

SALVATION ARMY INTERIOR RENOVATIONS

88 PREBLE STREET

PORTLAND MAINE

APRIL 3, 2009

TYPICAL ABBREVIATIONS

↑	AND ANGLE
•	AMERICAN DISABILITIES ACT
ADA	ADA ADJUST OR ADJACENT ABOVE FINISH FLOOR
AF	ARCHITECT OR ARCHITECTURAL AVERAGE
AVG	BOARD
BD	BUILDING BLOCKING
BLDG	BEAT
BM	BOTTOM OF CENTER LINE
BO	CABINET
C	CEILING
CLG	CLEAR
CLR	CONCRETE MASONRY UNIT
CML	COUNTER
CON	COLUMN
COL	CONCRETE
CONC	CONTINUOUS
CONT	COORDINATE
COORD	CORNER
COR	CARPET
CP	COLD WATER
DBL	DOUBLE
DEG	DEGREE
DEG	DOMESTIC HOT WATER
DHW	DIAMETER
DIA	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWN SCOUT
DW	DISH WASHER
DWG	DRAWING
E	EACH
EA	EXPANSION JOINT
EJ	ELECTRIC
ELEC	ELEVATION
ELEV	EXPLODE
EXP	ENTRY OF ENTRANCE
ENT	EQUAL
EQ	EQUIP
EQUIP	ELECTRIC WATER COOLER
ELC	EXHAUST
EXH	EXISTING
EXIST	EXPANSION
EXP	EXTERIOR
EXT	FINISHED BY OWNER
FBO	FOUNDATION
FDN	FINISH FLOOR
FF	FINISH FLOOR ELEVATION
FFE	FINISH
FIN	FINISH
FINI	FIXTURE
FIXT	FLOORING
FLG	FLOOR
FLO	FLOOR
FLOOR	FLUORESCENT
FLOR	FOOT or FEET
FT	GALV
GA	GALVE
GALV	GENERAL CONTRACTOR
GC	GLASS
GL	GRID
GRID	HEIGHT
HGT	HOLLOW METAL
HM	HORIZ
HR	HOUR
HVAC	HEAT VENTILATE & AIR CONDITION
IBC	INSTL BY CONTRACTOR
N	INCHES
INBL	INSULATION
INT	INTERIOR
INT	JOINT
JT	LAMINATED
LAM	LEAK FEET
LE	LINEAR
LEAK	LIVE LOAD
LL	LIGHT WEIGHT CONCRETE
LWC	MAX
MAX	MECHANICAL
MECH	MANUFACTURE
MFG	MAN HOLE
MH	HILL/VALLEY
MILL	MILLIFOOT
MILLIFOOT	MAIN SWITCH BOARD
MNS	NOT APPLICABLE
N/A	NATURAL
NAT	NOT IN CONTRACT
NIC	NUMBER
NIS	NOT TO SCALE
OC	ON CENTER
OC	OVER HEAD
OVH	PARALLEL
PAR	PRECAST CONCRETE
P/C	PRETREATED
PRE	FERRUGINOUS
FERR	PLATE
PL	PLASTIC LAMINATE
PLAM	PLASTER
PLAS	PLUMBING
PLBS	SOUTH
S	SCHEDULE
SAT	SCHEDULE
SCHED	SECTION
SD	SQUARE FEET
SECT	SQUARE FEET
\$F	SQUARE FEET
\$F	SHELL PACKAGE SPECIFICATIONS
\$FEC	STAINLESS STEEL
\$S	SQUARE
SQ	STANDARD
STD	STEEL
STL	STRUCTURAL
STRUC	SUPP
SUP	SYMMETRICAL
SYM	THERMOSTAT
T	T & B
T & B	TELEPHONE
TEL	TEMPERED GLASS
TEL	THICKNESS
THICK	TENANT IMPROVEMENTS
TI	TOP OF
TO	TOP OF JOIST
TOJ	TYPICAL
TOS	UNDERLINES LABORATORIES INC
UL	UNLESS NOTED OTHERWISE
UNO	VINTL BASE
VB	VERTICAL
VCT	VINYL COMPOSITE TILE
VCT	VENT IN FIELD
VF	WIDE or WIDEST
W	WOOD
WD	WATER COOLER
WC	WITH
W	WITHOUT
W/O	EXISTING
X	

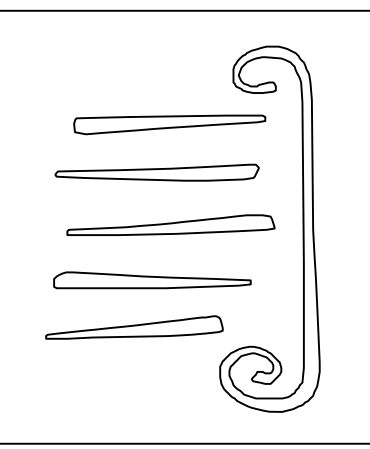
CODE INFORMATION

- EXISTING BUILDING, NO CHANGE IN USE
- BUILDING USE GROUP - MIXED
- RENOVATED SPACE USE ACCESSORY A-2 USE
- BUILDING FULLY SPRINKLED PER ALPHA B
- BUILDING IS EQUIPPED WITH ADDRESSABLE FIRE ALARM SYSTEM TO BE MODIFIED FOR THESE RENOVATIONS.
- SEE PLANS FOR ADDITIONAL CODE INFORMATION
- EXISTING BUILDING AREA 22,006 SF +/-, PROJECT AREA 5,200 SF +/-

CONTACTS

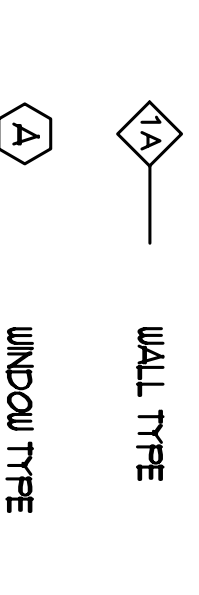
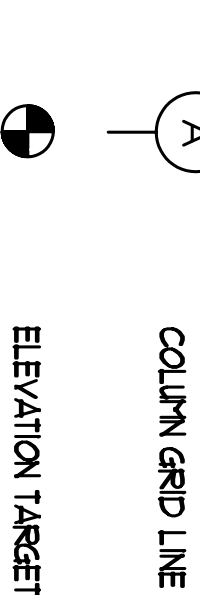
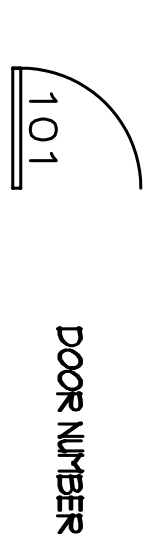
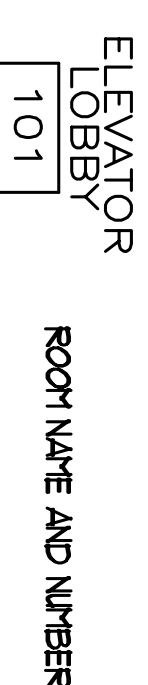
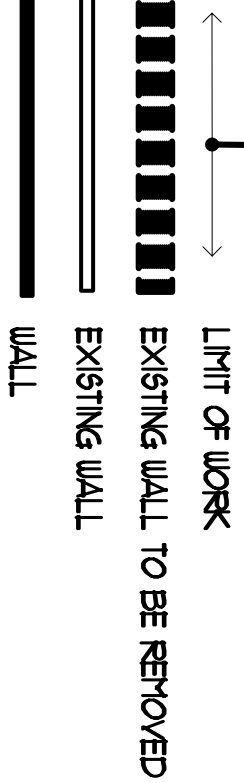
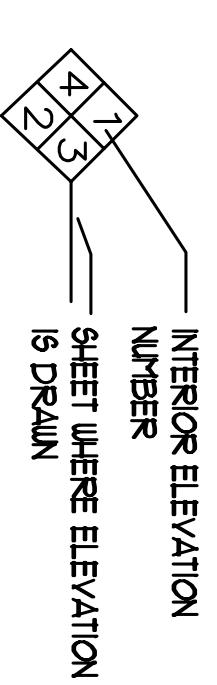
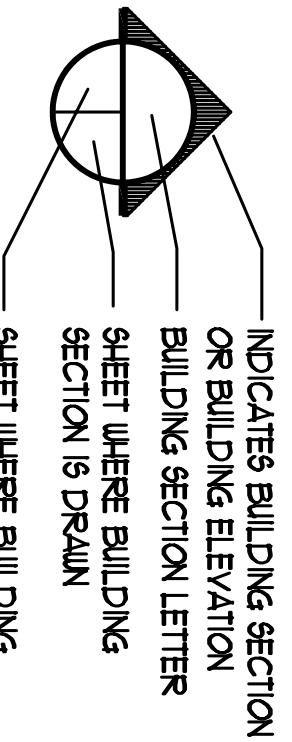
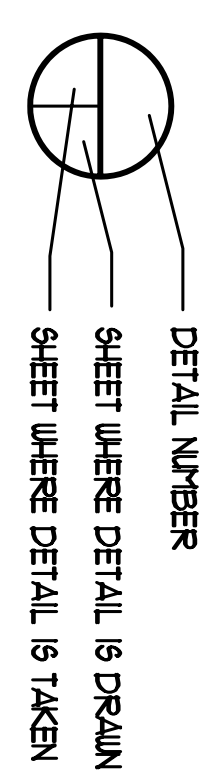
ARCHITECT: FORT CITY ARCHITECTURE JOHN CHARLITE 65 NEWBURY STREET PORTLAND, ME 04101 207-761-3000	T-1 TITLE SHEET
CONTRACTOR: PLATO DENNIS WATERS 129 TAIN STREET SAVONDO, MAINE 04073 207-651-0799	D1 DEMO PLAN
OWNER: ALISTAIR REAGER - PROPERTY COORDINATOR CAPTAIN LINDELL - LOCAL COMMAND THE SALVATION ARMY ARC COMMAND 440 WEST NYACK ROAD WEST NYACK, NY 10994	A1 FLOOR PLAN A&I RCP A11 BATHROOM ELEVATIONS & ENLARGED PLAN A&I EXTERIOR ELEVATION & DOOR SCHEDULE

