

PLAN REFERENCES:

1. ONSITE TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
 - 1.1. A PLAN TITLED "PARTIAL BOUNDARY SURVEY OF THE SALVATION ARMY", PREPARED BY JONES ASSOCIATES, INC. OF AUBURN, MAINE, DATED DECEMBER 14, 2015.
 - 1.2. FIELD OBSERVATION BY WALSH ENGINEERING ASSOCIATES, INC. IN NOVEMBER 2015.
2. PLAN IS REFERENCED TO CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.
3. BASIS OF PROPERTY LINE BEARINGS IS CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.
4. ELEVATIONS SHOWN ARE TIED TO THE CITY OF PORTLAND DATUM (NGVD29) PER CITY OF PORTLAND OFFSET MONUMENT MP 142 AT THE SOUTHWESTERLY CORNER OF ALDER STREET AND KENNEBEC STREET, DRILL HOLE ELEVATION 10.145.

EXISTING UTILITY NOTES:

1. THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.

LAYOUT, MATERIALS, AND UTILITY NOTES:

1. ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
2. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
3. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING 'DIG SAFE' AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
4. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
5. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND REQUIREMENTS.
6. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
8. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
9. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.
10. ALL WATER MAIN AND WATER SERVICE WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.
11. ALL PROPOSED WORK WITHIN THE CONGRESS STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
12. INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADIENT CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.
13. CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY STREET AND/OR SIDEWALK CLOSURES.
14. ALL STREET CLOSURES SHALL BE PERFORMED DURING OFF-PEAK HOURS OR DURING THE NIGHT.

