

# THE SALVATION ARMY ARC BUILDING ENVELOPE UPGRADE PROJECT

88 PREBLE STREET  
PORTLAND, MAINE 04101

## CONSTRUCTION DOCUMENT SET

ISSUE DATE: 5/25/18

### ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE
A/V	AIR/VAPOR
AFF	ABOVE FINISH FLOOR
B.O.	BOTTOM OF
CL	CENTER LINE
CONC.	CONCRETE
CONST.	CONSTRUCTION
DEMO	DEMOLITION
E	EXISTING
EA.	EACH
ELEVS.	ELEVATIONS
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
FFE	FINISH FLOOR ELEVATION
FL	FLOOR
FRP	FIBERGLASS REINFORCED PANELS
FT	FOOT
GWB	GYPSUM WALL BOARD
GYP BD	GYPSUM BOARD
HOR	HORIZONTAL
HR	HOUR
IN	INCHES
INSUL	INSULATION
INT	INTERIOR
LVT	LUXURY VINYL TILE
MATL	MATERIAL
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
N/A	NOT APPLICABLE
O.C.	ON CENTER
P. LAM	PLASTIC LAMINATE
POLY-ISO	POLY-ISOCYANURATE INSULATION
PT	PRESSURE TREATED/PAINTED
RSF	RESILIENT SHEET FLOORING
RWB	RESILIENT WALL BASE
SAT	SUSPENDED ACOUSTICAL TILE
SF	SQUARE FOOT
SIM	SIMILAR
SPECS	SPECIFICATIONS
S.S.	STAINLESS STEEL
STC	SOUND TRANSMITTANCE COEFFICIENT
STRUCT	STRUCTURAL
T.B.D.	TO BE DETERMINED
T.O.	TOP OF
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD
WSV	WELDED SHEET VINYL

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AD2.3	SOUTH DEMO ELEVATION	X
A1.0	FIRST FLOOR PLAN	X
A1.1	SECOND FLOOR PLAN	X
A1.2	THIRD FLOOR PLAN	X
A2.0	EAST ELEVATION	X
A2.1	NORTH ELEVATION	X
A2.2	WEST ELEVATION	X
A2.3	SOUTH ELEVATION	X
A3.0	DETAILS	X
A4.0	SCHEDULES	X

CD SET  
5/25/18

### GENERAL NOTES

- THIS CONSTRUCTION PERMIT SET DOES NOT EXPLICITLY PROVIDE ALL THE INFORMATION AND DETAILING REQUIRED FOR CODE COMPLIANCE, AND REQUIRES THAT CONTRACTORS AND SUB-CONTRACTORS CONDUCTING THE CONSTRUCTION WORK ARE FAMILIAR WITH COMPLYING TO THE BUILDING CODE AS IT APPLIES TO THEIR PARTICULAR DISCIPLINE.
- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
  - CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS PRIOR TO PERFORMANCE OF ANY WORK.
  - CONTRACTORS AND SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AS PER THE CONSTRUCTION DOCUMENTS AND THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
  - INSTALLERS MUST BE TRAINED AND EXPERIENCED IN THE APPLICATION/INSTALLATION OF THE PRODUCTS/MATERIALS THAT THEY ARE INSTALLING.
  - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN CONDITIONS AS ALLOWED BY THE MANUFACTURER.
  - PRODUCTS/MATERIALS MUST BE APPLIED/INSTALLED/USED IN COORDINATION WITH ALL OTHER WORK CONDUCTED ON SITE.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE OWNER.
- ANY DEVIATIONS WHATSOEVER FROM THE DRAWINGS AND/OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT THE OWNER'S WRITTEN PERMISSION. FAILURE TO PROCURE SUCH WRITTEN AUTHORIZATION PLACES ALL RESPONSIBILITY FOR THE VARIATION ON THE CONTRACTOR.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE OWNER SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. EXCEPTION: THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE BUILDING PERMIT.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY REGULATING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN AN APPROVED AND LEGAL MANNER.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT W/ ARCHITECTURAL FEATURES.

Reviewed for Code Compliance  
Permitting and Inspections Department  
Approved with Conditions  
08/29/2018

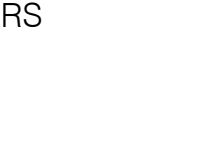
08/29/2018

### PROJECT CONTACTS

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ARCHITECTURE

PROJECT NO.  
**17034**

PROJECT NAME  
**SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

ISSUE DATE  
**5/25/18**

SHEET SCALE  
AS NOTED

REVISIONS

1	18.07.24
2	18.07.31
3	18.08.08
4	18.08.28
5	

**CONSTRUCTION DOCUMENT SET**

DRAWN BY  
**AEW**

SHEET TITLE  
**COVER SHEET**

**G**

1.0



**Code Summary**

IBC Use	R-2 (Nontransient Boarding House/Dormitory) – primary use S-2 (Low Hazard Storage) A-3 (Chapel) R-3 (Single Dwelling Unit) A-2 (Dining Hall)
NFPA 101 Use	Dormitory (Primary Use), Assembly, Storage, and One- and Two-Family Dwellings
Sprinkler	Yes
Fire separation of uses:	Separated
Building Footprint:	17,462sf
Total Work Area:	19,800sf

**IEBC 2015**

- 504.1 Level 2 Alteration – Addition of door or window. Comply with Chapter 7 and 8.
- 701.2 Existing building shall not be altered such that the building becomes less safe than its existing condition.
- 702.4 In Group R-2 or R-3 containing dwelling units, window opening controls devices complying with ASTM F 2090 shall be installed where a window is replaced.
- 702.5 Where windows are required to provide emergency escape and rescue openings in Group R-2 and R-3, replacement windows shall be exempt from emergency escape and rescue opening requirements in IBC, provided the replacement window is the manufacturer's largest standard window sizes that will fit in the existing rough opening.

- 805.3.1.2.1 Fire escape access and details shall comply with this section.  
**(4) Openings within 10 feet of fire escape stairway shall be protected by fire assemblies having a minimum ¾-hour fire-resistance rating. Exception: Opening protection shall not be required in buildings equipped w/ an approved automatic sprinkler system.**
- 805.3.1.2.2 **The fire escape shall be constructed of non-combustible materials.**
- 805.4.3 All doors opening onto an exit stairway shall be self-closing.
- 805.6 Dead end corridors shall not exceed 35 feet.

**IBC 2015**

1004.1.2 Occupant Load:				
Residential (Apartment)	1,012sf	200 gross	6 occupants	
Kitchens	926 sf	200 gross	5 occupants	
Assembly (Dining Hall Addition)	2,821sf	15 net	189 occupants	
Residential (Boarding House)	14,867sf	200 gross	75 occupants	
Storage (Low Hazard)	2,503 sf	300 gross	9 occupants	
Assembly (Chapel Concentrated chairs)	1,372 sf	7 net	196 occupants	
Mercantile (sales area on street floor)	4,216 sf	60 gross	71 occupants	
	<b>Total Building Occupants</b>		<b>551 occupants</b>	
1026.1	Horizontal exits serving as an exit in a means of egress system shall comply with requirements of this section.			
1026.2	2-hr fire wall separation			
1026.4	Refuge area = 24 (third floor) + 32 (second floor) + 199 (dining hall) = 255 total occupants 3sf * 255 occupants = 765 square feet (dining hall meets requirements capacity requirements for refuge area)			

