

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 31-33 Alder St		Owner: OREN Ahlquist, J. Orren		Phone:		Permit No 970029	
Owner Address: 266 Beach Ridge Rd Scarborough, ME 04074		Leasee/Buyer's Name:		Phone: 839-4296		Business Name: 831-5124	
Contractor Name: CAA		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: JAN 15 1997 CITY OF PORTLAND </div>	
Past Use: 4-Fam		Proposed Use: Same		COST OF WORK: \$ 45,000.00 PERMIT FEE: \$ 245.00			
Proposed Project Description: Rehab after fire - No structural damage No layout change		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>		INSPECTION: Use Group: Type:		Zone: CBL:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Grosik		Date Applied For: 07 January 1997					

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: 1/17

30-3525 15370
30-3526 15371

#1

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

07 January 1997

SIGNATURE OF APPLICANT Oren Ahlquist ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT 2

COMMENTS

1-28-97 - no dumpster stickers / Floor joist. First N/C (rear) April 288 16" OC
Rear 2nd Floor / Rafters 2x8 2'0" span 4'10" 8'
3rd Fl Rear 2x8 Rafters 2'0" span 14'
No ASTM 5897 - ER5142 FR4407 UNUSER RT + EST 9661 160PST @ 93.4° =
100 RALD 50% / 80 PST @ 780° Tubing Van-12961014 / Feed tubes for
low flush + kitchen type N 1/2" copper to Aqu Apex WTR SBD
From tube @ tub / back vent is 4" sch 40 pipe / No air test ON @ time of Insp.
some new pierced pipe -

9/15/06 Closed G Name

Dana Tuttle Prof. Lic.
624-8603

Inspection Record

Date

Foundation: _____

Framing: _____

Plumbing: _____

Final: _____

Other: _____

PLUMBING APPLICATION

0330155
 Department of Human Services
 Division of Health Engineering

PROPERTY ADDRESS

Town Or Plantation: Portland
 Street Subdivision Lot #: 31 & 33 Alder St

PROPERTY OWNERS NAME

Last: Ahlquist First: Olson

Applicant Name: Edward J Conroy-TH

Mailing Address of Owner/Applicant (If Different): 13 Ham Rd Scarborough ME 04074

PORTLAND Date Permit Issued: 12/10/17 PERMIT # 5004 STATE COPY \$ 12.00 FEE If Double Fee Charged L.P.I. # 0124

Local Plumbing Inspector Signature: _____ Date Approved: _____

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 1/10/18

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: _____

PERMIT INFORMATION

This Application is for 1. <input type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING ✓ <u>Reburb accept pipe replaced same plumbing lines & fixtures</u>	Type Of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input checked="" type="checkbox"/> OTHER — SPECIFY <u>External Sewer Fixtures and Plumber Lines</u>	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>12492</u>
---	--	--

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.		Hosebibb / Sillcock		Bathtub (and Shower)
		Floor Drain		Shower (Separate)
OR PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal		Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1
				Fixtures (Subtotal) Column 2
				Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TRANSFER FEE [\$6.00]

\$ 12.00

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 31-33 Alder St		Owner: XXXXX Ahlquist, Oren		Phone:		Permit No: 970029	
Owner Address: 266 Beech Ridge Rd Scarborough, ME 04074		Lease/Buyer's Name:		Phone: 839-4296		BusinessName:	
Contractor Name: SAA		Address:		Phone:		Permit Issued: JAN 15 1997	
Past Use: 4-fam		Proposed Use: Same		COST OF WORK: \$ 45,000.00		PERMIT FEE: \$ 245.00 2500	
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R2 Type: 5B BOCA 96	
Proposed Project Description: Rehab after fire - No structural damage No layout change				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
Permit Taken By: Mary Gresik		Date Applied For: 07 January 1997		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zone: B-2 CBL: 033-D-017/018 Zoning Approval: 4-family ok in micro niche Special Zone or Reviews: ok with conditions Date: 1/10/97	
				Signature: _____		Date: _____	

