

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

AZIMI ABDUL /self

Located at

35 ALDER ST

PERMIT ID: 2013-00356

CBL: 033 D016001

has permission to **Interior Renovations (After-The-Fact).**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise clsoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

 4/2/13
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

PERMIT ID: 2013-00356

Located at: 35 ALDER ST

CBL: 033 D016001

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Footings/Setbacks
Close-in Plumbing/Framing
Electrical Close-in
Fire Inspection
Final Inspection
Final - Fire
Final - Electric

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00356	Date Applied For: 02/21/2013	CBL: 033 D016001
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Location of Construction: 35 ALDER ST	Owner Name: AZIMI ABDUL	Owner Address: 35 ALDER ST	Phone: (207) 615-4756
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family	Proposed Project Description: Interior Renovations (After-The-Fact).
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Dept: Zoning Status: Approved w/Conditions Reviewer: Marge Schmuckal Approval Date: 02/22/2013

Note: Ok to Issue:

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that the new stairway is completely interior. If the stairway is exterior, new plans will need to be submitted with a good site plan showing setbacks.

Dept: Building Status: Approved w/Conditions Reviewer: Jon Rioux Approval Date: 03/29/2013

Note: Ok to Issue:

- 1) R311.7.1 Width. Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31 1/2 inches where a handrail is installed on one side and 27 inches where handrails are provided on both sides.
- 2) Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.

Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level.
- 3) A code compliant emergency escape shall be provided in each bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2
- 4) Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Owner agreed that the "building envelope' insulation will comply with the IECC, 2009 (Maine State Energy Codes).
- 5) R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.
- 6) R612.2 Window sills. In dwelling units, where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4 inch diameter sphere where such openings are located within 24 inches of the finished floor.
- 7) R401.2 Requirements. Foundation construction shall be capable of accommodating all loads according to Section R301 and of transmitting the resulting loads to the supporting soil. Fill soils that support footings and foundations shall be designed, installed and tested in accordance with accepted engineering practice. Gravel fill used as footings for wood and precast concrete foundations shall comply with Section R403.

Location of Construction: 35 ALDER ST	Owner Name: AZIMI ABDUL	Owner Address: 35 ALDER ST	Phone: (207) 615-4756
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

- 8) A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
- Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.
- The maximum riser height shall be 7 3/4 inches; the minimum tread depth shall be 10 inches.
- Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch gypsum board.
- R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.
- 9) Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 10) R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.

Dept: Fire Status: Approved w/Conditions Reviewer: Chris Pirone Approval Date: 04/02/2013
Note: This will need fire review, single family residence- with a full interior demo. JGR. Ok to Issue:

- 1) All construction shall comply with City Code Chapter 10.
A sprinkler system shall be installed.
A separate no fee One- or Two-family Fire Sprinkler Permit is required.
All smoke detectors and smoke alarms shall be photoelectric.
Hardwired Carbon Monoxide alarms with battery backup are required on each floor.
Sprinkler requirements
The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.
All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.
Application requires State Fire Marshal approval.
Install an NFPA 13D automatic sprinkler system.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00356	Issue Date:	CBL: 033 D016001
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Location of Construction: 35 ALDER ST	Owner Name: AZIMI ABDUL	Owner Address: 35 ALDER ST PORTLAND, ME 04101	Phone: (207) 615-4756
Business Name:	Contractor Name: self	Contractor Address: Portland ME	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: B2b
Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$40.00	Cost of Work: \$1,350.00
Proposed Project Description: Stairs up to code and eliminating a couple of walls		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	INSPECTION: Use Group: 133 Type: 53 IRC, 2009 (MUBEC)
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: gg	Date Applied For: 02/21/2013	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied <i>OK - with conditions</i> Date: <i>2/22/12</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 Alder St Portland Me.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>033 D016</u>	Applicant: (must be owner, lessee or buyer) Name <u>Abdul AZIMI</u> Address <u>98 Sawyer St</u> City, State & Zip <u>S. Portland ME 04106</u>	Telephone: <u>207 615 4756</u>
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>1350.00</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ Number of Residential Units <u>1</u>		
If vacant, what was the previous use? <u>Single Family</u>		
Proposed Specific use: _____		
Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>Cleaning & Leveling & Sheeting Floors</u> <u>Insulating & Resheet Rock</u> <u>Reconfiguring stairs getting up+code</u> <u>Adding & Eliminating couple of walls.</u>		
Contractor's name: <u>Abdul AZIMI</u> Email: _____		
Address: <u>Same as Above</u>		
City, State & Zip _____ Telephone: _____		
Who should we contact when the permit is ready: <u>Abdul</u> Telephone: <u>207 615 4756</u>		
Mailing address: _____		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