**NFPA 101 (2009) Code Summary**

6.2.2.3	Ordinary Hazard of Contents																																
7.2.1.3.5	In existing buildings, door opening discharges to outside or exterior exit access, the floor level outside the door opening shall be one step lower, but not more than 8 inches.																																
7.2.1.4.2	Doors shall swing in direction of path of travel where serving more than 50 occupants																																
7.2.2.4.4.2	Existing handrails shall be 30-38 inches above surface of tread																																
7.2.2.4.5.2(3)	Existing guards on existing stairs shall be permitted to be not less than 30 inches high.																																
7.2.8.1.1	Fire escape stairs shall comply with 7.2.8 unless they are approved existing fire escape stairs.																																
7.2.8.1.2.1	Fire escape stairs shall be permitted on existing buildings as provided in Chapters 11-43, but shall not constitute more than 50 percent of the required means of egress.																																
7.2.8.2	Protection of Openings. Each opening shall be protected with approved fire door or fire window assemblies where the opening or any portion of the opening is located as follows. <ul style="list-style-type: none"> <li>(1) Horizontally, within 15 feet of any balcony, platform, or stairway constituting a component of the fire escape stair.</li> <li>(2) Below, within three stories or 36 ft of any balcony, platform, or stairway constituting a component of the fire escape stair.</li> <li>(3) Above, within 10 ft vertically of any balcony, platform, or stairway constituting a component of the fire escape stair.</li> </ul>																																
7.2.8.2.1	The requirements of 7.2.8.2 shall not apply to openings located on the top story where stairs do not lead to the roof.																																
7.2.8.7.1	A single swinging stair section shall be permitted to terminate fire escape stairs over sidewalks, alleys, or driveways where it is impractical to make the termination with fire escape stairs.																																
7.2.8.4.1(a)	Fire Escape Stairs: <table border="0" style="margin-left: 20px;"> <tr> <td>Min. Width:</td> <td>22 inches</td> </tr> <tr> <td>Min. horizontal dimension of landings:</td> <td>22 inches</td> </tr> <tr> <td>Max. Riser Height:</td> <td>9 inches</td> </tr> <tr> <td>Min. Tread:</td> <td>9 inches</td> </tr> <tr> <td>Tread Construction:</td> <td>½" diameter perforated permitted</td> </tr> <tr> <td>Max. height between landings:</td> <td>12 feet</td> </tr> <tr> <td>Min. Headroom:</td> <td>6 feet 8 inches</td> </tr> <tr> <td>Access to escape:</td> <td>Door</td> </tr> <tr> <td>Level of access openings:</td> <td>Not over 12 inches above floor</td> </tr> <tr> <td>Discharge to ground level:</td> <td>Swinging stair section (if permitted by AHJ)</td> </tr> <tr> <td>Capacity:</td> <td>1/2 inch per person, if access by door</td> </tr> </table>	Min. Width:	22 inches	Min. horizontal dimension of landings:	22 inches	Max. Riser Height:	9 inches	Min. Tread:	9 inches	Tread Construction:	½" diameter perforated permitted	Max. height between landings:	12 feet	Min. Headroom:	6 feet 8 inches	Access to escape:	Door	Level of access openings:	Not over 12 inches above floor	Discharge to ground level:	Swinging stair section (if permitted by AHJ)	Capacity:	1/2 inch per person, if access by door										
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10.2	Interior finishes shall be in accordance with this section																																
29.2.2.9	<b>Fire escape stairs complying with 7.2.8 shall be permitted.</b>																																
43.1.1	Rehabilitation work categories: <ul style="list-style-type: none"> <li>(2) Renovation</li> </ul>																																
43.1.2.1	Comply with (1) requirements of applicable existing occupancy chapters; (2) requirements of the applicable section of this chapter																																
43.4.1.5	Minor reductions in clear opening dimensions of replacement windows and doors that result from different materials shall be permitted.																																
43.4.2	The capacity means of egress shall be in accordance with Section 7.3.																																
A.7.6	Occupancy Sprinkled? Common Path Limit Dead-End Limit Travel Distance <table border="0" style="margin-left: 20px;"> <tr> <td>Dormitory</td> <td>Yes</td> <td>50 ft</td> <td>50 ft</td> <td>325 ft</td> </tr> </table>	Dormitory	Yes	50 ft	50 ft	325 ft																											
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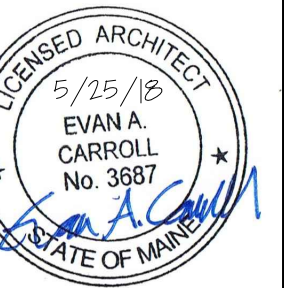
REVISIONS	1	18.07.24
	2	18.07.31
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Approved with Conditions  
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PROJECT NO.  
**17034**  
PROJECT NAME  
**SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

