE	○	---
MANHOLE	○	---
ELECTRICAL/GAS METER	⊗ EM/GM	---
SIGN	---	---
CATCH BASIN	⊗	---
HYDRANT	⊗	---
WATER VALVE	⊗	---
LIGHT POLE	⊗	---
FENCE	--- X ---	---
GRANITE CURB	---	---
SUPPLY CONCRETE CURB	---	---
OVERHEAD WIRES	--- OHW ---	---
WATER LINE	--- W ---	---
GAS LINE	--- G ---	---
TELEPHONE	--- T ---	---
STORM DRAIN	--- SD ---	---
SANITARY SEWER	--- S ---	---
1' CONTOUR	--- 10 ---	---



Date: OCTOBER 5, 2015

Issued For:

Revisions:

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Title: LAYOUT AND LIGHTING PLAN

Scale: 1" = 20'

North:

Sheet No.: L2.0