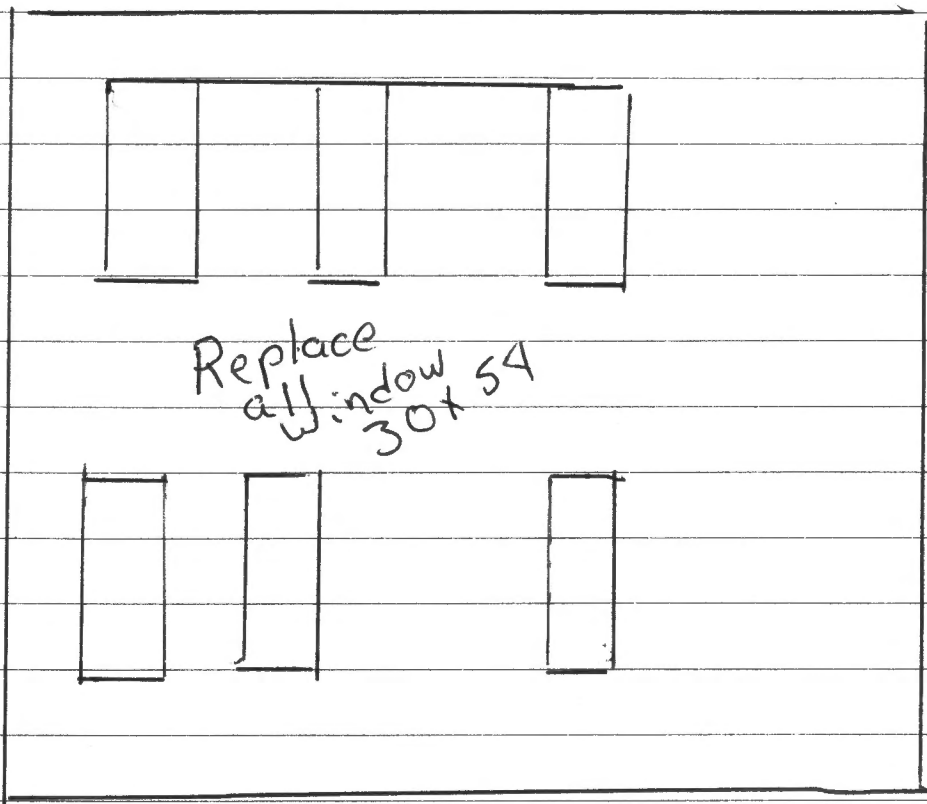
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Abdul W Azimi Date: 2-20/13