PERMIT ISSUED
JAN 15 1997
CITY OF PORTLAND

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 1/8/97
D. Andrews

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Oren Ahlquist
SIGNATURE OF APPLICANT Oren Ahlquist ADDRESS: DATE: 07 January 1997 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT **2**
A Rowl

BUILDING PERMIT REPORT

DATE: 1/15/97 ADDRESS: 3133 Alhambra St

REASON FOR PERMIT: rehab interior finish

BUILDING OWNER: Wm Abbott

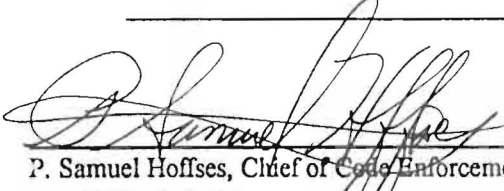
CONTRACTOR: Acc Building Assoc

PERMIT APPLICANT: Wm Abbott APPROVAL: *6*7*8*9*10*11*12
~~13~~*14*15*19*24
1 1 1

CONDITION OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
7. Headroom in habitable space is a minimum of 7'6".
8. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
9. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
10. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
11. Each apartment shall have access to two (20 separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
12. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
13. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. w/ smoke separation
14. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

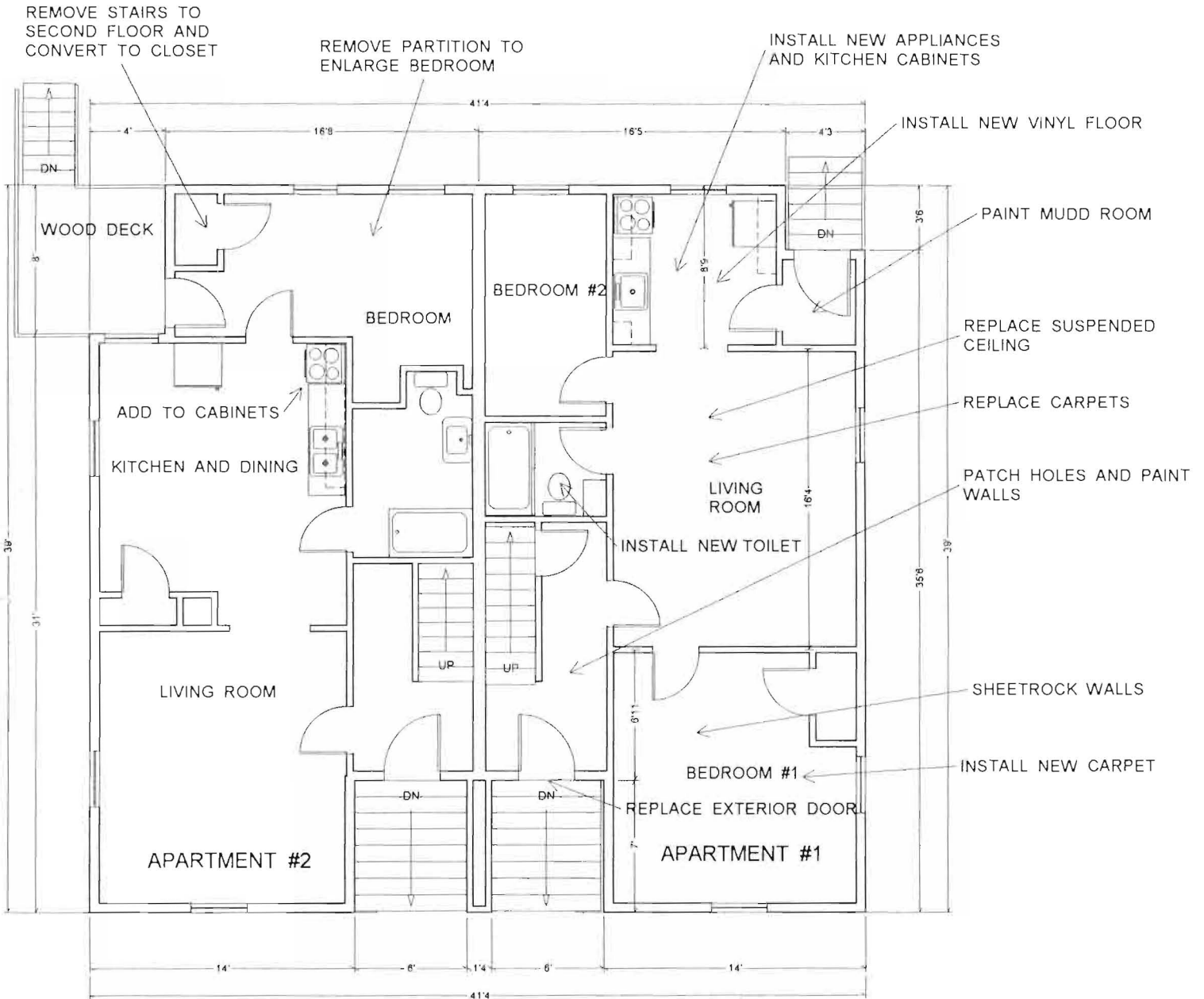
- 15. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 16. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 17. The Sprinkler System shall maintained to NFPA #13 Standard.
- 18. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 19. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
- 20. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 21. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 22. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- 24. Please read and implement #6 of The attached Land Use Zoning report.
- 25. _____
- 26. _____