LIST OF DRAWINGS



PORT CITY ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 fax: 207.761.2010
 info@portcityarch.com

LEGEND



GENERAL NOTES

- ALL MATERIALS, COMPONENTS AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR MATERIALS, TRANSPORTATION SUPPLIES, EQUIPMENT ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE SALVATION ARMY SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE REMOVED IN A STATE APPROVED LANDFILL, NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- ALL DOOR HANDLES TO BE ADA COMPLIANT LEVER HANDLES.
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.

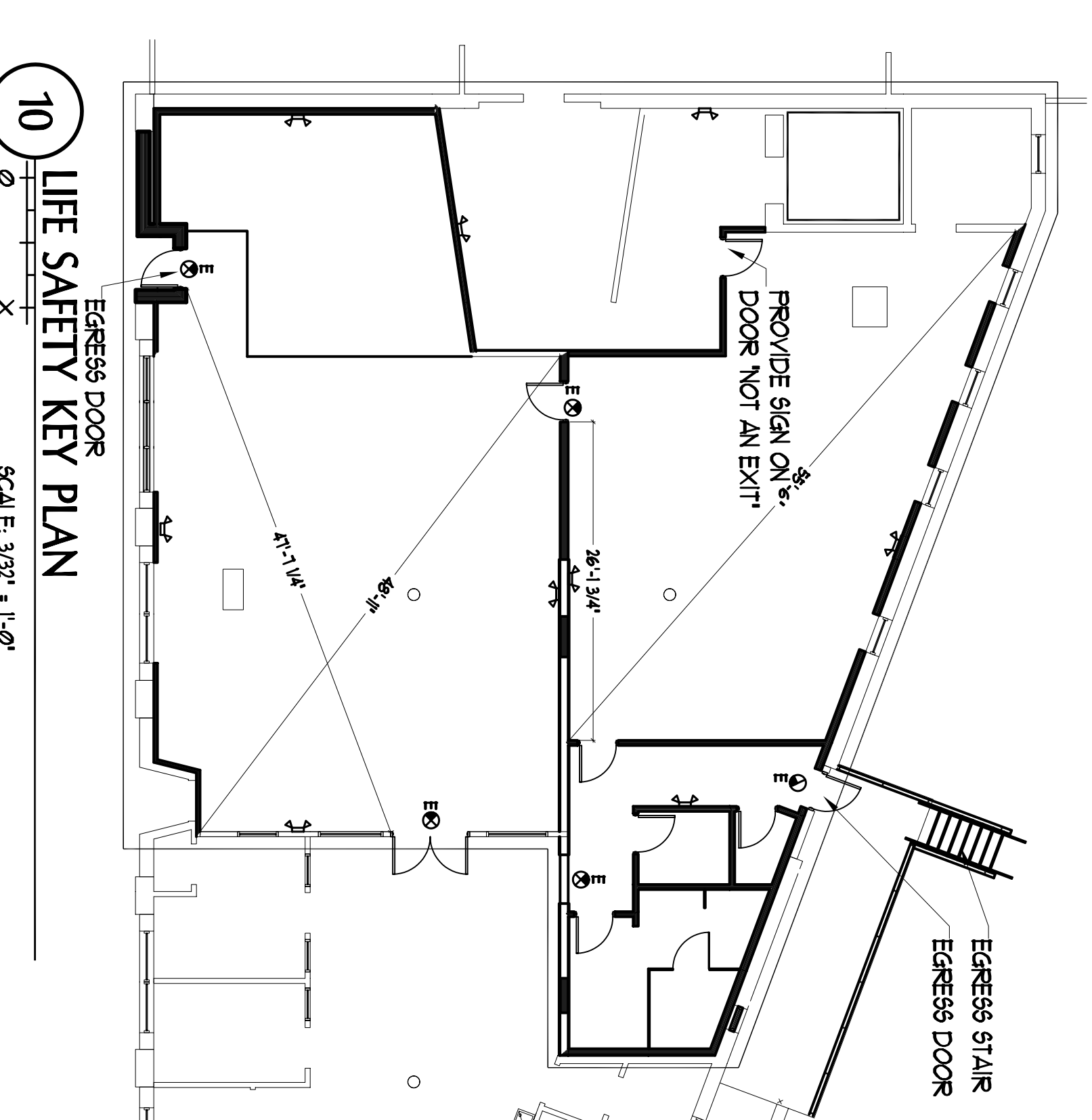
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LIST OF DRAWINGS



10 LIFE SAFETY KEY PLAN
SCALE: 3/32" = 1'-0"

SALVATION ARMY
INTERIOR RENOVATIONS
88 PREBLE STREET
PORTLAND, MAINE

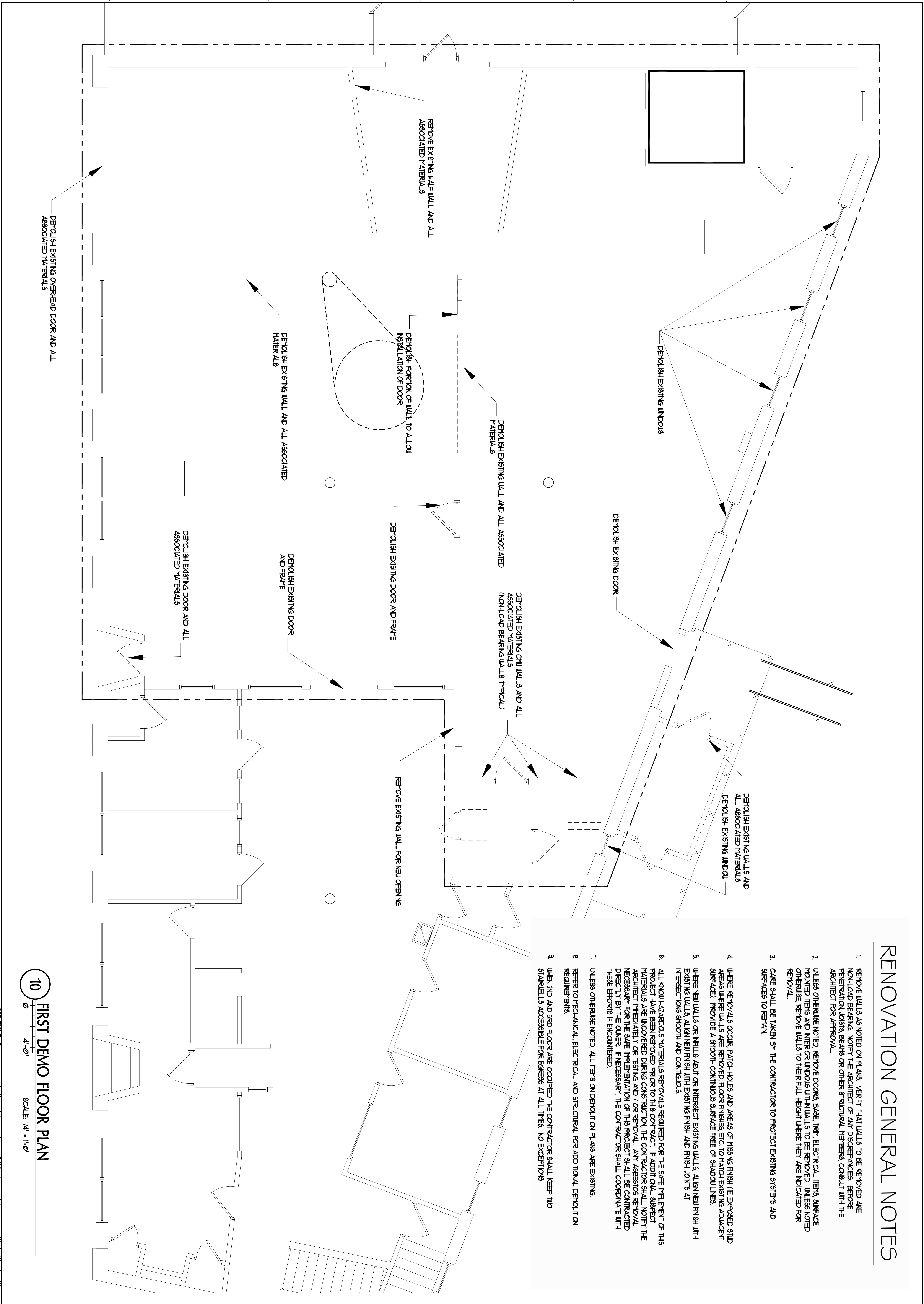
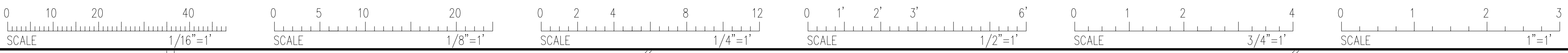
DATE	DESCRIPTION
4-01-09	REVISIONS
08/01	Project Number