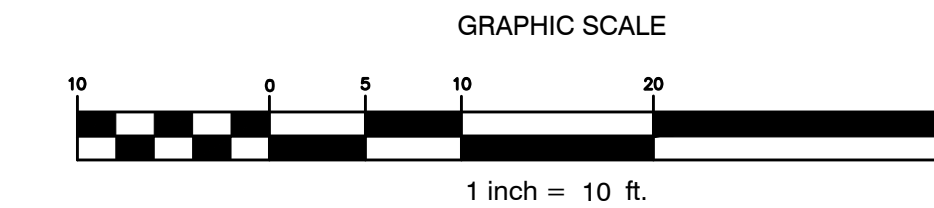
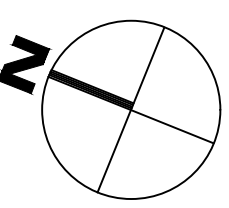
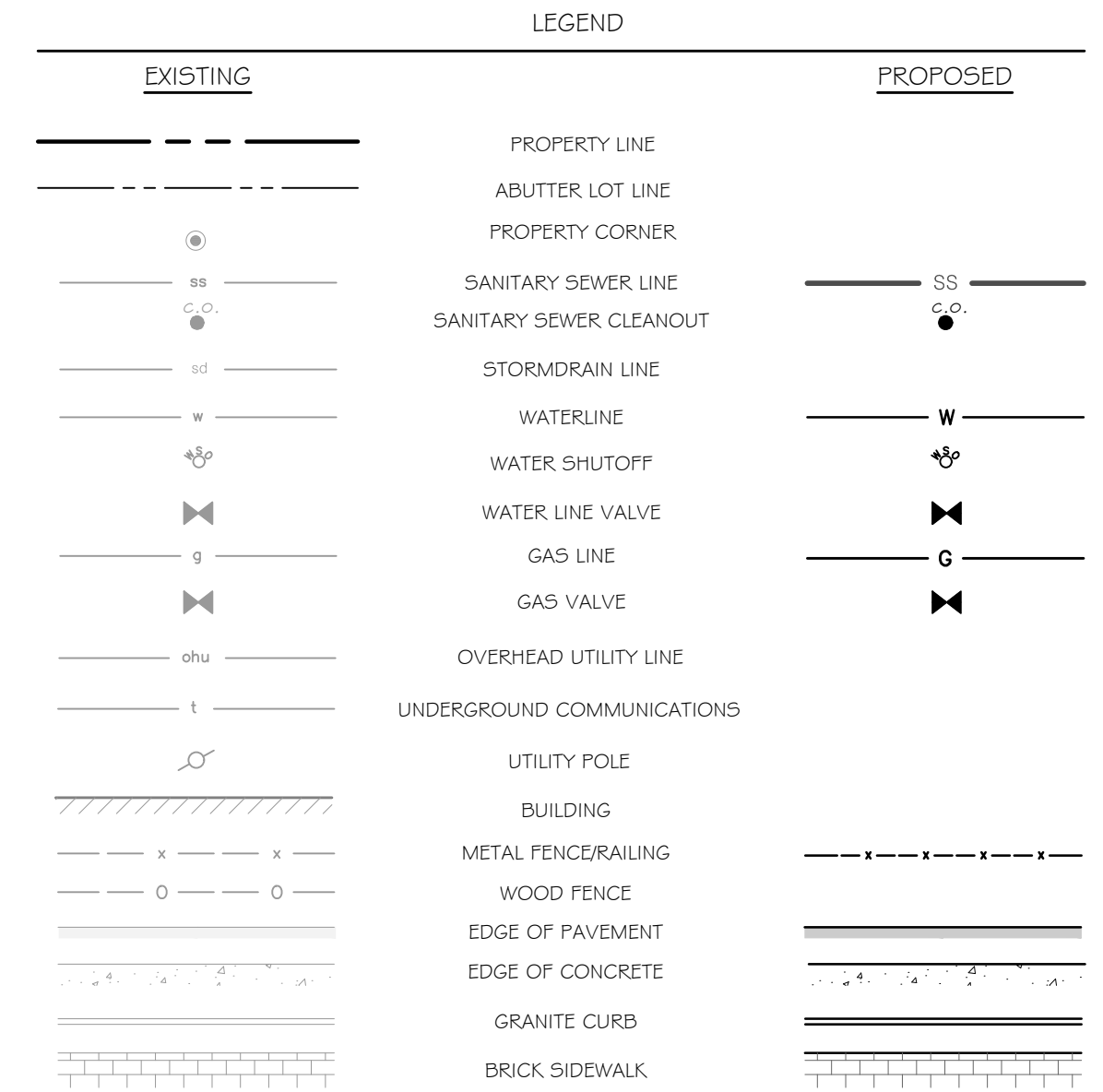
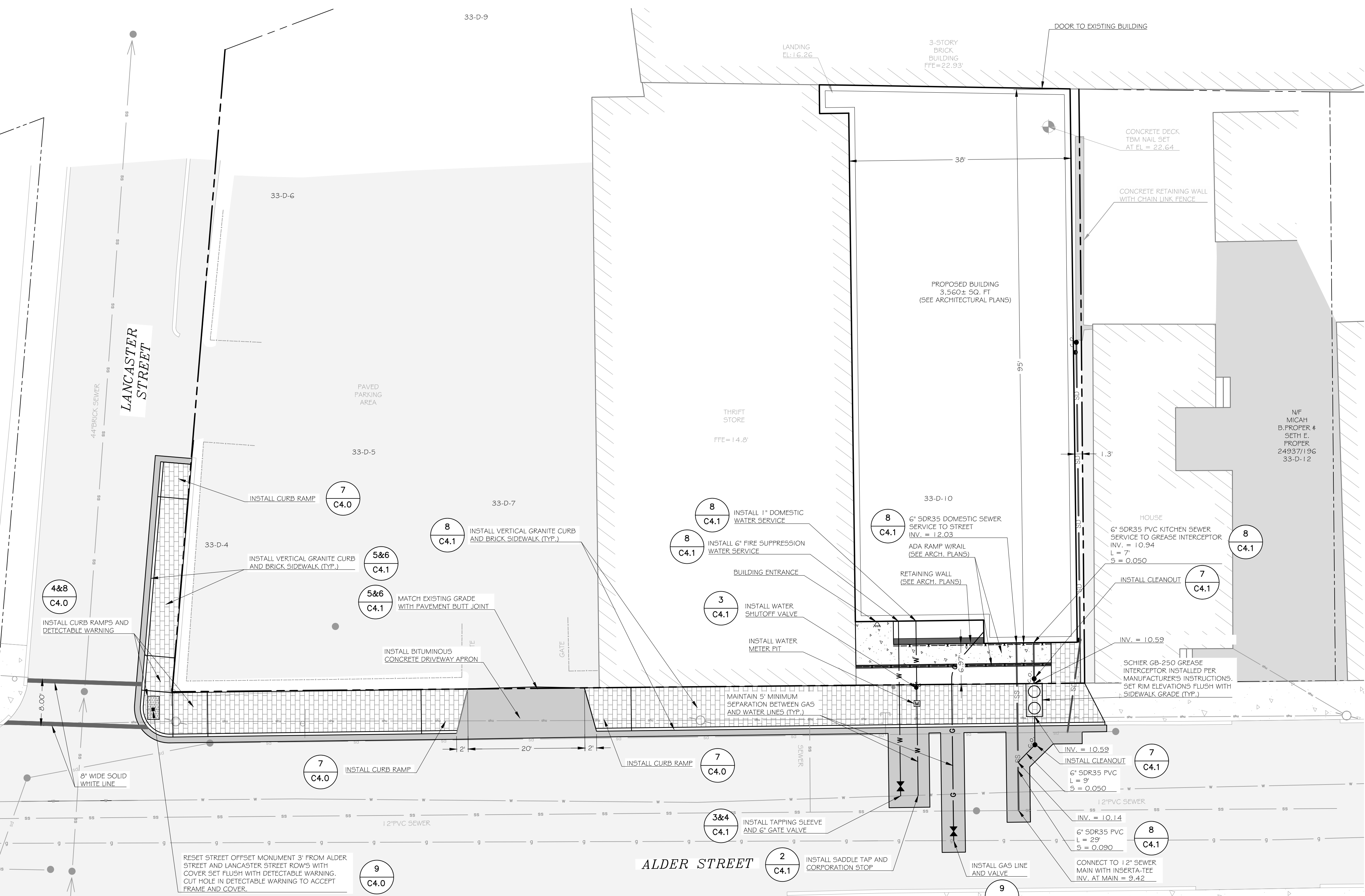
PARCEL INFORMATION