This is not a permit; you may not commence ANY work until the permit is issued

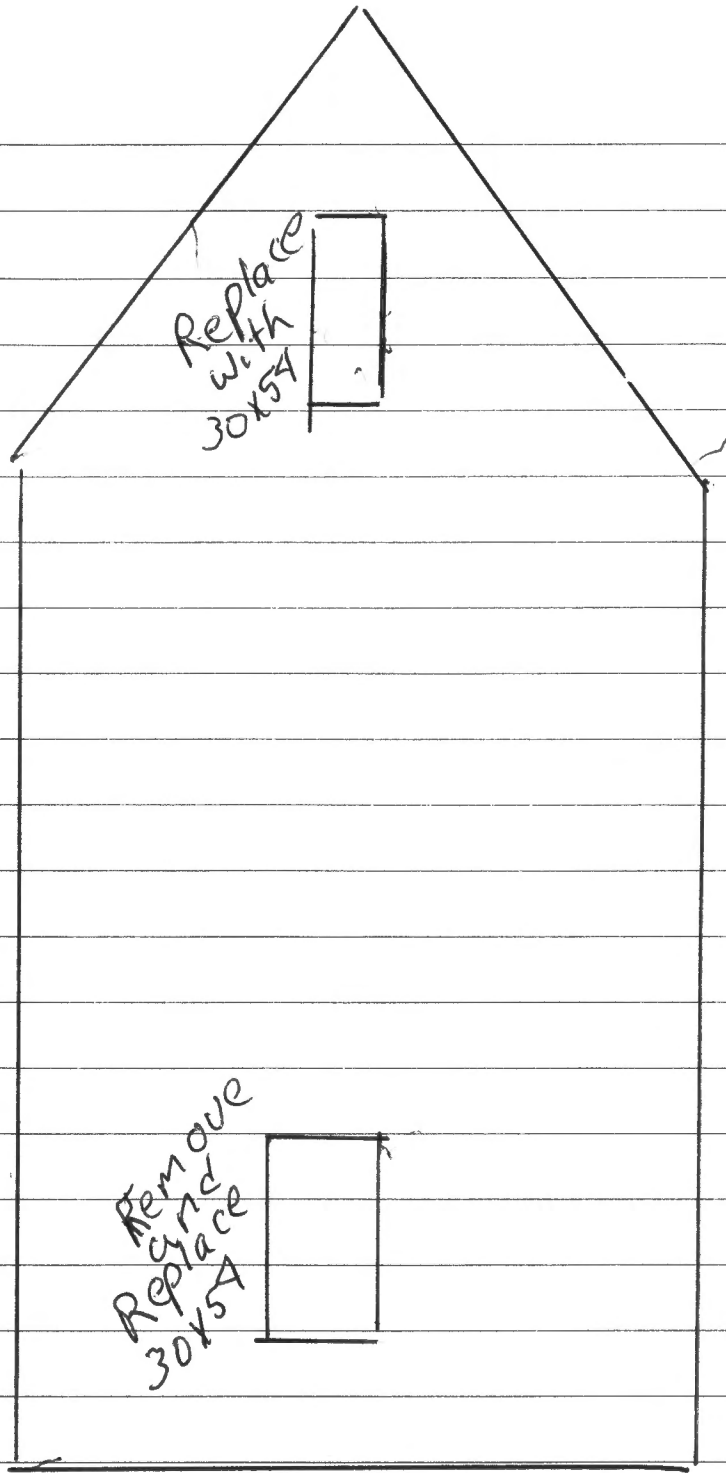
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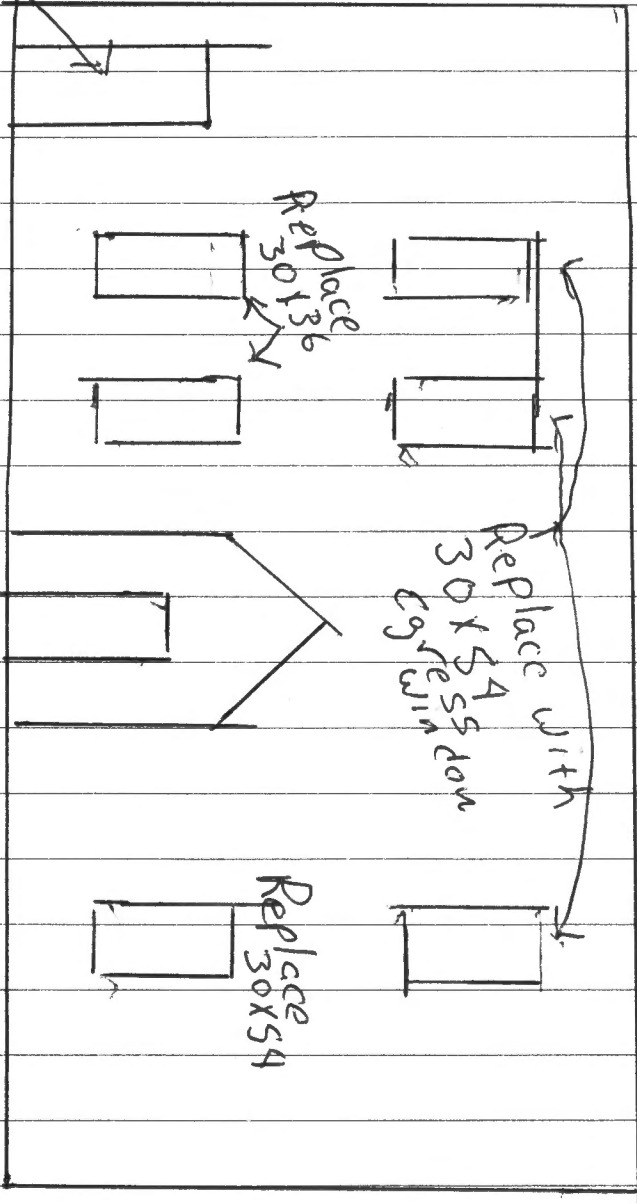