 P. Samuel Hoffses, Chief of Code Enforcement

cc: Lt. McDougall, PFD
 Marge Schmuckal



EXHIBIT "B"
"AS PROPOSED"



FIRST FLOOR PLAN
31-33 ALDER STREET
PORTLAND, MAINE

EXHIBIT "D"
 SECOND FLOOR
 "AS PROPOSED"

PATCH DAMAGED VINYL
 SIDING ON REAR ELEVATION

REMOVE BACK STAIRWAY
 AND ENLARGE BEDROOM #5

REPAIR FIRE-DAMAGED
 ROOF OVER THIS AREA

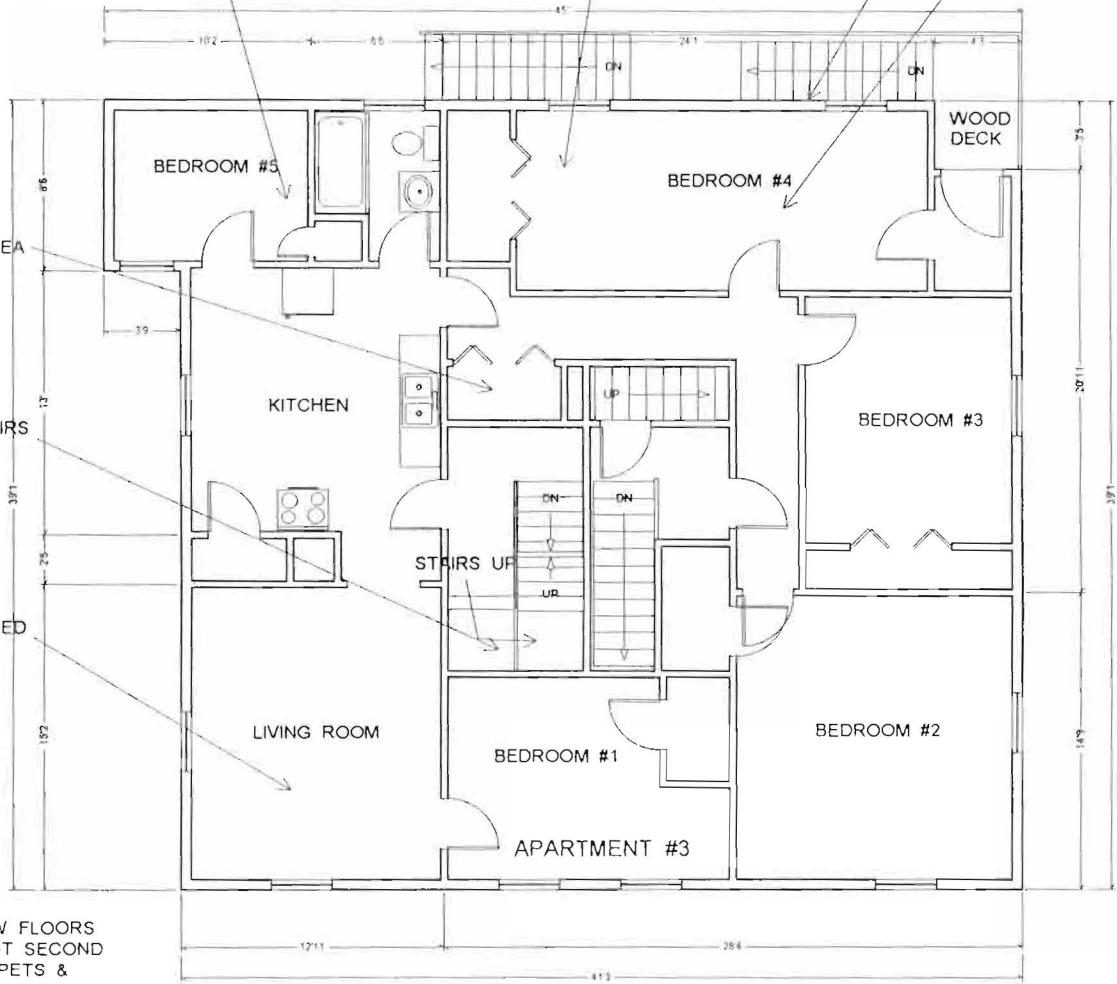