Drawing Scale: SHEET NAME

TITLE PAGE

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Checked By: JCC

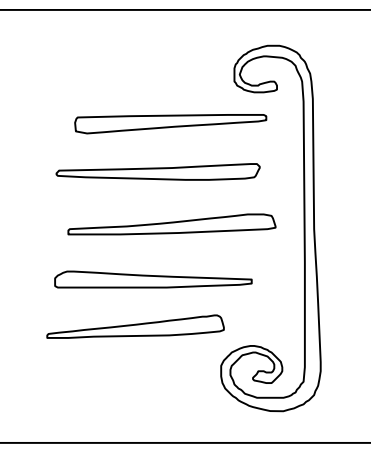
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RENOVATION GENERAL NOTES

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS. CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL, IT/TELE SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN.
4. WHERE REMOVALS OCCUR PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTIGUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ADJUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS. ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
6. ALL KNOW HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAME IMPLEMENT OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAME IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
1. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
2. REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.
3. WHEN 2ND AND 3RD FLOOR ARE OCCUPIED THE CONTRACTOR SHALL KEEP TWO STAIRWELLS ACCESSIBLE FOR EGRESS AT ALL TIMES. NO EXCEPTIONS

10 FIRST DEMO FLOOR PLAN



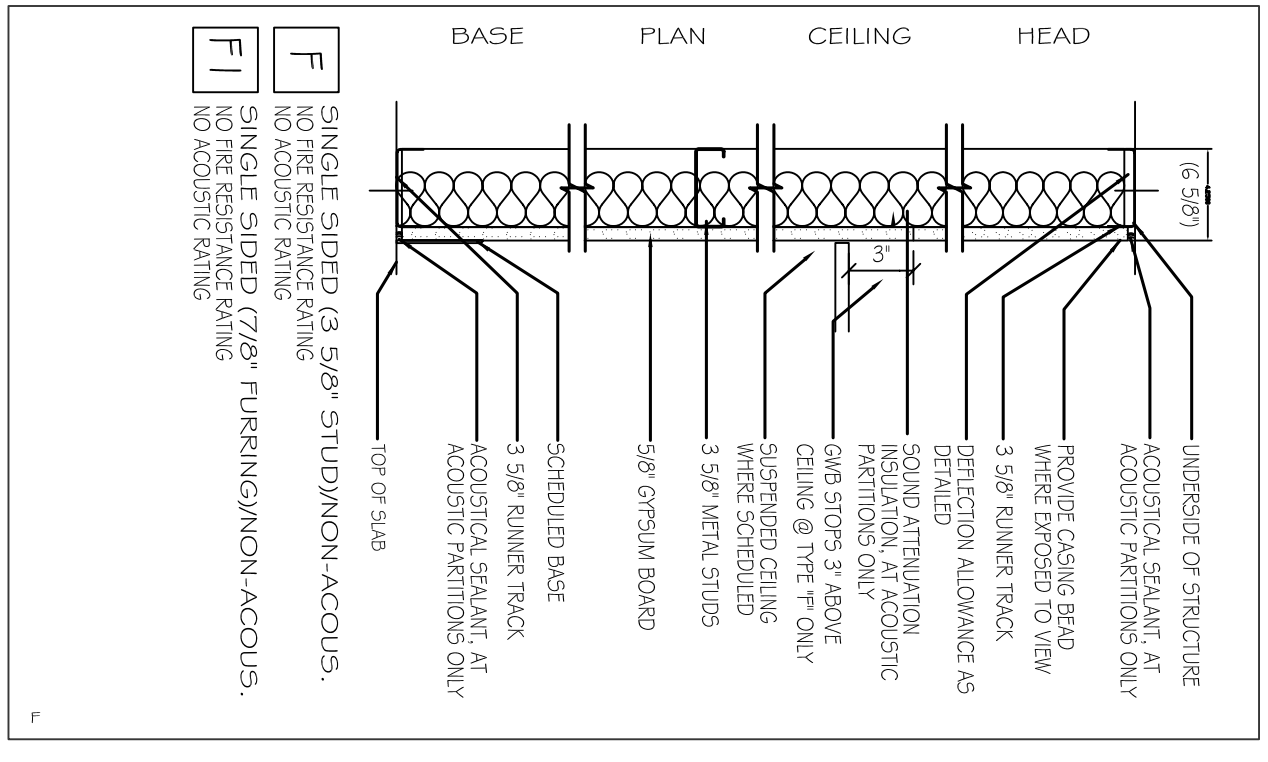
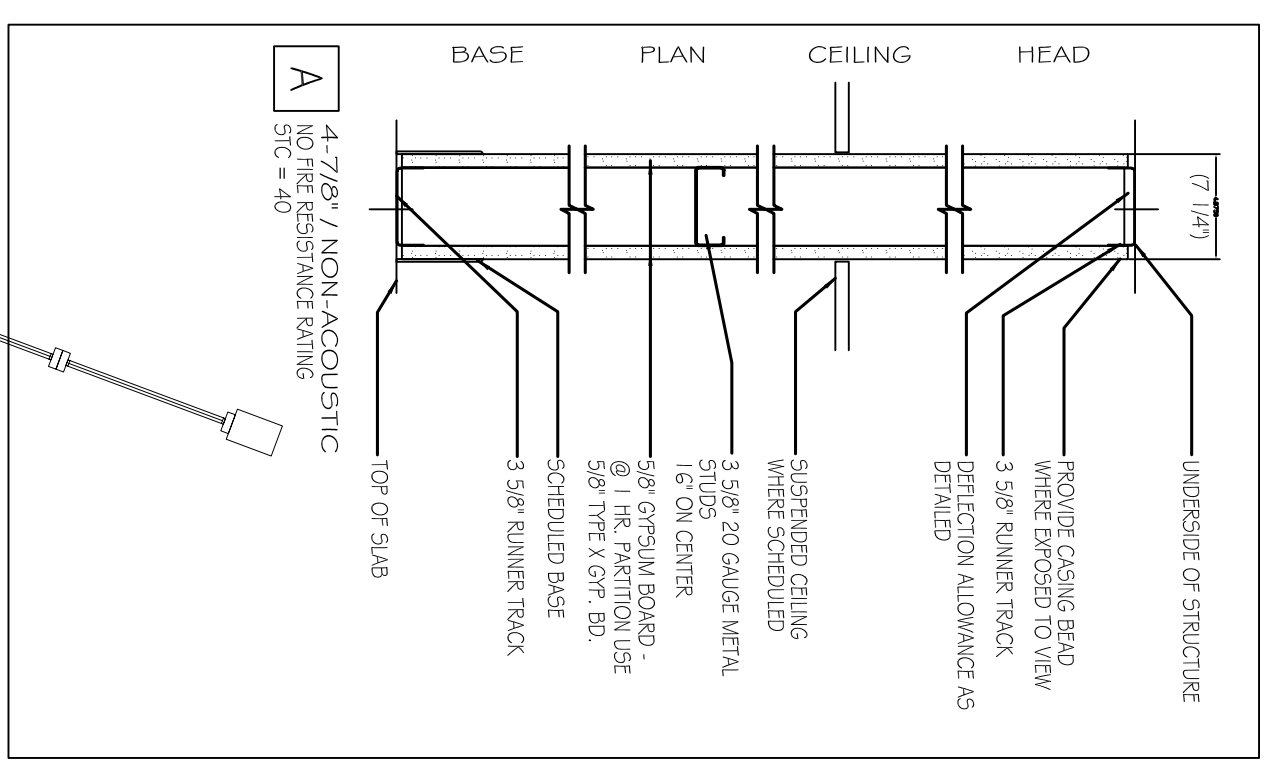
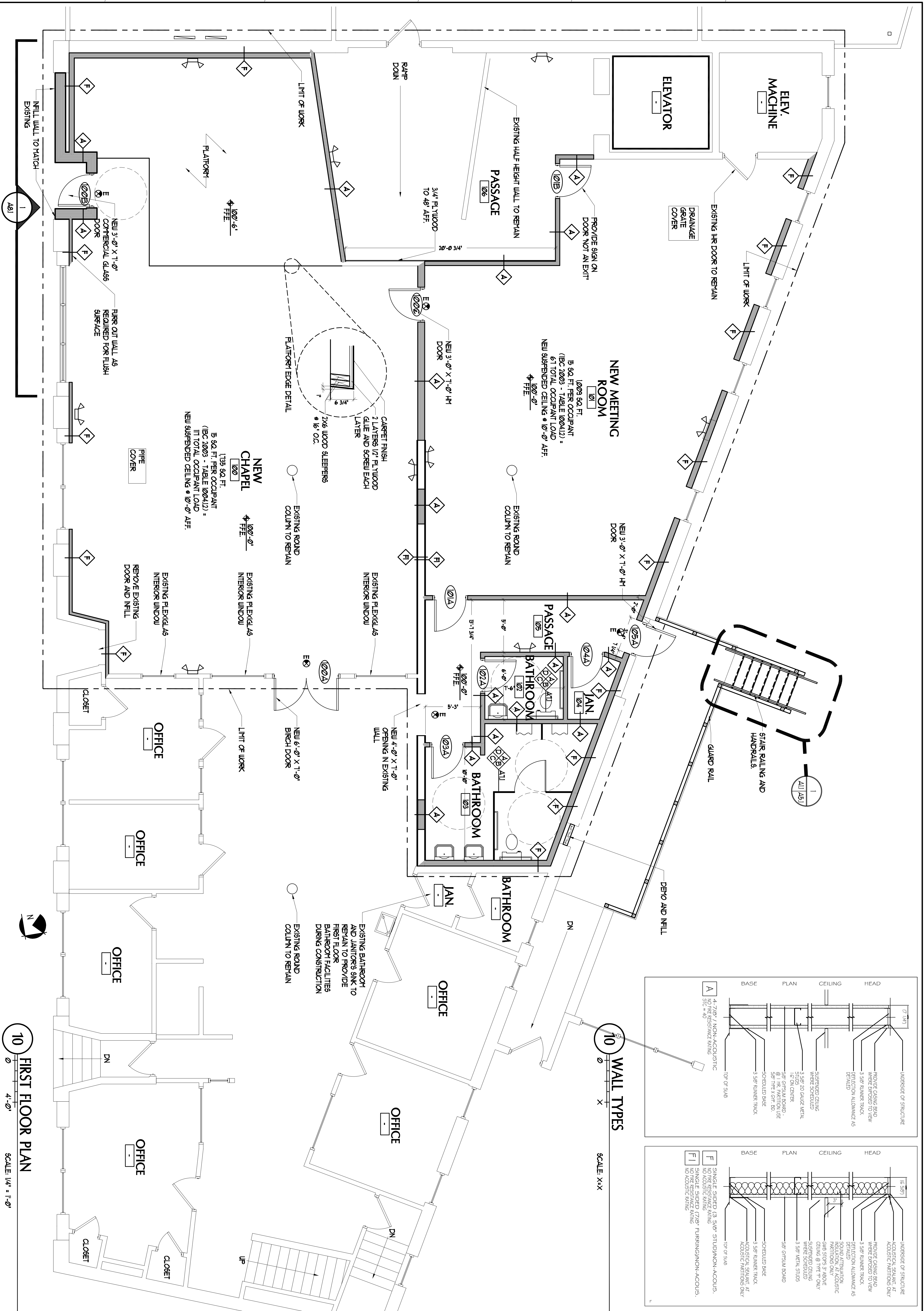
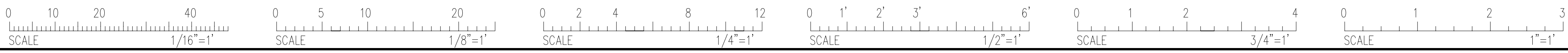
PORT & GUTZ
ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
fax: 207.761.9000
info@portcityarch.com