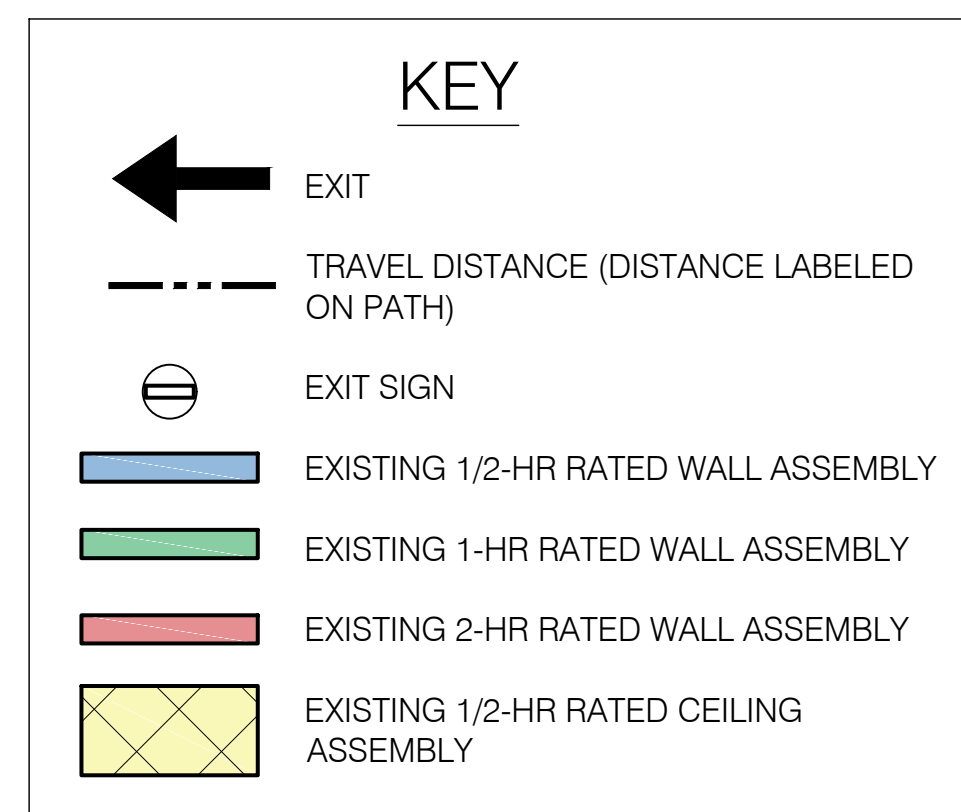
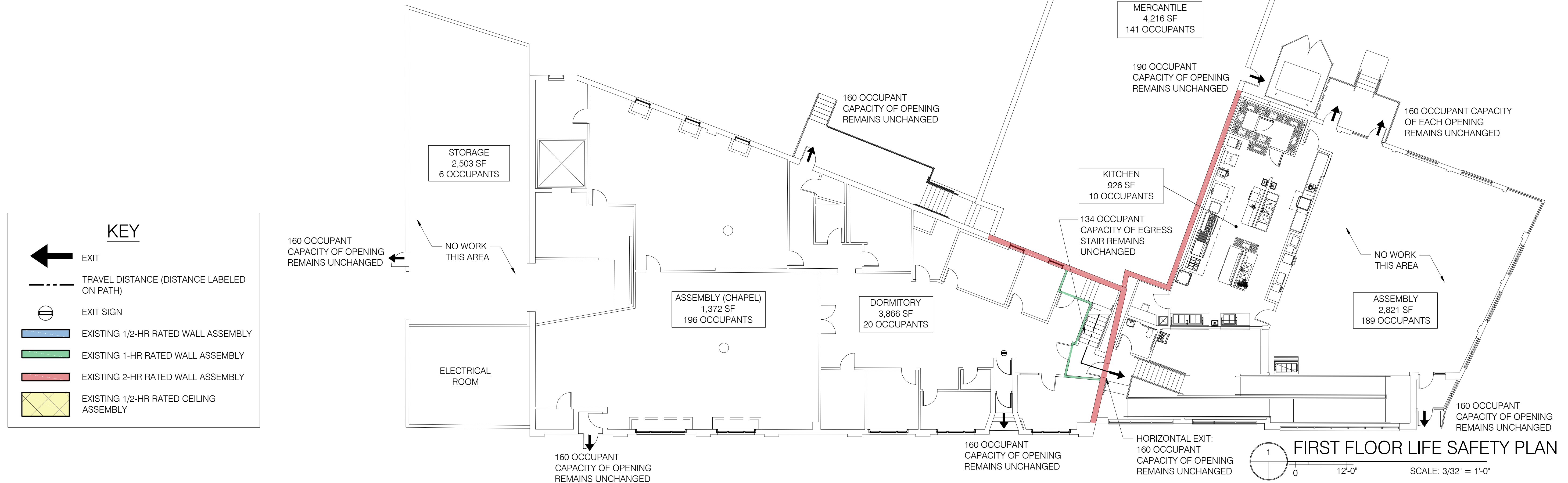
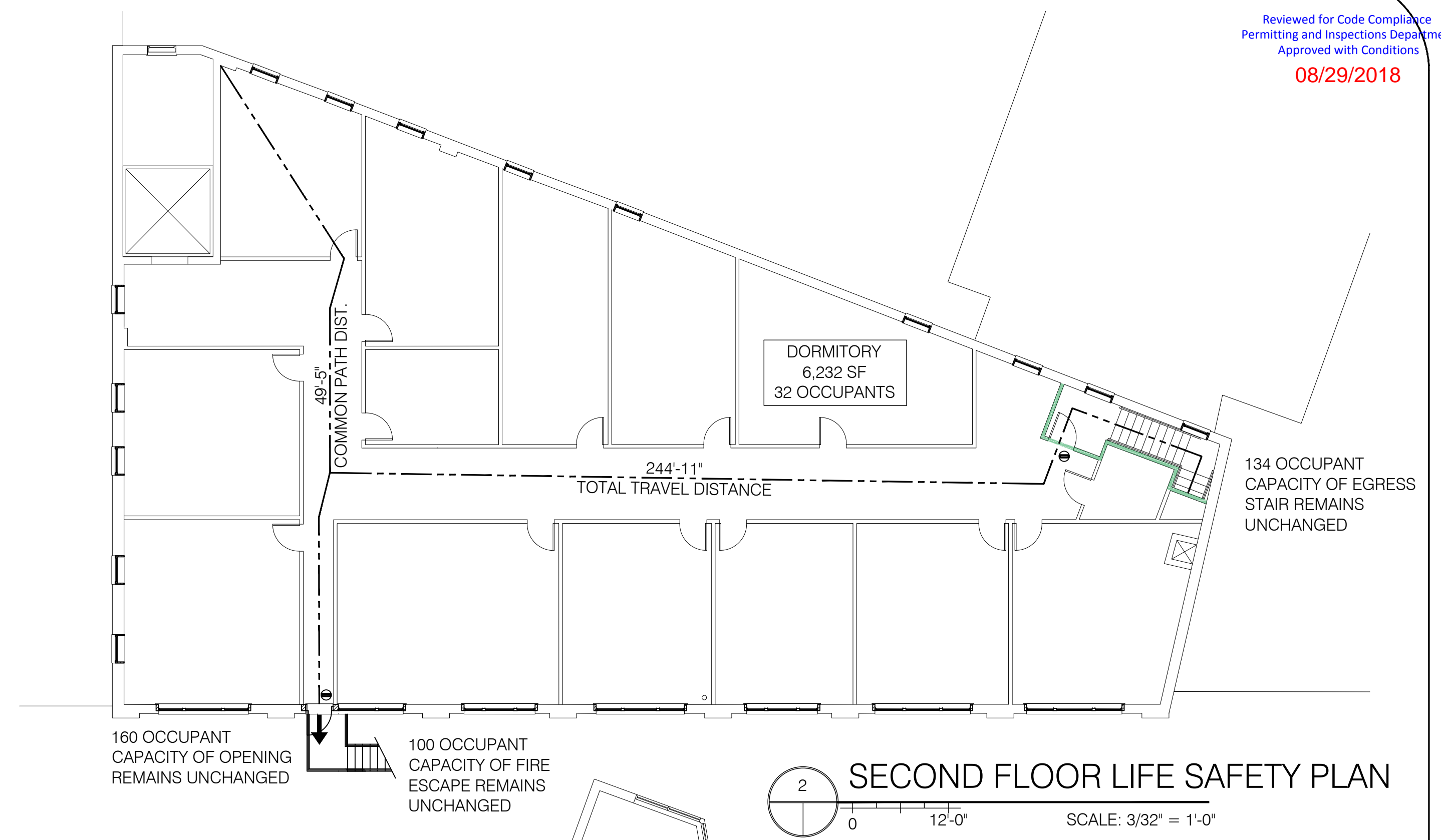
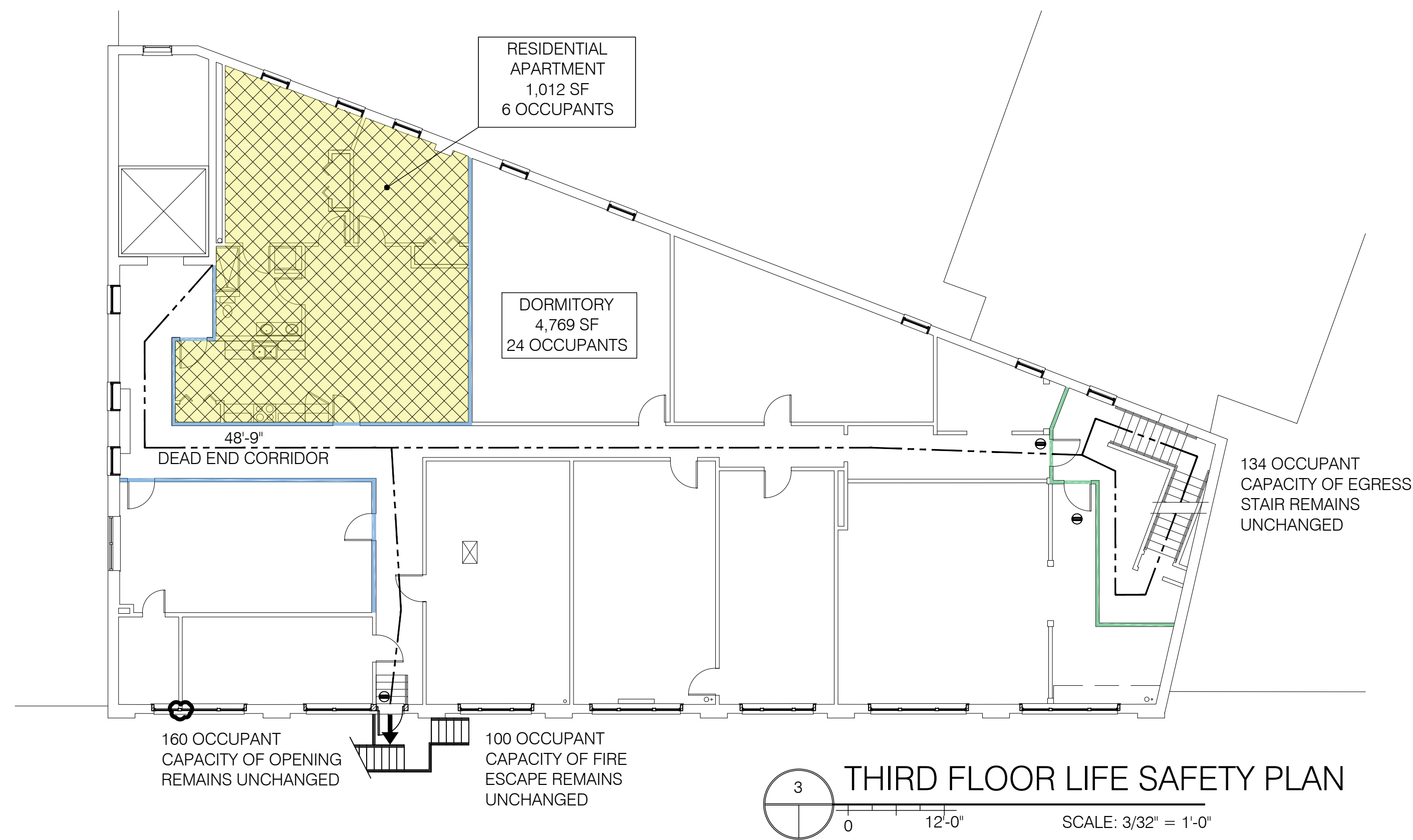
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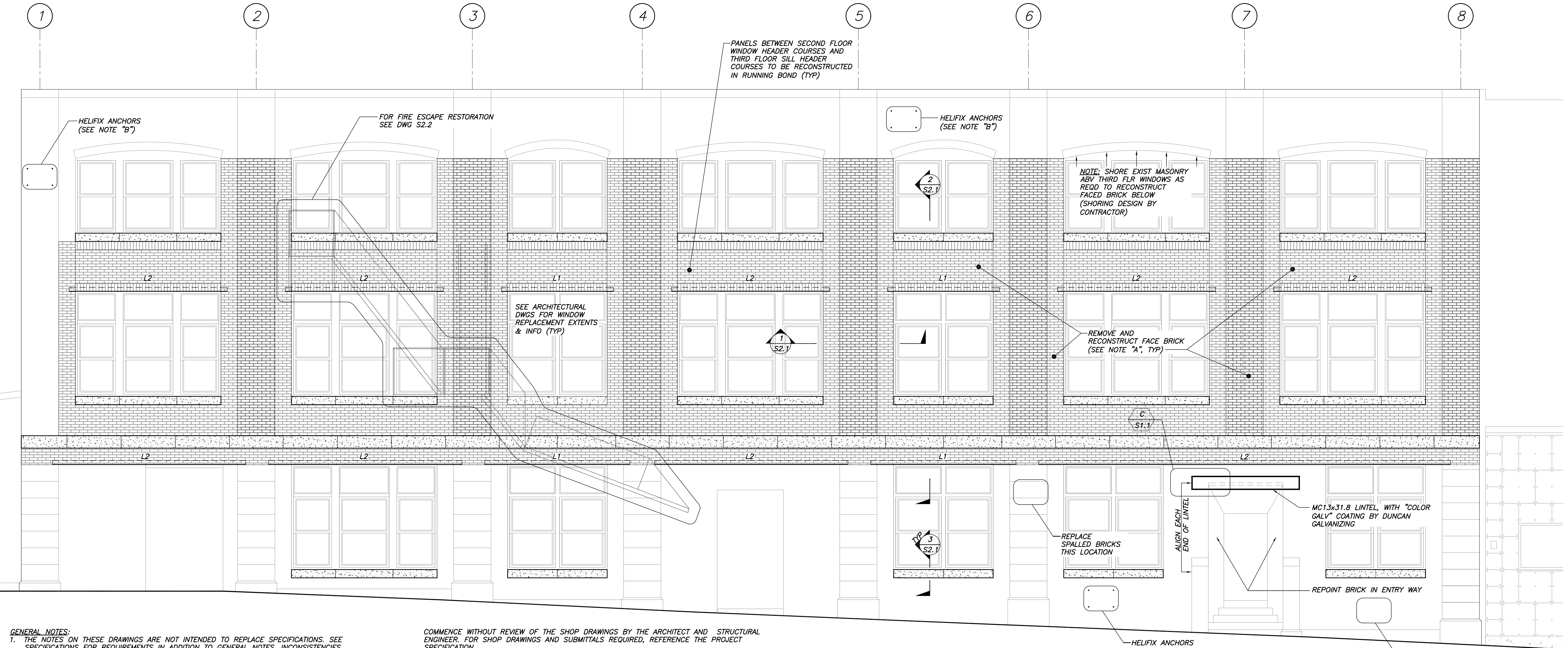
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DRAWN BY  
**AEW**  
SHEET TITLE  
**LIFE SAFETY PLANS**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
3/32" = 1'-0"