REMOVE KITCHEN,
 BATHROOM, AND LAUNDRY
 AREA AND FRAME FOR
 BEDROOM #4 AND HALL

REMOVE STAIRS TO 3RD
 FLOOR AND CONVERT AREA
 TO A CLOSET

CONSTRUCT NEW STAIRS
 TO 3RD FLOOR

INSTALL NEW SUSPENDED
 CEILINGS

INSTALL NEW FLOORS
 THROUGHOUT SECOND
 FLOOR, CARPETS &
 VINYL



SECOND FLOOR PLAN
 31-33 ALDER STREET
 PORTLAND, MAINE

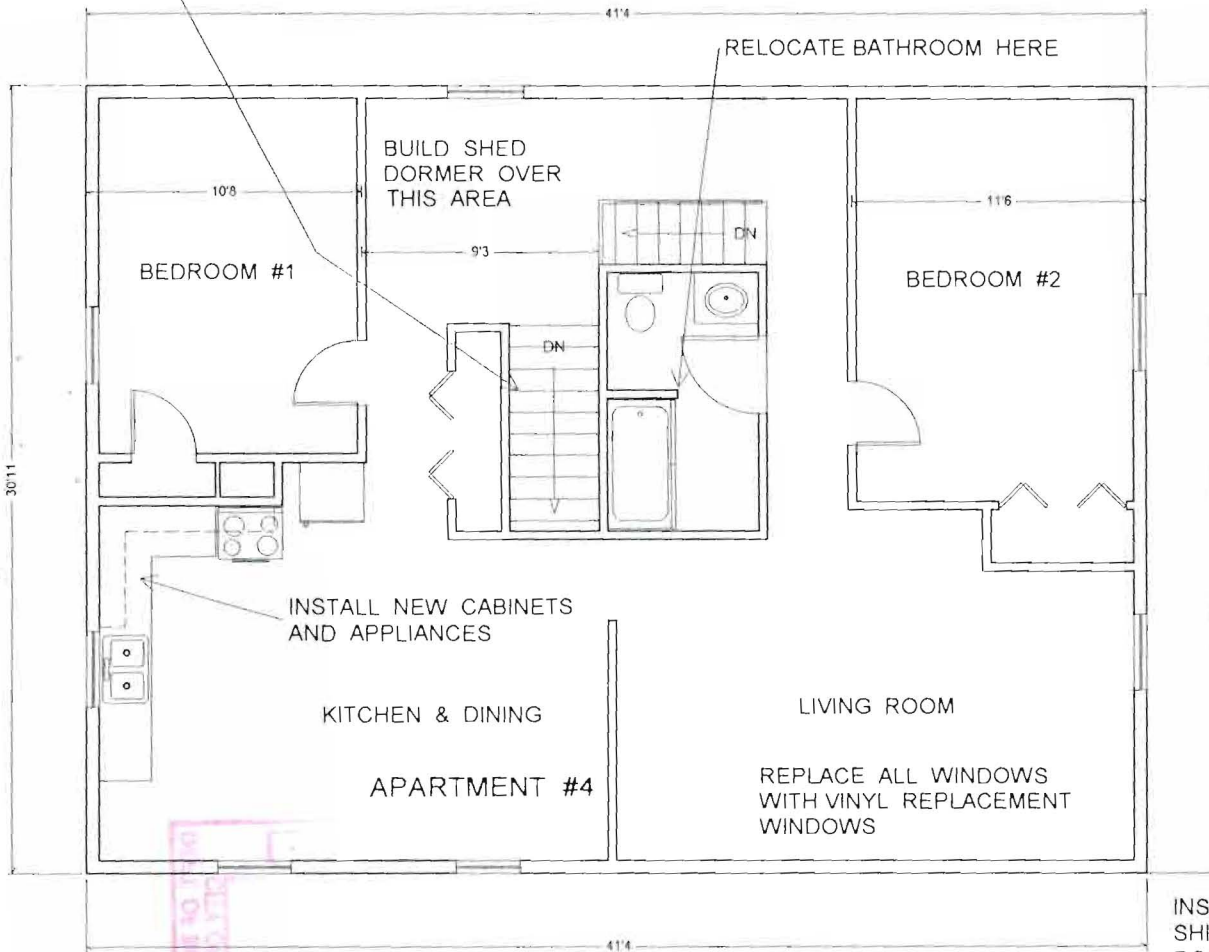
EXHIBIT "F"