SALVATION ARMY
INTERIOR RENOVATIONS
88 PREBLE STREET
PORTLAND, MAINE

DATE	DESCRIPTION
4-03-09	REVISIONS
Project Number 08/07	
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SHEET NAME	

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D-11

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10 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

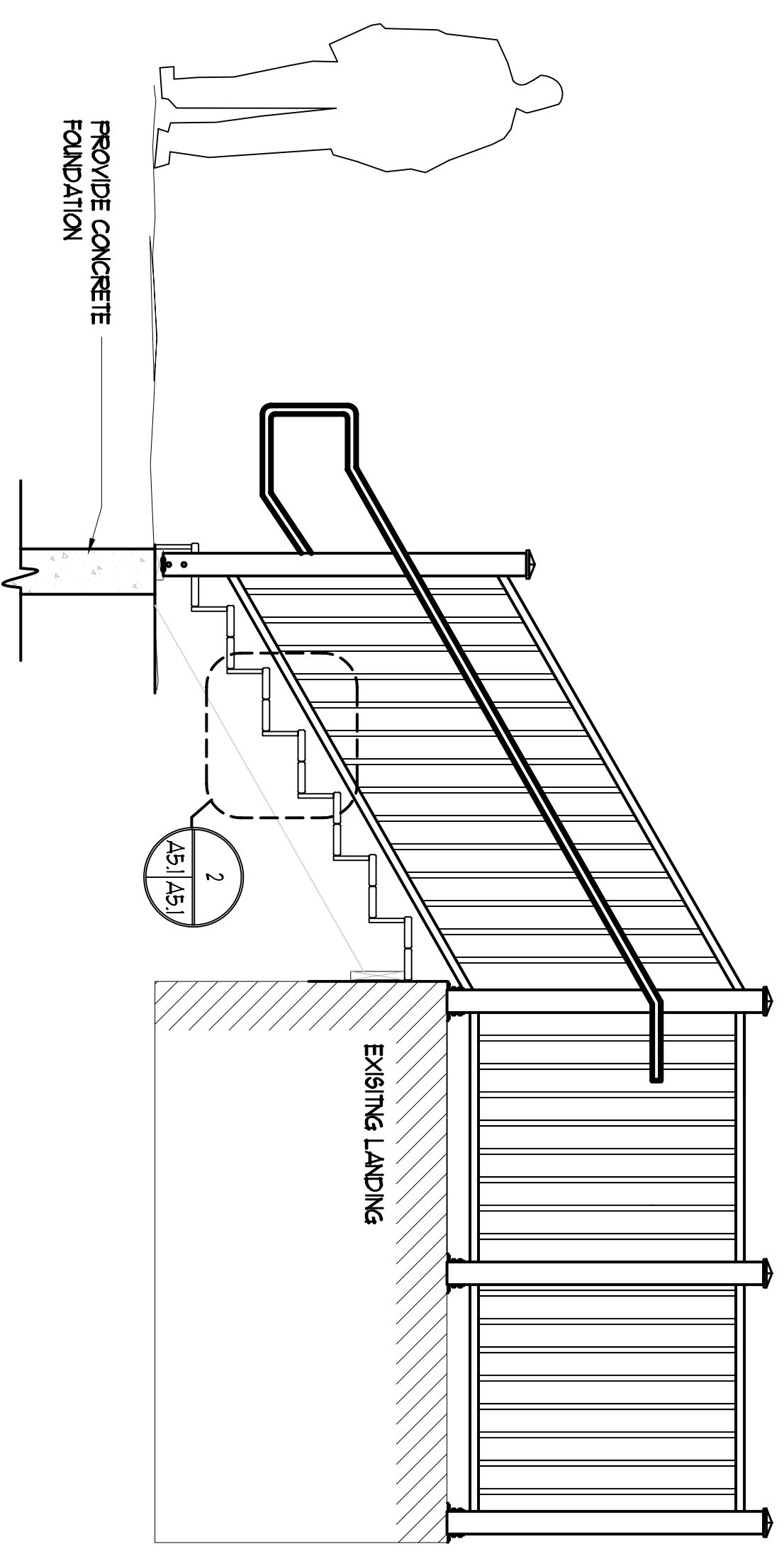
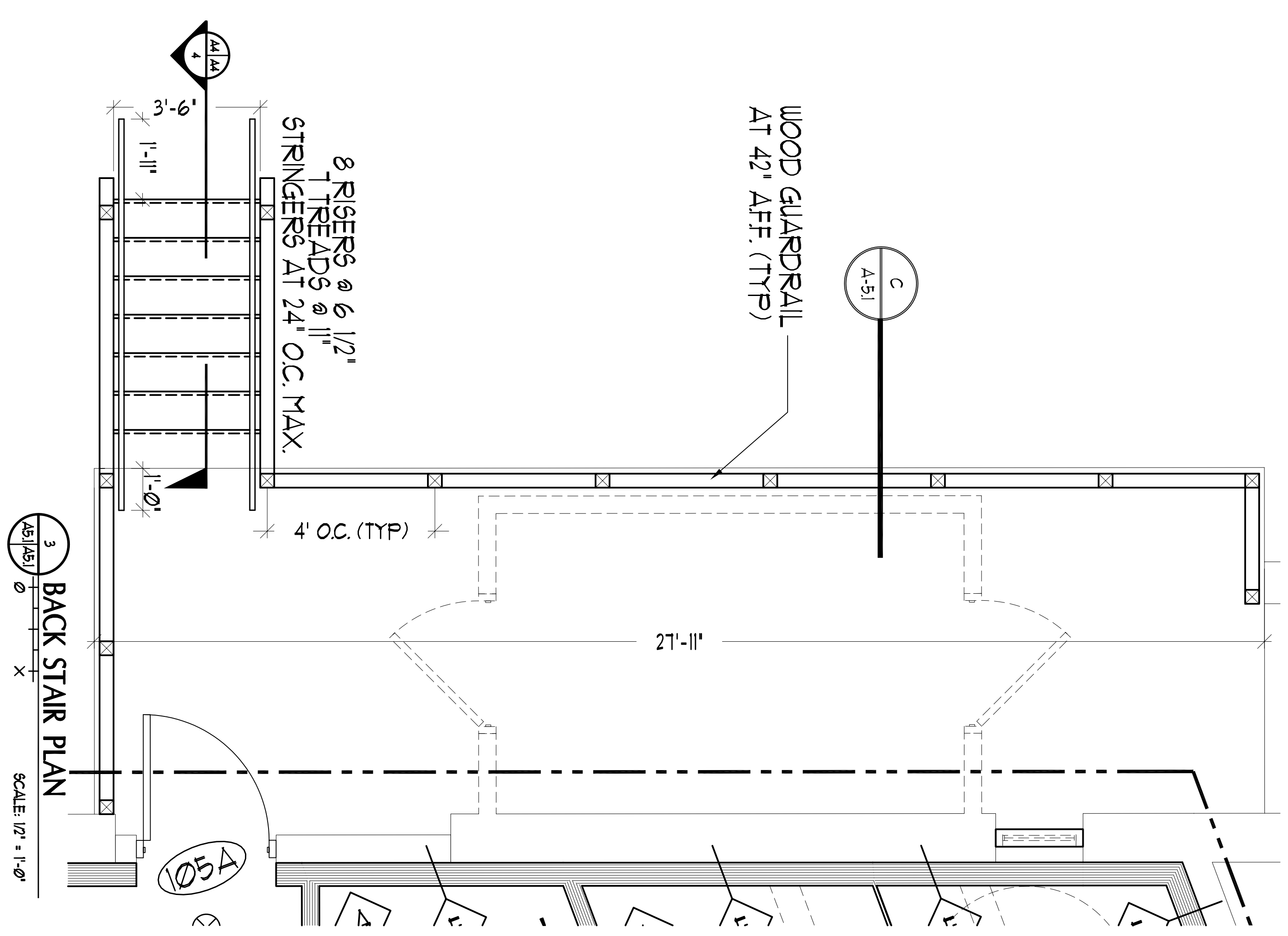
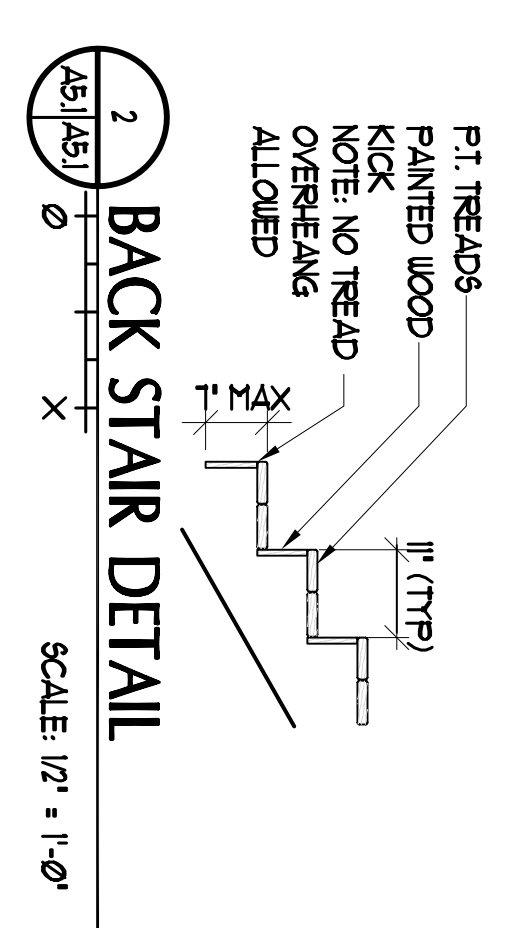
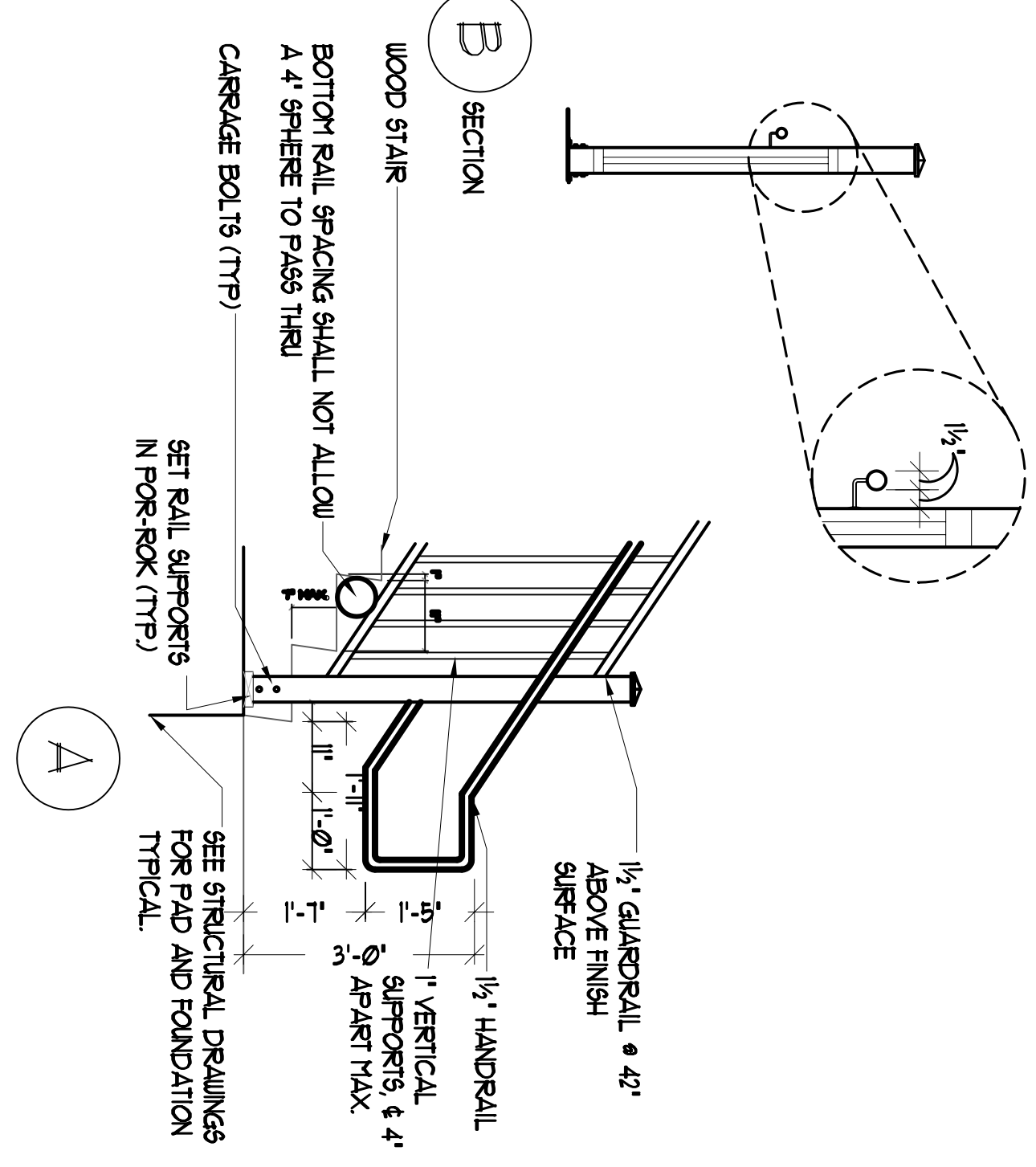
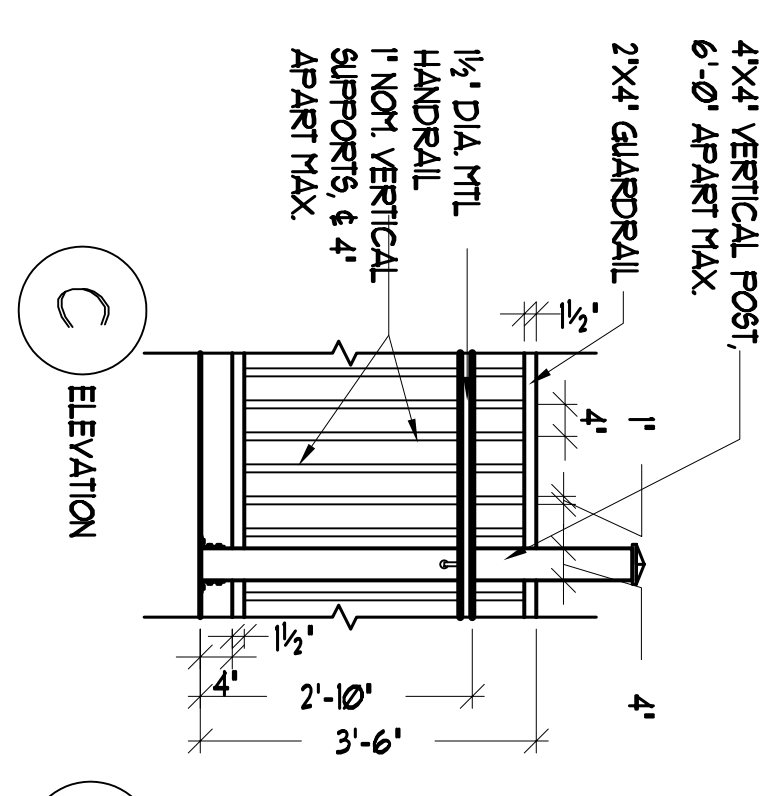
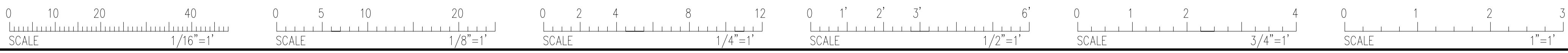
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PORTLAND, MAINE