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Door opening
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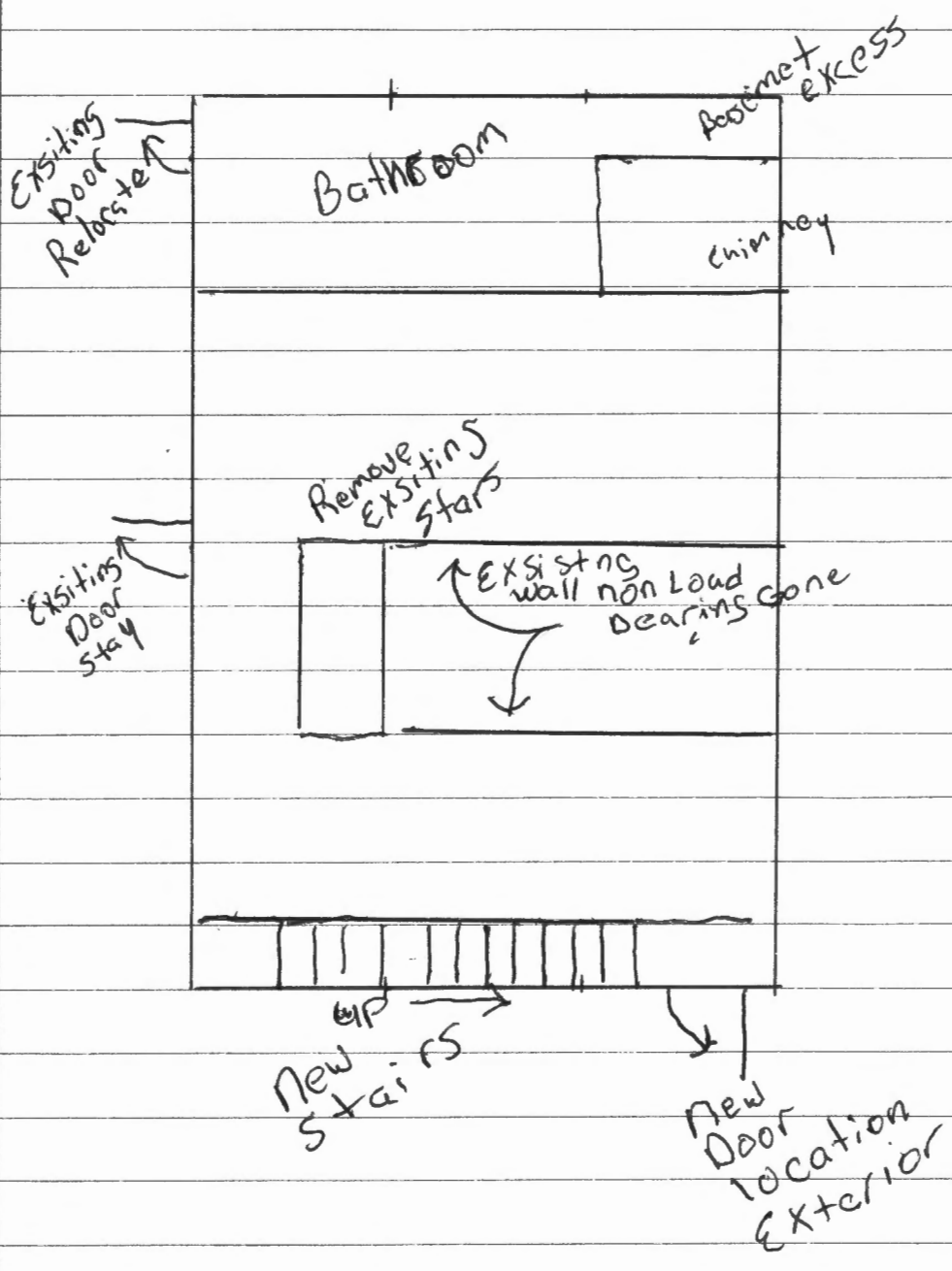