**GENERAL NOTES:**

- THE NOTES ON THESE DRAWINGS ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES. INCONSISTENCIES BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- ALL DIMENSIONS, EXISTING CONDITIONS, AND AS-BUILT CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE S- DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER RESERVES THE RIGHT TO INTERPRET DETAILS TO ADDRESS OTHER PROJECT CONDITIONS.
- THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF PROJECT STAGING, AND CONSTRUCTION METHODS AND SEQUENCING WHERE APPLICABLE, AS WELL AS MASONRY PRODUCTS AND INFORMATION. NO PERFORMANCE OF THE WORK INCLUDING, BUT NOT LIMITED TO, DEMOLITION OF EXISTING STRUCTURE, OR FABRICATION OR ERECTION OF NEW STRUCTURAL ELEMENTS, SHALL

COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ARCHITECT AND STRUCTURAL ENGINEER. FOR SHOP DRAWINGS AND SUBMITTALS REQUIRED, REFERENCE THE PROJECT SPECIFICATION.

- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- REFERENCE THE PROJECT SPECIFICATIONS FOR ALL TESTING REQUIREMENTS.
- PRIOR TO COMMENCING WORK, CONTRACTOR SHALL PHOTO DOCUMENT EXISTING FACADE. THE INTENT IN PHOTO DOCUMENTING IS TO ENSURE COURSING AND PATTERNS OF AREAS TO BE RECONSTRUCTED MATCH EXISTING UNLESS NOTED OTHERWISE. SUBMIT PHOTO DOCUMENTATION TO ARCHITECT AND ENGINEER PRIOR TO COMMENCING WORK.
- MASONRY COURSING SHOWN IN DRAWINGS IS REPRESENTATIVE ONLY; REFERENCE FIELD CONDITIONS AND PHOTO SURVEY FOR ACTUAL COURSING; COURSING OF NEW WORK SHALL MATCH ORIGINAL EXCEPT AS NOTED IN THE ELEVATION ABOVE.
- ALL EXISTING EXTERIOR BRICK SURFACES TO REMAIN SHALL BE CLEANED AND SEALED. REFERENCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- EXISTING WINDOWS ARE TO BE REPLACED AS PART OF THE WORK. REFERENCE THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING WINDOW REPLACEMENT.
- REFERENCE THE ARCHITECTURAL DRAWINGS FOR FLASHING AND WATERPROOFING DETAILS.
- ALL NEW MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1 LATEST.
- MORTAR AT BRICK MASONRY SHALL CONFORM TO ASTM C270 TYPE N. PROVIDE FULL MORTAR COVERAGE ON ALL BRICK INTERFACES.
- NEW STEEL MASONRY LINTELS SHALL BE HOT DIPPED GALVANIZED AFTER BEING CUT TO LENGTH. CONTRACTOR SHALL FIELD VERIFY LINTEL OPENINGS WITH EXISTING AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION/CUTTING.

**REPAIR ELEVATION "A" - EAST**  
1/4"=1'-0"

**REPAIR/RECONSTRUCTION NOTES - EAST ELEVATION:**

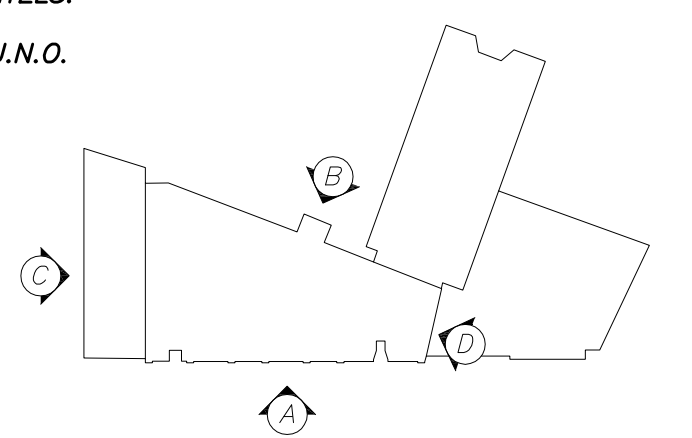
- INDICATES AREA WITH FACE BRICK TO BE RECONSTRUCTED. AFTER DEMOLITION OF EXTERIOR WYTHE, REPOINT EXTERIOR FACE OF BACKUP BRICK PRIOR TO REBUILDING EXTERIOR WYTHE. ATTACH NEW EXTERIOR WYTHE TO BACKUP WITH TIES AS SHOWN IN TYPICAL DETAIL ON S2.1 UNLESS NOTED OTHERWISE. SEE SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- AT ALL EXISTING MASONRY TO REMAIN, REPOINT 100 PERCENT AND PROVIDE STAINLESS STEEL HELIFIX DRYFIX ANCHORS NOT LESS THAN 195 MM LONG ON A PATTERN 16 INCH VERTICAL BY 24 INCH HORIZONTAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- INDICATES EXISTING CAST STONE BAND OR SILL TO BE REPLACED. REFERENCE SECTIONS AND DETAILS FOR ATTACHMENT TO EXISTING BACKUP MASONRY. REFERENCE ARCHITECTURAL DRAWINGS FOR FLASHING AND WATERPROOFING REQUIREMENTS.
- "L2" INDICATES EXISTING STEEL LINTEL TO BE REPLACED WITH NEW HOT DIPPED GALVANIZED LINTEL. REFERENCE GENERAL NOTES, SCHEDULE, SECTIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS. REFERENCE ARCHITECTURAL DRAWINGS FOR FLASHING REQUIREMENTS AND INFORMATION.
- CLEAN AND SEAL ALL SURFACES UPON COMPLETION OF WORK SHOWN.

**MASONRY VENEER LINTELS**

THE FOLLOWING LINTELS SHALL BE USED FOR BRICK MASONRY OPENINGS, U.N.O. ON DRAWINGS:

MARK	LINTEL SIZE
L1	L 5 x 3 1/2 x 5/16 (LLV)
L2	L 6 x 3 1/2 x 3/8 (LLV)

- PROVIDE 8" OF BEARING AT EACH END OF ALL LINTELS.
- ALL LINTELS SHALL BE HOT-DIPPED GALVANIZED, U.N.O.