DATE	DESCRIPTION
4-03-09	REVISIONS
Project Number: 08/07	
Date Issued: 4-03-09	
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SHEET NAME: FIRST FLOOR PLAN	

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A-11

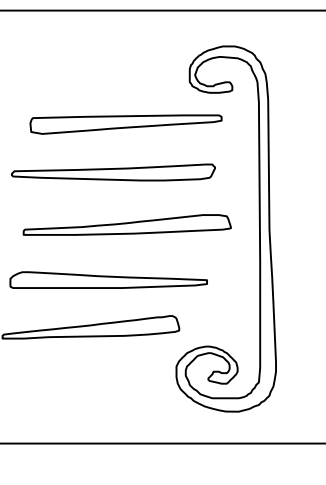
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65 NEWBURY STREET
PORTLAND, ME 04101
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3 BACK STAIR PLAN
SCALE: 1/2" = 1'-0"

4 BACK STAIR SECTION
SCALE: 1/2" = 1'-0"



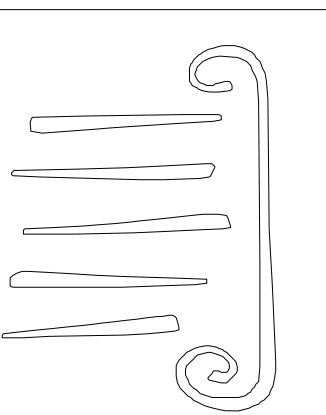
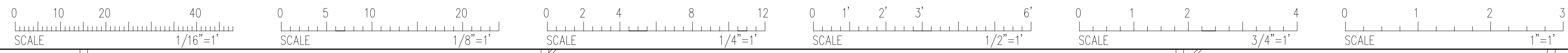
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ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
fax: 207.761.9000
info@portandgutz.com

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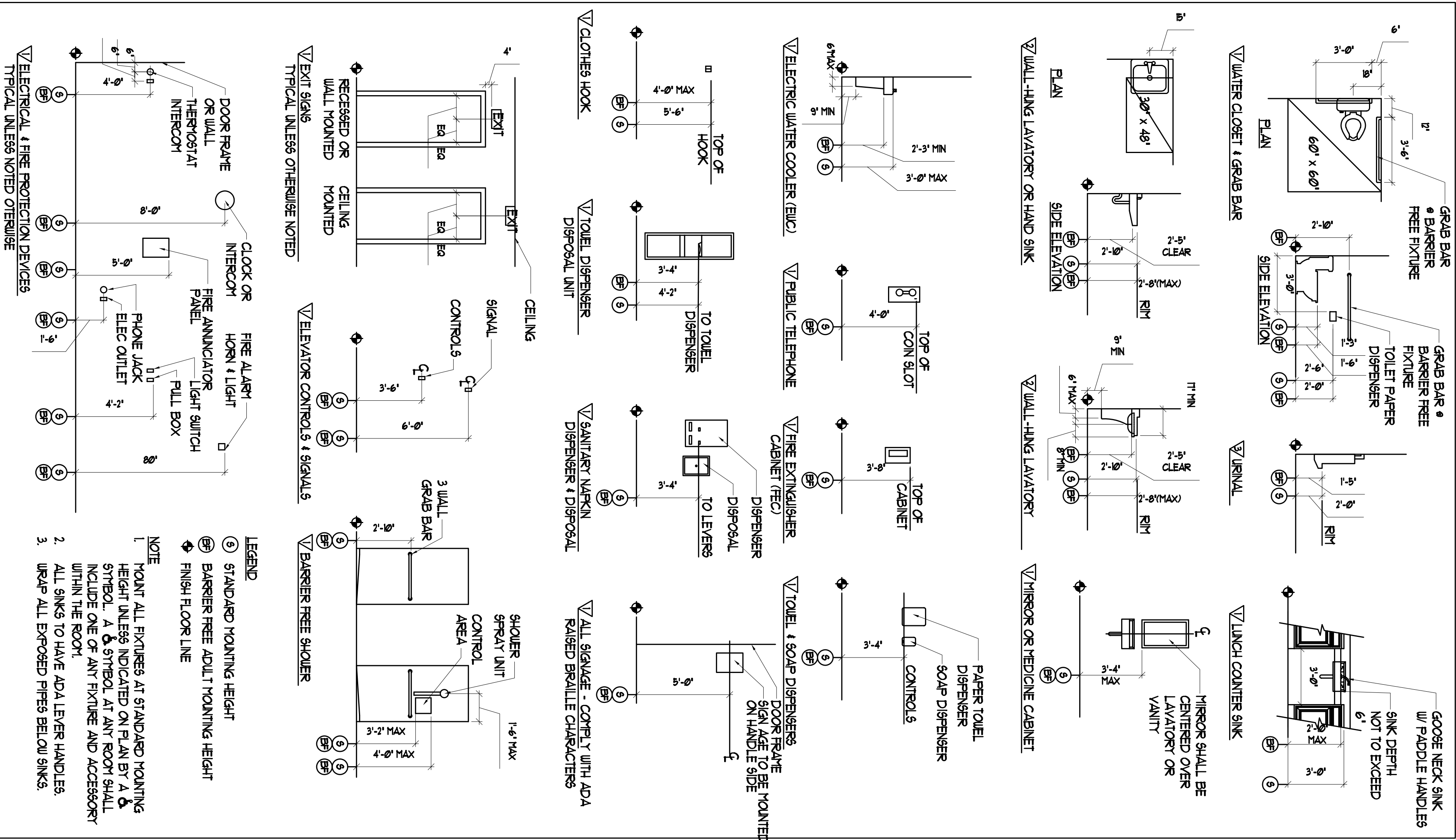
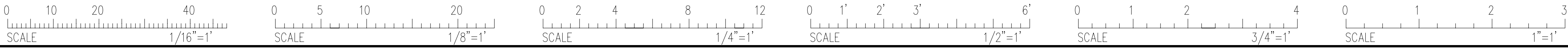


PORT & GUTZ
ARCHITECTURE
 65 NEWBURY STREET
 PORTLAND, ME 04101
 207.761.9000
 fax: 207.761.2010
 info@portandgutz.com