South

1st Floor

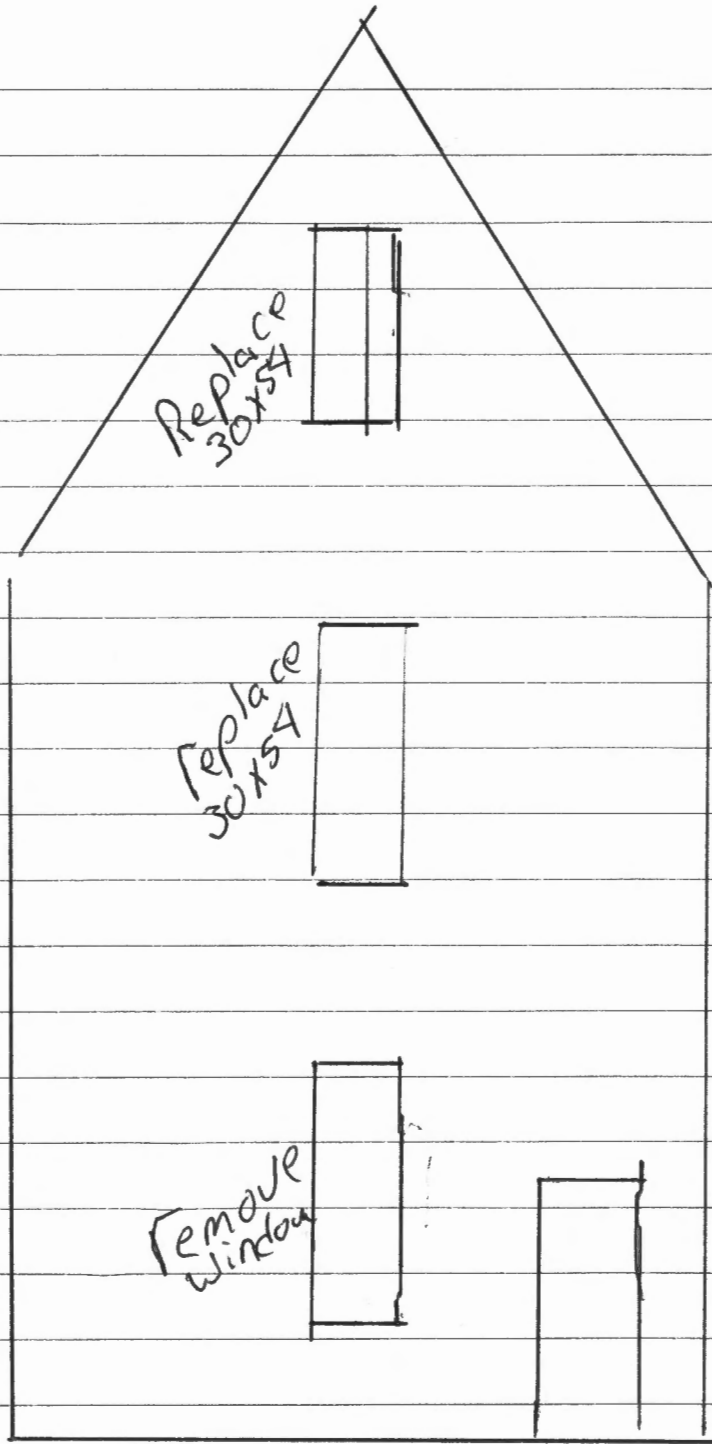
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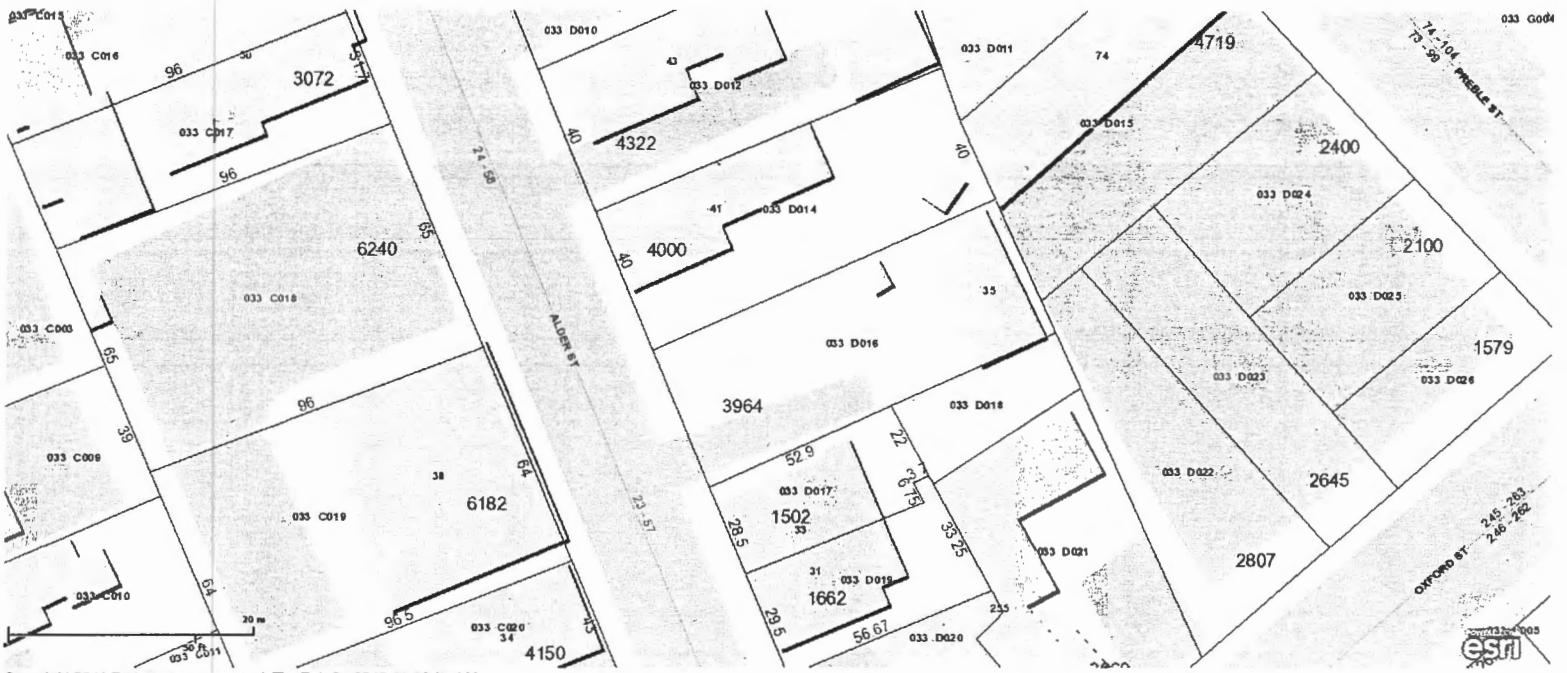
Replace
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Replace
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Remove
Window