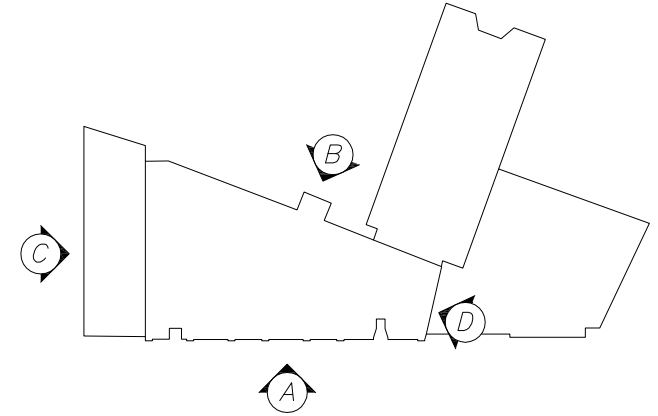
MATCHLINE S1.2  
 MATCHLINE ST.4



**REPAIR ELEVATION "B" - WEST**  
 1/4"=1'-0"

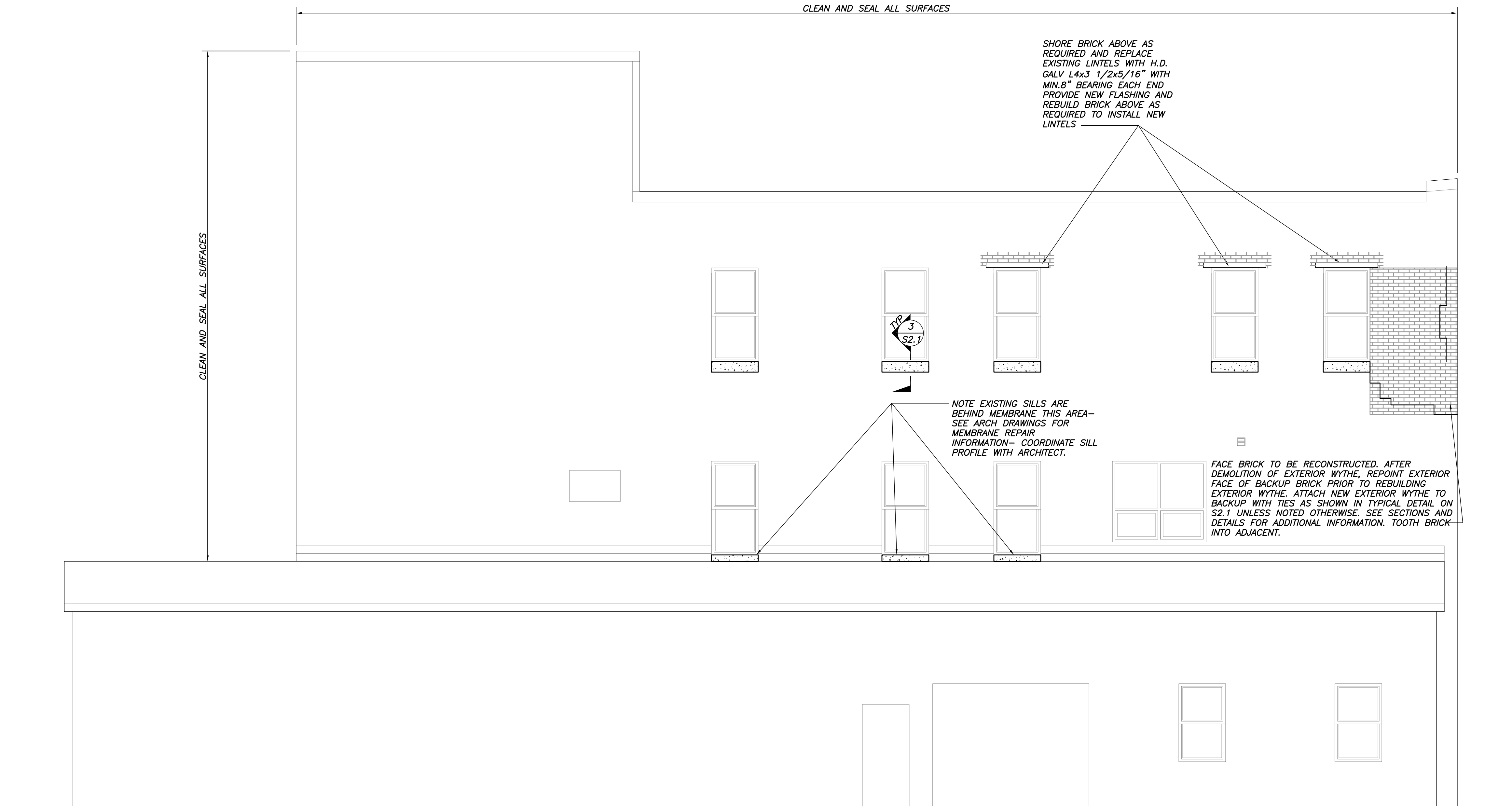
**REPAIR/RECONSTRUCTION NOTES - WEST ELEVATION:**

- A. FOR GENERAL NOTES, SEE DWG S1.1
- B. [Symbol] INDICATES EXISTING CAST STONE BAND OR SILL TO BE REPLACED. REFERENCE SECTIONS AND DETAILS FOR ATTACHMENT TO EXISTING BACKUP MASONRY. REFERENCE ARCHITECTURAL DRAWINGS FOR FLASHING AND WATERPROOFING REQUIREMENTS.
- C. MASONRY WORK THIS ELEVATION LIMITED TO SILL REPLACEMENT, CLEANING, SEALING AND ISOLATED REPOINTING SHOWN. SEE ARCH DWGS ADDL WORK INCLUDING WINDOW REPLACEMENT AND FLASHING INFO.




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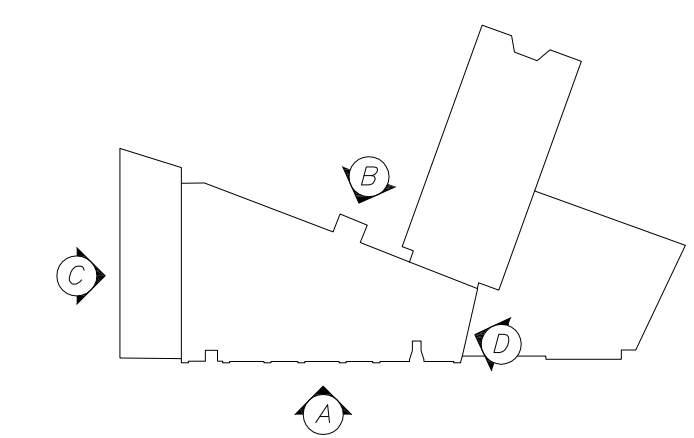
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**REPAIR ELEVATION "C" - SOUTH**  
 1/4"=1'-0"

**REPAIR/RECONSTRUCTION NOTES - SOUTH ELEVATION:**

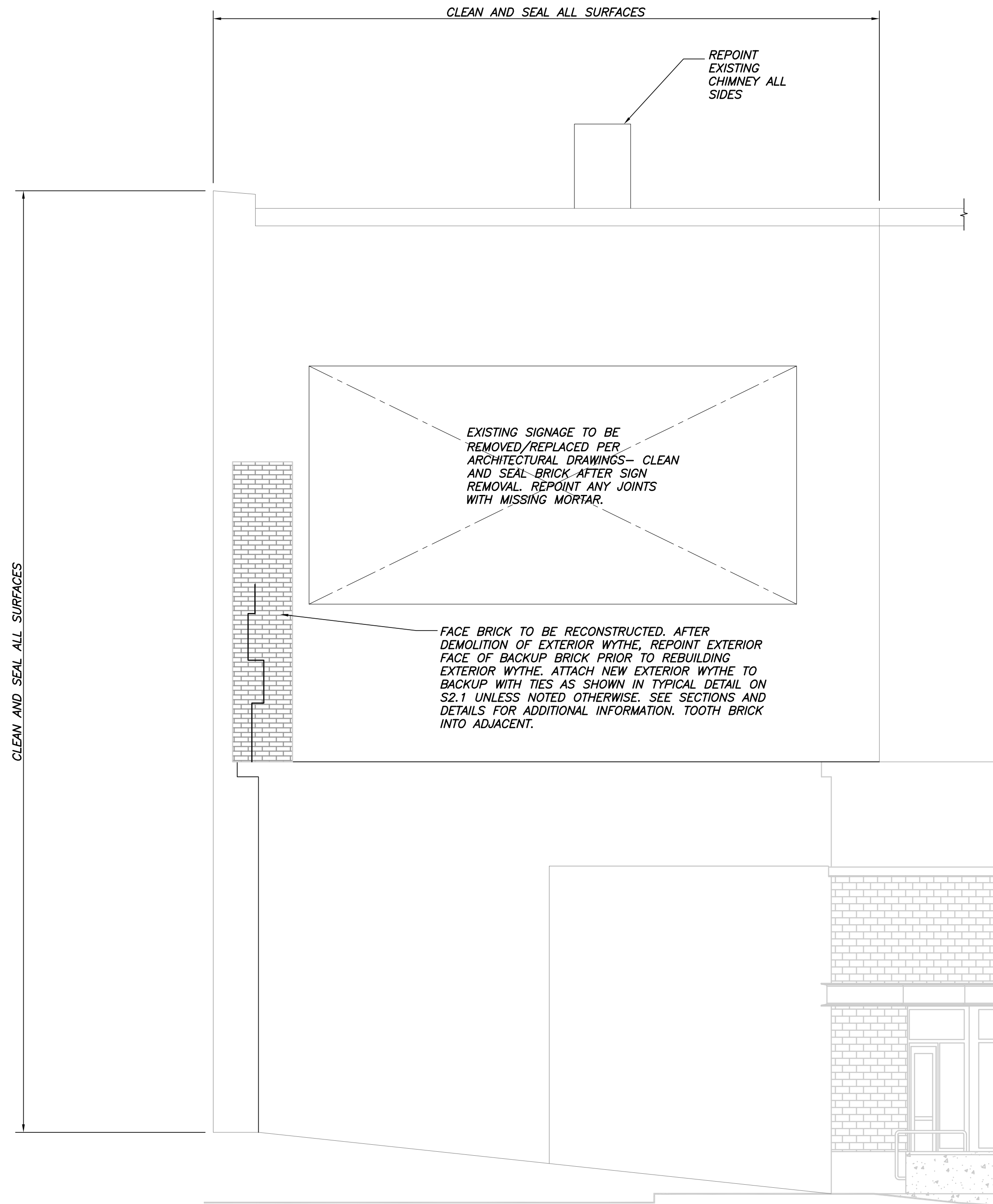
- A. FOR GENERAL NOTES, SEE DWG S1.1
- B.  INDICATES EXISTING CAST STONE BAND OR SILL TO BE REPLACED. REFERENCE SECTIONS AND DETAILS FOR ATTACHMENT TO EXISTING BACKUP MASONRY. REFERENCE ARCHITECTURAL DRAWINGS FOR FLASHING AND WATERPROOFING REQUIREMENTS.
- C. MASONRY WORK THIS ELEVATION LIMITED TO SILL REPLACEMENT, CLEANING, SEALING AND ISOLATED VENEER REPLACEMENT SHOWN. SEE ARCH DWGS ADDL WORK INCLUDING WINDOW REPLACEMENT AND FLASHING INFO.