THIRD FLOOR
"AS PROPOSED"

INSTALL AN ADDITIONAL SIX
INCHES OF INSULATION IN
CEILING

INSTALL NEW FINISH
FLOORS THROUGHOUT

REMOVE OLD BATHROOM
AND FRAME IN STAIRWELL
AND CLOSET



INSTALL NEW ASPHALT
SHINGLES ON ROOF AND
ROLLED ROOFING ON THE
FLAT ROOF TO THE REAR

THIRD FLOOR PLAN
31-33 ALDER STREET
PORTLAND, MAINE

LAND USE - ZONING REPORT

ADDRESS: 31-33 Alden St. DATE: 1/10/97

REASON FOR PERMIT: Repair After fire

BUILDING OWNER: Oren Ahlquist C-B-L: 33-D-17-18-19

PERMIT APPLICANT: owner

APPROVED: with conditions DENIED: _____
#4

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of 4 units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks and/or garage.
9. Other requirements of condition _____

Marge Schmuckal Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement

Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

February 18, 1997

Oren Ahlquist
17 Dingley Court
Portland, Maine 04103

RE: 31-33 Alder Street

Dear Mr. Ahlquist,

On February 4, 1997, I conducted an electrical inspection with you and a representative of Kevin's electric at the above referenced address and found the following violations/unsafe conditions which must be corrected.

1. Remove all Federal Pacific Electric (FPE) panels and associated equipment. This equipment is no longer UL listed and is now illegal and unsafe.
2. The interior wiring, including both the basement areas, is hereby condemned and all wiring and devices shall be abandoned and removed.
3. Install new wiring which complies with NFPA 70, NEC 1996 and applicable City Codes.
4. The two questionable apartments, not subject to fire and water damage shall be examined by the electrician and certified as being safe and legal. These apartments would be the 1st floor, left and 2nd floor left only.
5. Authorization to reinstate power to the building was not given to CMP by this office after the fire. The power may have been turned on illegally and shall be reported to CMP.
6. All wiring and devices in common areas shall be installed on the house service including hall lights smoke detectors, outside lights and lighting in both basement areas.

These violations/unsafe conditions shall be corrected during construction and must be completed before a Certificate of Occupancy is issued.

Sincerely,

Michael A. Collins
Chief Electrical Inspector
City of Portland

cc: P. Samuel Hoffses, C, Insp Div
M. Schmuckal, Asst. C, Insp Div
D. Jordan, CEO
P. Duprery, CMP