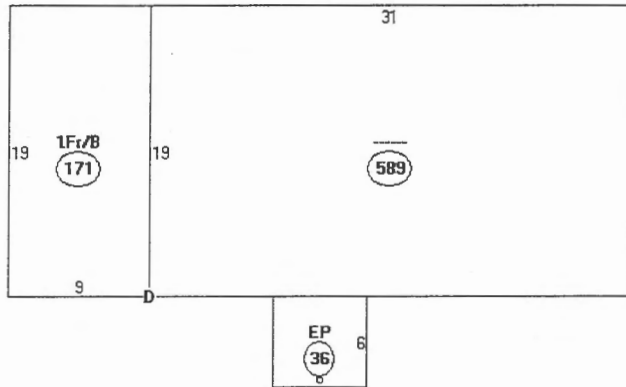
New
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location

My Map



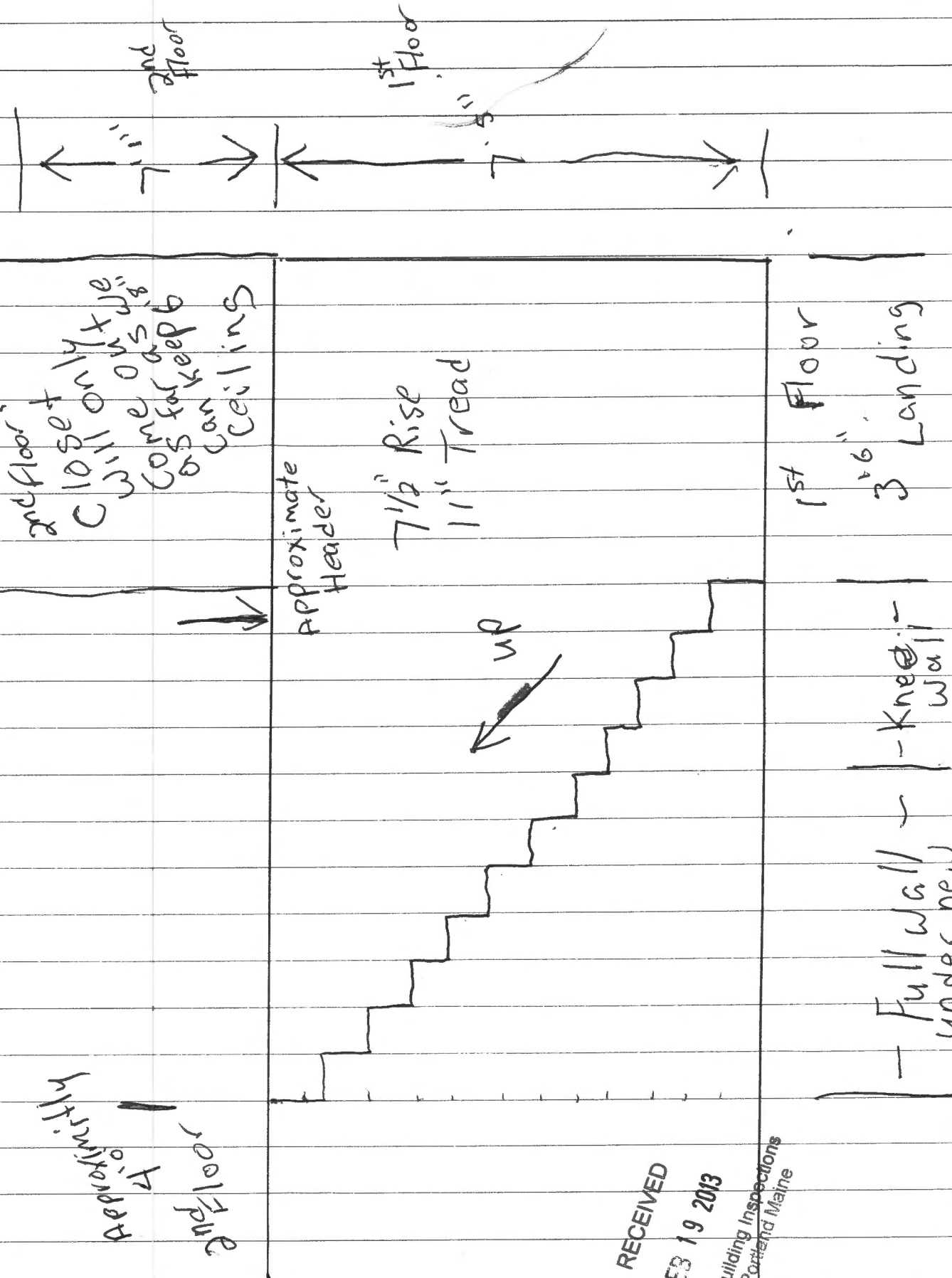
Copyright 2011 Esri. All rights reserved. Thu Feb 21 2013 09:20:30 AM.