REVISIONS	NO.	DATE
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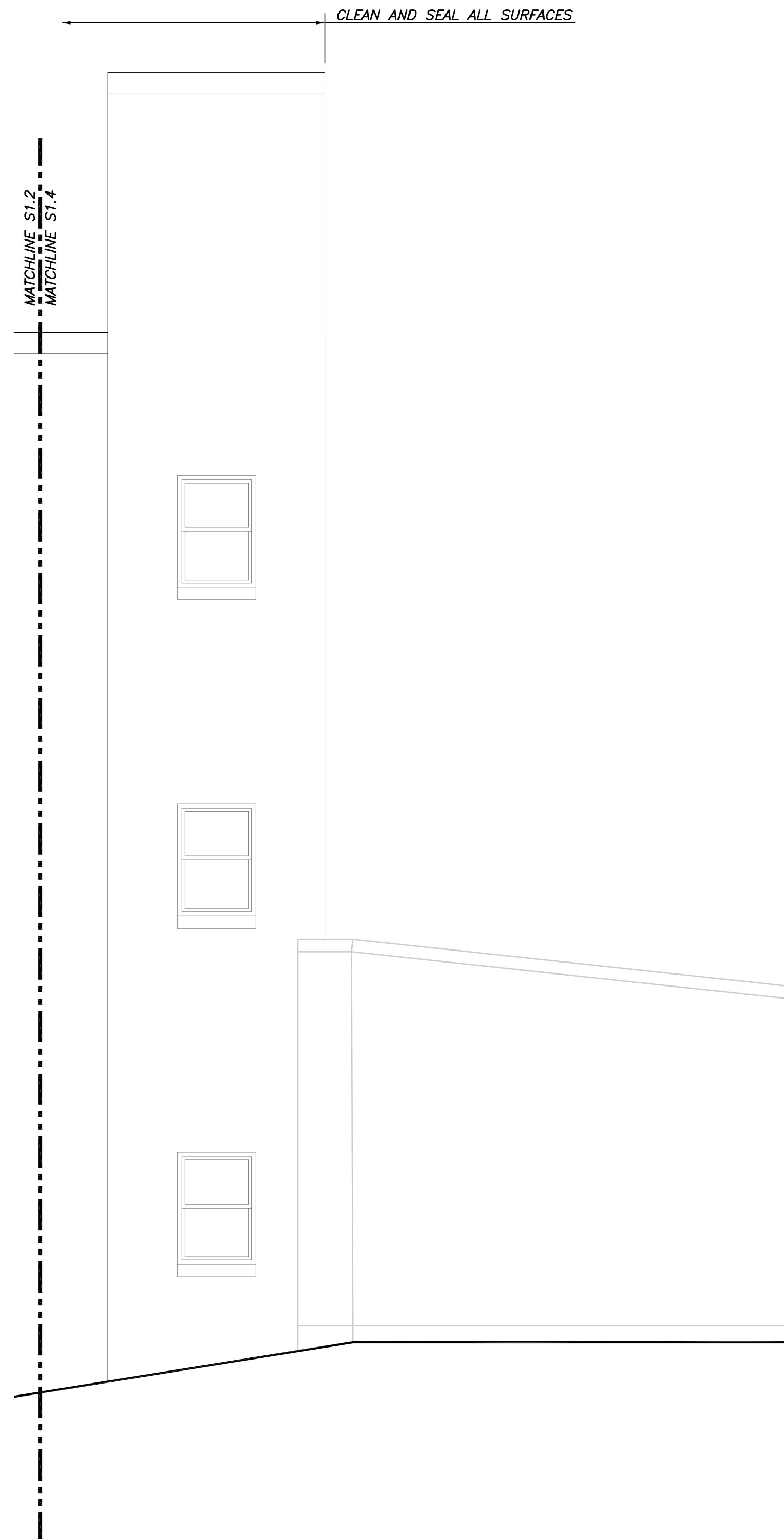
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 08/29/2018



**REPAIR ELEVATION "D" - NORTH**  
 1/4"=1'-0"

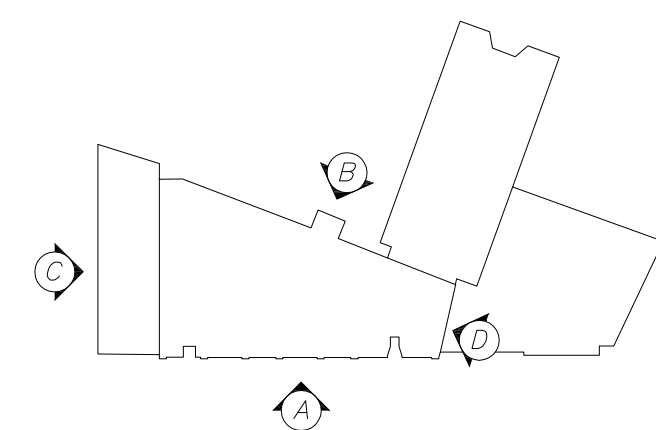
**REPAIR/RECONSTRUCTION NOTES - NORTH ELEVATION:**

- A. FOR GENERAL NOTES, SEE DWG S1.1
- B. MASONRY WORK THIS ELEVATION LIMITED TO CLEANING, SEALING AND ISOLATED REPOINTING SHOWN. SEE ARCH DWGS ADDL WORK INCLUDING WINDOW REPLACEMENT AND FLASHING INFO.



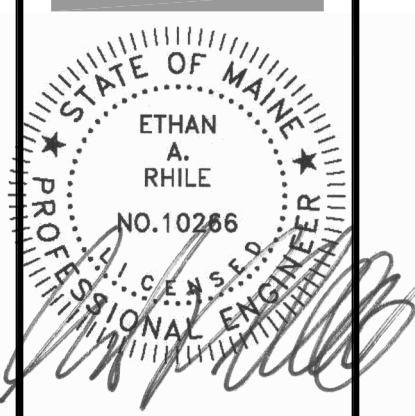
**PART REPAIR ELEVATION "B" - WEST (CONTINUED)**  
 1/4"=1'-0"

SEE NOTES S1.2 FOR ADDITIONAL INFORMATION



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PROJECT NO. **17034/BSE 4245**  
 PROJECT NAME **SALVATION ARMY**  
 88 PREBLE ST., PORTLAND, ME 04101