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SHEET NAME		

REFLECTED
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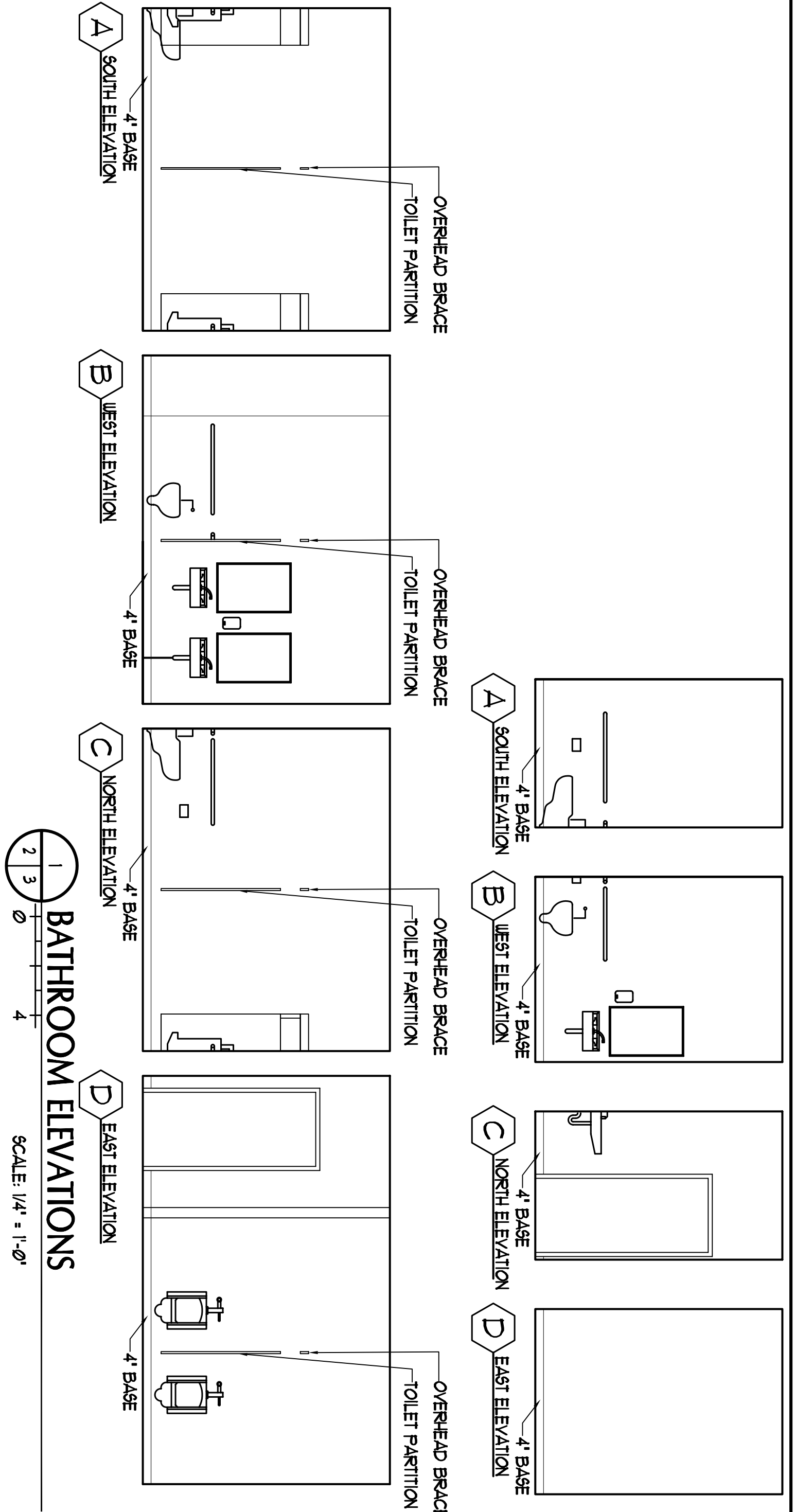
- ⑨ STANDARD MOUNTING HEIGHT
- Ⓢ BARRIER FREE ADULT MOUNTING HEIGHT
- Ⓢ FINISH FLOOR LINE

NOTE

1. MOUNT ALL FIXTURES AT STANDARD MOUNTING HEIGHT UNLESS INDICATED ON PLAN BY A Ⓢ SYMBOL. A Ⓢ SYMBOL AT ANY ROOM SHALL INCLUDE ONE OF ANY FIXTURE AND ACCESSORY WITHIN THE ROOM.
2. ALL SINKS TO HAVE ADA LEVER HANDLES.
3. WRAP ALL EXPOSED PIPES BELOW SINKS.

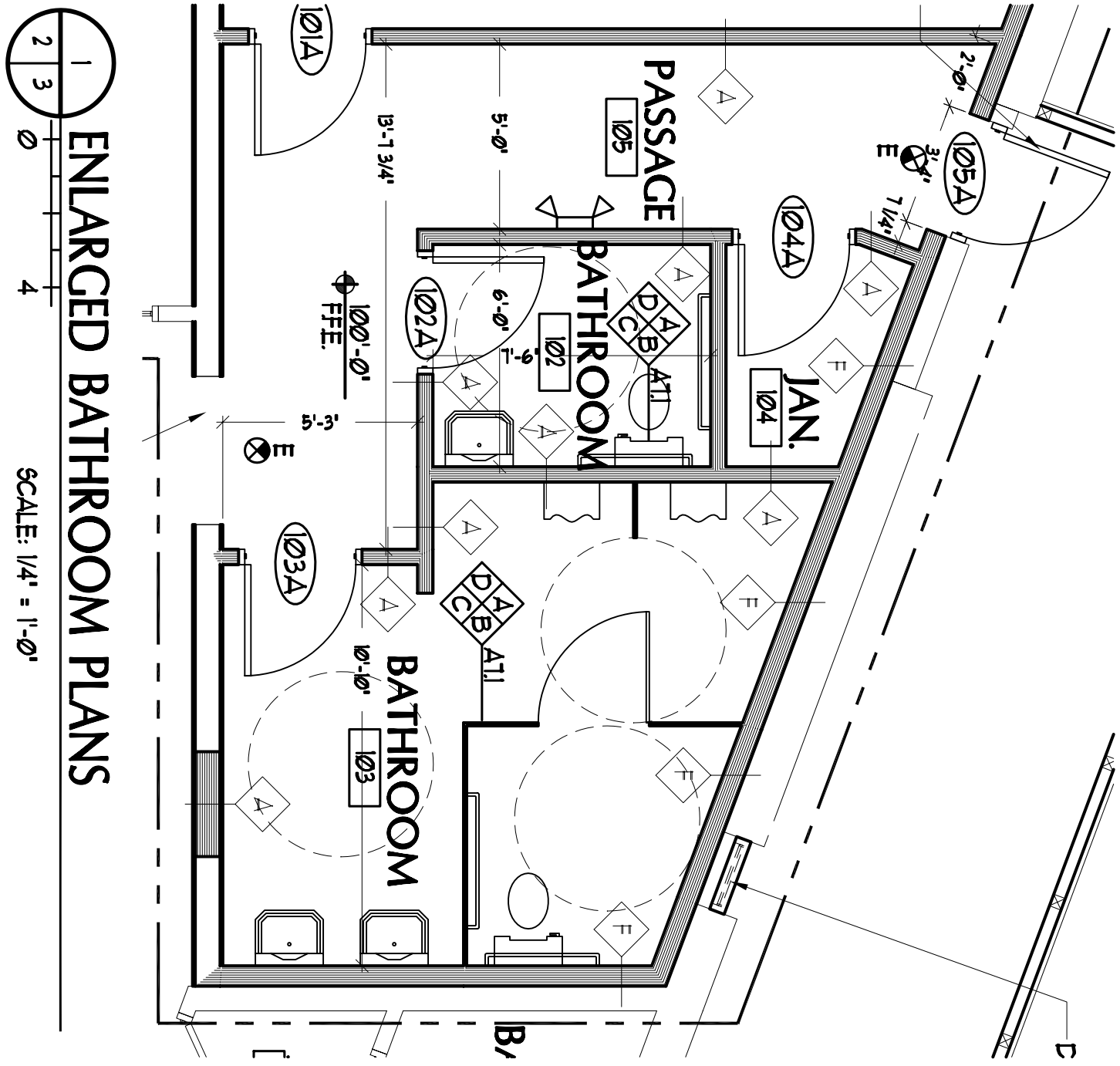
ADA REQUIREMENTS

SCALE: 1/4" = 1'-0"



BATHROOM ELEVATIONS

SCALE: 1/4" = 1'-0"



ENLARGED BATHROOM PLANS

SCALE: 1/4" = 1'-0"