1. SITE AREA: 0.98± ACRES
SITE AREA TAKEN FROM CITY TAX ASSESSOR'S INFORMATION MAP 33, BLOCK D, LOTS 4 THRU 11, 15, 4 22 THRU 26
2. OWNER/APPLICANT: THE SALVATION ARMY
30 WARREN AVE
PORTLAND, MAINE 04103
3. ZONING DISTRICTS: B-2b COMMUNITY BUSINESS ZONE
4. SPACE AND BULK STANDARDS

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	NONE	0.38± AC	NO CHANGE
MINIMUM LOT WIDTH	NONE	57.8±	NO CHANGE
MINIMUM STREET FRONTAGE	20'	475±	NO CHANGE
FRONT YARD SETBACK	NONE	0'	6.97'
REAR YARD SETBACK	NONE	N/A	N/A
SIDE YARD SETBACK	NONE	0'	1.3'
SIDE YARD ON SIDE STREET	NONE	N/A	N/A
MAXIMUM IMPERVIOUS SURFACE RATIO*	90%	SEE NOTE*	SEE NOTE*
MAXIMUM HEIGHT OF STRUCTURES	45'	UNKNOWN	17'

*THE ENTIRE SITE WAS NOT SURVEYED THEREFORE, THE TOTAL SITE EXISTING IMPERVIOUS SURFACE RATIO HAS NOT BEEN CALCULATED. HOWEVER, THE TOTAL IMPERVIOUS AREA WITHIN THE PROPOSED DEVELOPMENT AREA OF THE SITE WILL BE DECREASED FROM THE EXISTING CONDITION BY 144 SQUARE FEET. THEREFORE, THE TOTAL IMPERVIOUS SURFACE AREA RATIO OF THE SITE WILL BE REDUCED.

5. OFF-STREET PARKING CALCULATIONS:
THE PROPOSED PROJECT INVOLVES THE CONSTRUCTION OF A KITCHEN AND DINING HALL FOR EXISTING RESIDENTS. THEREFORE, NO ADDITIONAL PARKING DEMAND WILL BE GENERATED BY THIS PROJECT.
CURRENT SITE USE: SHELTERED GROUP HOME W/ MAX. 10 EMPLOYEES
PARKING REQUIREMENTS: 1 SPACE FOR EVERY 2 EMPLOYEES
REQUIRED PARKING: 10 EMPLOYEES / 2 SPACES/EMPLOYEE = 5 SPACES
EXISTING PARKING SPACES: 29 SPACES
6. BICYCLE PARKING:
THE PROPOSED PROJECT INVOLVES THE CONSTRUCTION OF A KITCHEN AND DINING HALL FOR EXISTING RESIDENTS. THEREFORE, NO ADDITIONAL BICYCLE PARKING DEMAND WILL BE GENERATED BY THIS PROJECT.
7. SNOW REMOVAL FROM THE BUILDING ENTRANCE AND WALKWAY WILL BE PERFORMED BY THE OWNER. SNOW WILL BE STORED IN THE LANDSCAPED AREAS DURING THE WINTER.



ISSUED FOR PERMITTING - NOT FOR CONSTRUCTION

Kitchen & Dining Hall Addition
Salvation Army Adult Rehab Center
88 Preble Street
Portland, Maine
Applicant:
The Salvation Army
30 Warren Ave
Portland, Maine 04103

Rev.	Date	Description	Drawn	Check
1	1/8/16	Issued for City Site Plan Application	SWC	NGC

Sheet Title:
Site Layout and Utility Plan

Job No.: 317	Sheet No.:
Date: Jan 18, 2016	C2.0
Scale: 1" = 10'	
Drawn: SWC	
Checked: WFW	