REVISIONS

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**CONSTRUCTION DOCUMENTS**

DRAWN BY **BSE**  
 SHEET TITLE **REPAIR ELEVATION - SOUTH**

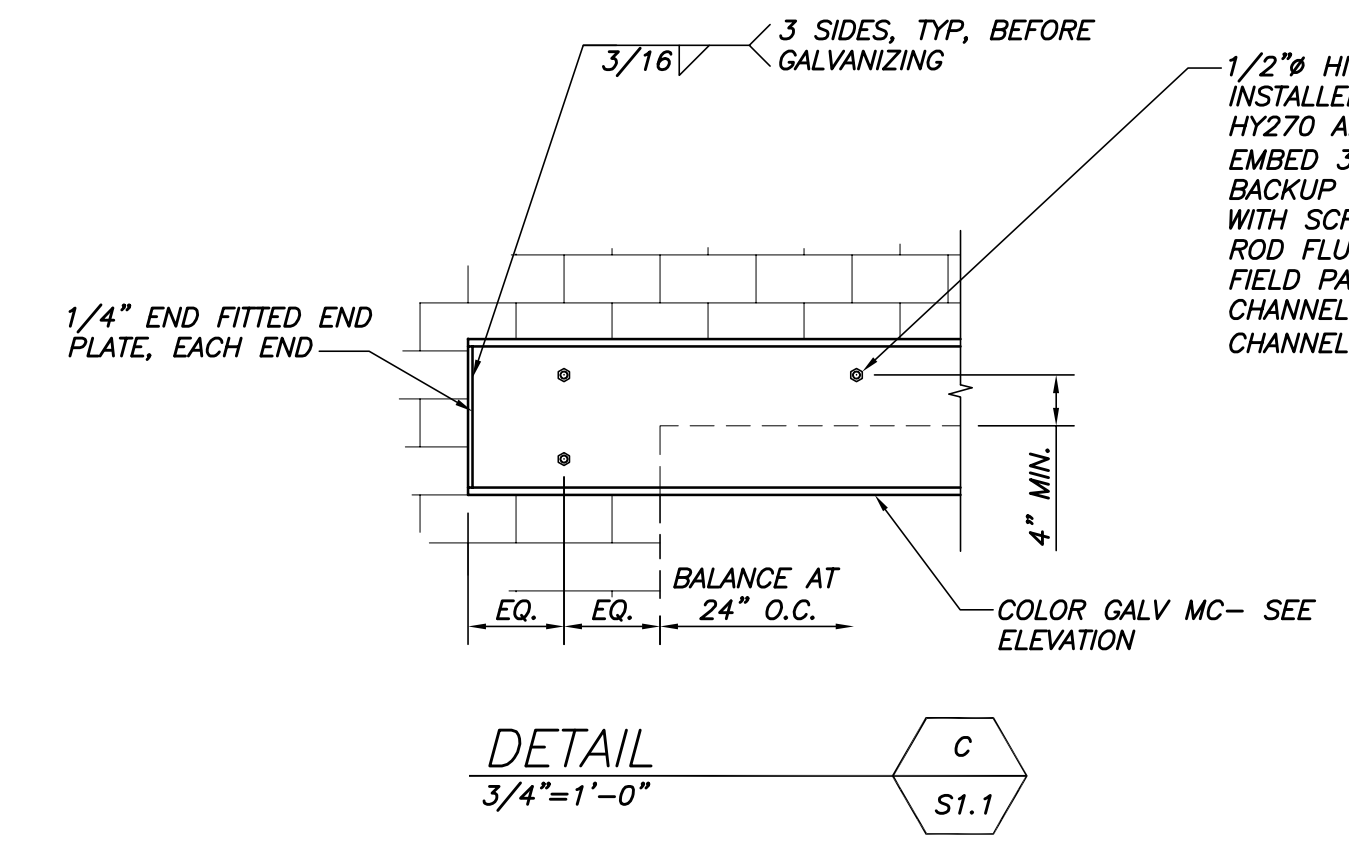