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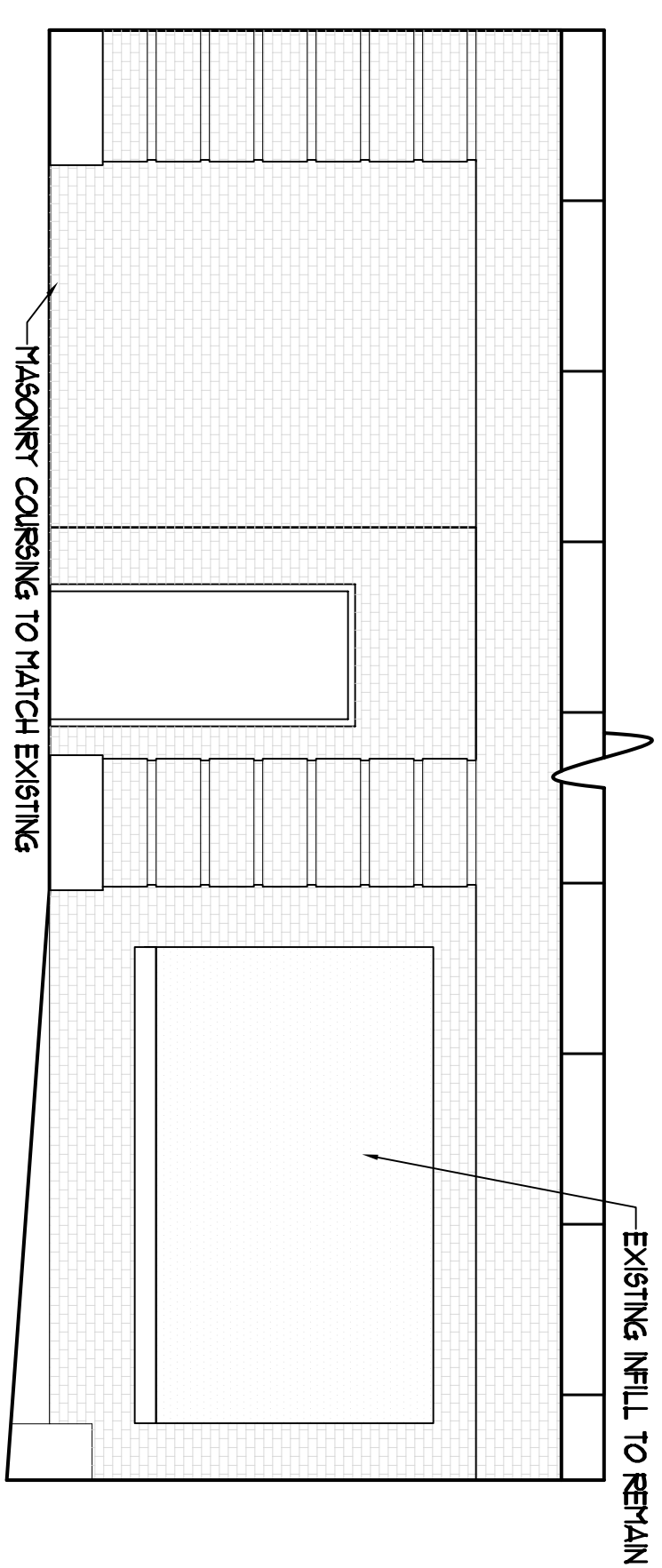
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BATHROOM ELEVATIONS & ENLARGED PLANS

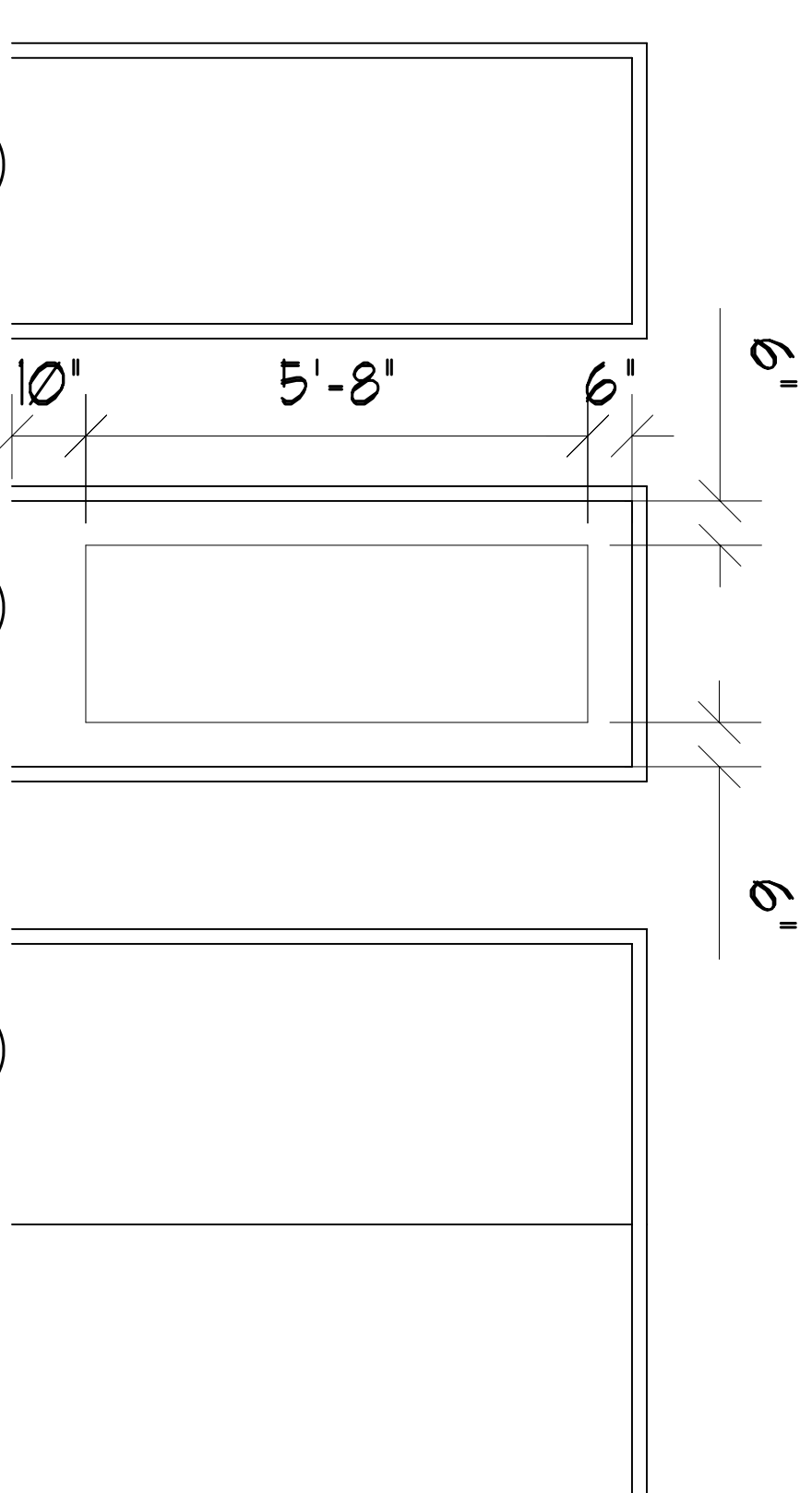
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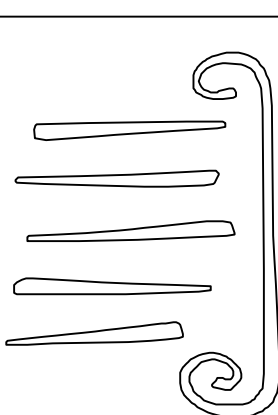


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1/32
Ø
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

PORT CITY ARCHITECTURE									
DOOR SCHEDULE									
NUM	DESCRIPTION	SIZE	MATS	DOOR		FRAME		NOTES	
				Type	RATI NG	MAT	TYPE		
100A	NEW CHAPEL TO EXISTING	3'-0" x 7'-0" (2)		C		MTL	2		
100B	NEW CHAPEL TO EXTERIOR	3'-0" x 7'-0"		B		MTL	2		
100C	NEW CHAPEL TO NEW MEETING ROOM	3'-0" x 7'-0"		A		MTL	2		
101A	NEW MEETING TO PASSAGE 105	3'-0" x 7'-0"		A		MTL	2		
101B	NEW MEETING TO PASSAGE 106	3'-0" x 7'-0"		A		MTL	2		
102A	BATHROOM TO PASSAGE 105	3'-0" x 7'-0"		A		MTL	2		
103A	BATHROOM TO PASSAGE 105	3'-0" x 7'-0"		A		MTL	2		
104A	JAN TO PASSAGE 105	3'-0" x 7'-0"		A		MTL	2		
105A	PASSAGE TO EXTERIOR	3'-0" x 7'-0"		A		MTL	2		



1
2
3
Ø
DOOR TYPES
SCALE: 1/2" = 1'-0"



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info@portcityarch.com

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08/01	Project Number

SHEET NAME
EXTERIOR ELEVATIONS & DOOR SCHEDULE
Drawn By
JAP
Checked By
JCC
A8.1