Descriptor/Area

- A: -----
589 sqft
- B: 1Fr/B
171 sqft
- C: EP
36 sqft
- D: RS1
32 sqft



2nd floor
 Closet only + 1/2
 3 1/2" OS
 6 OS for keep
 OS can keep
 ceilings

Approximate
 Header

7 1/2" Rise
 11" Tread

up

1st Floor
 3" Landing

Full wall -
 under new
 beam -
 Kneel-
 wall

To take some
 of the load and
 will put something
 under in cellar

Approximately
 4" pool pipe

RECEIVED
 FEB 19 2013
 Dept. of Building Inspections
 City of Portland Maine

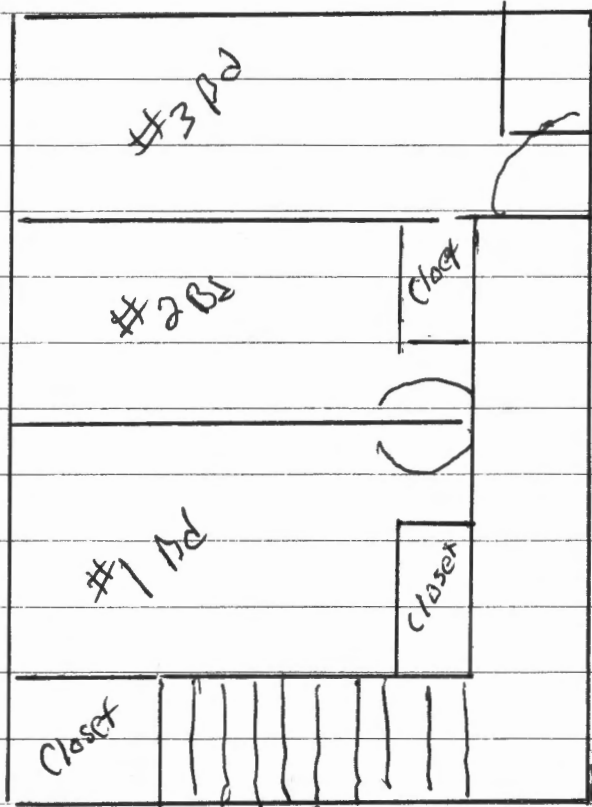
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2nd Floor

PREPARED BY

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Closet & Chimney Chase

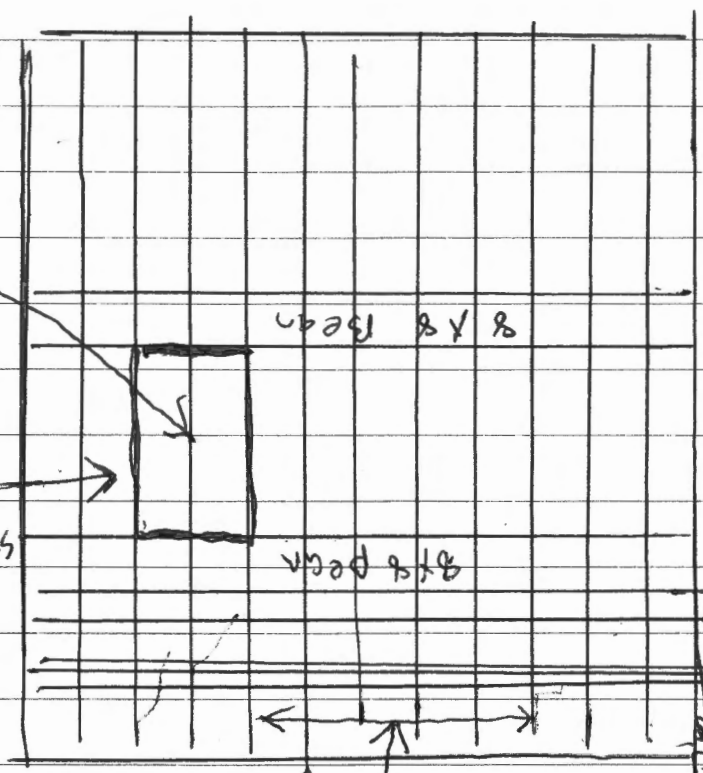
All Interior Doors
will be
3'0" x 6'8"

2nd Floor Framing

New 2x8 hung with LUS28

All New Framing will be 16 O.C

OLD Stair way removed Filled in with 2x8 and hangers



3-2x8 with Partial 2x4 wall Below* Securing Post From Below EXCEPT Floor Joists

New Stair Way

Stairs 3-2x12 Stringers
3/4" Treads & Risers

Remove and hang off new 2x8 Header and hang with LUS28

All interior Partitions 2x4
All exterior wall existing 2x4 Add R-11 Insulation Fiber Glass
Overlay 1/2 Plywood over old sub Floor