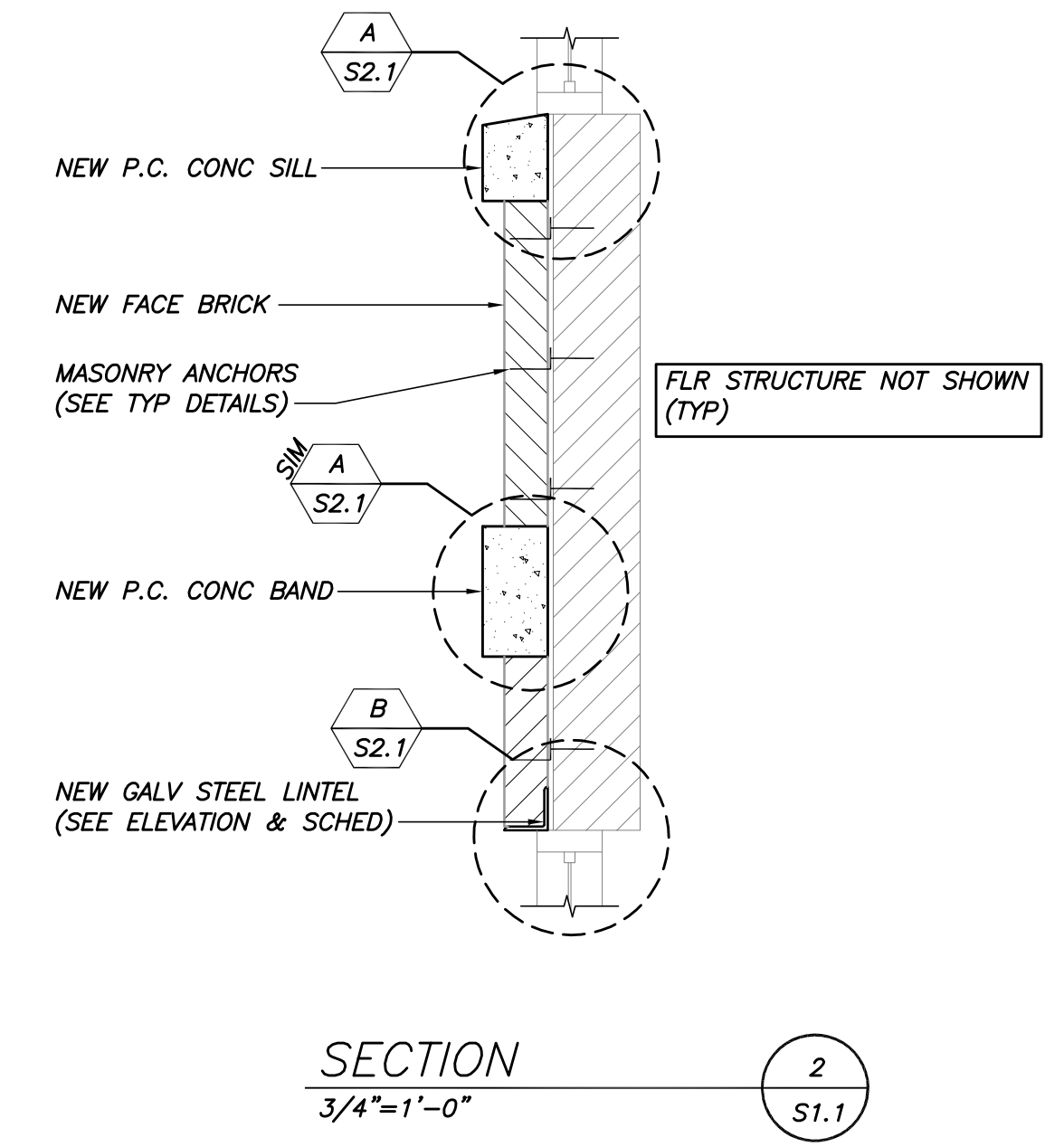
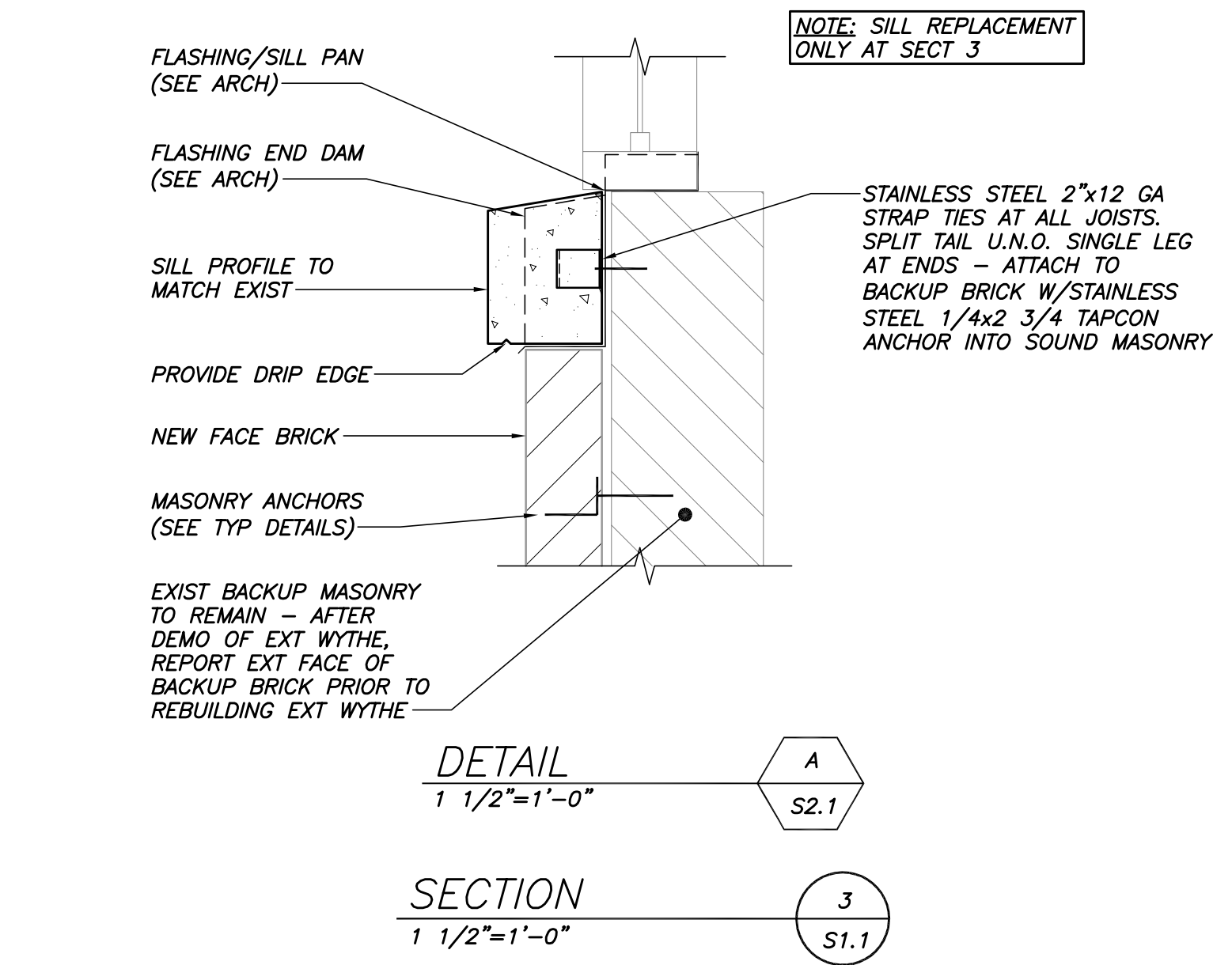
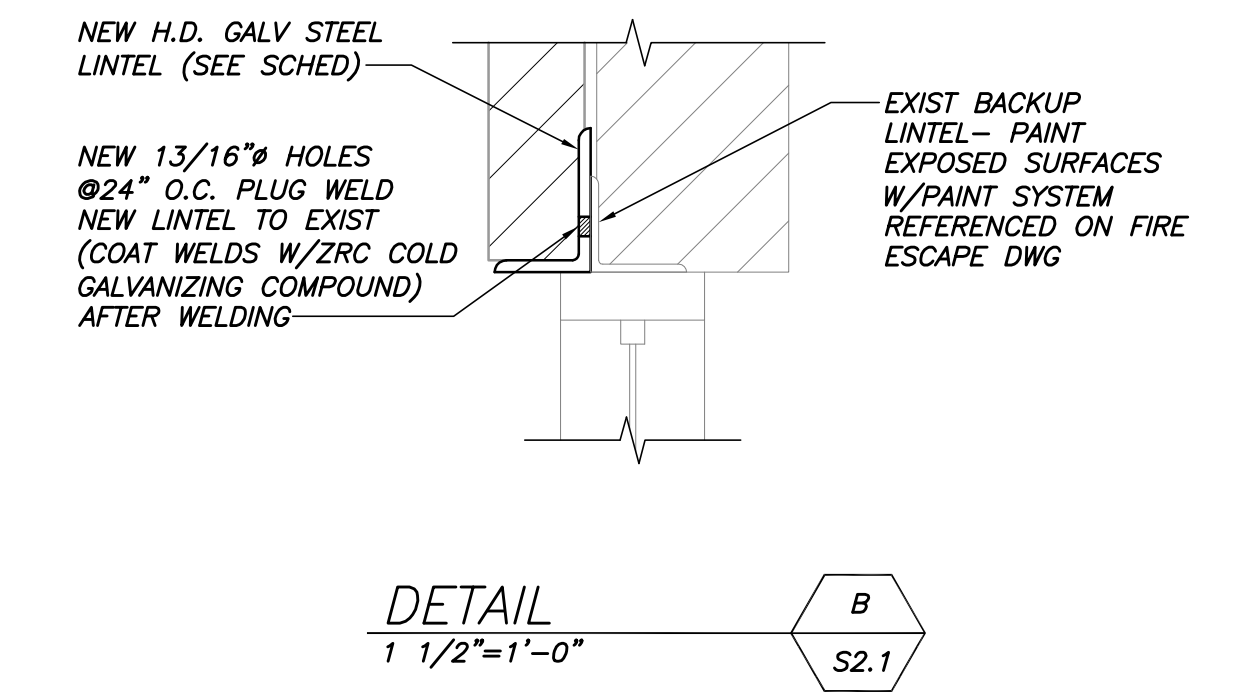
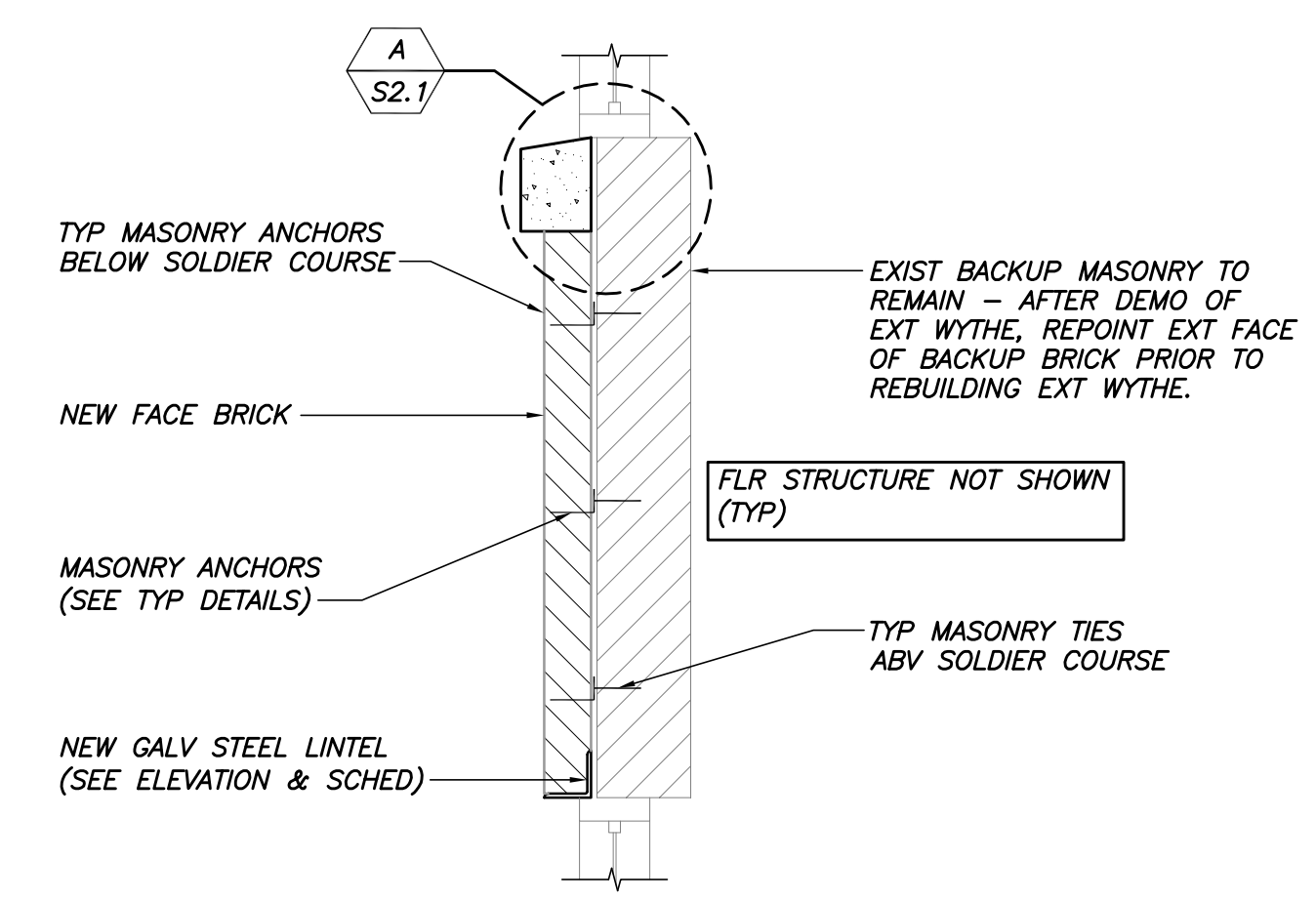
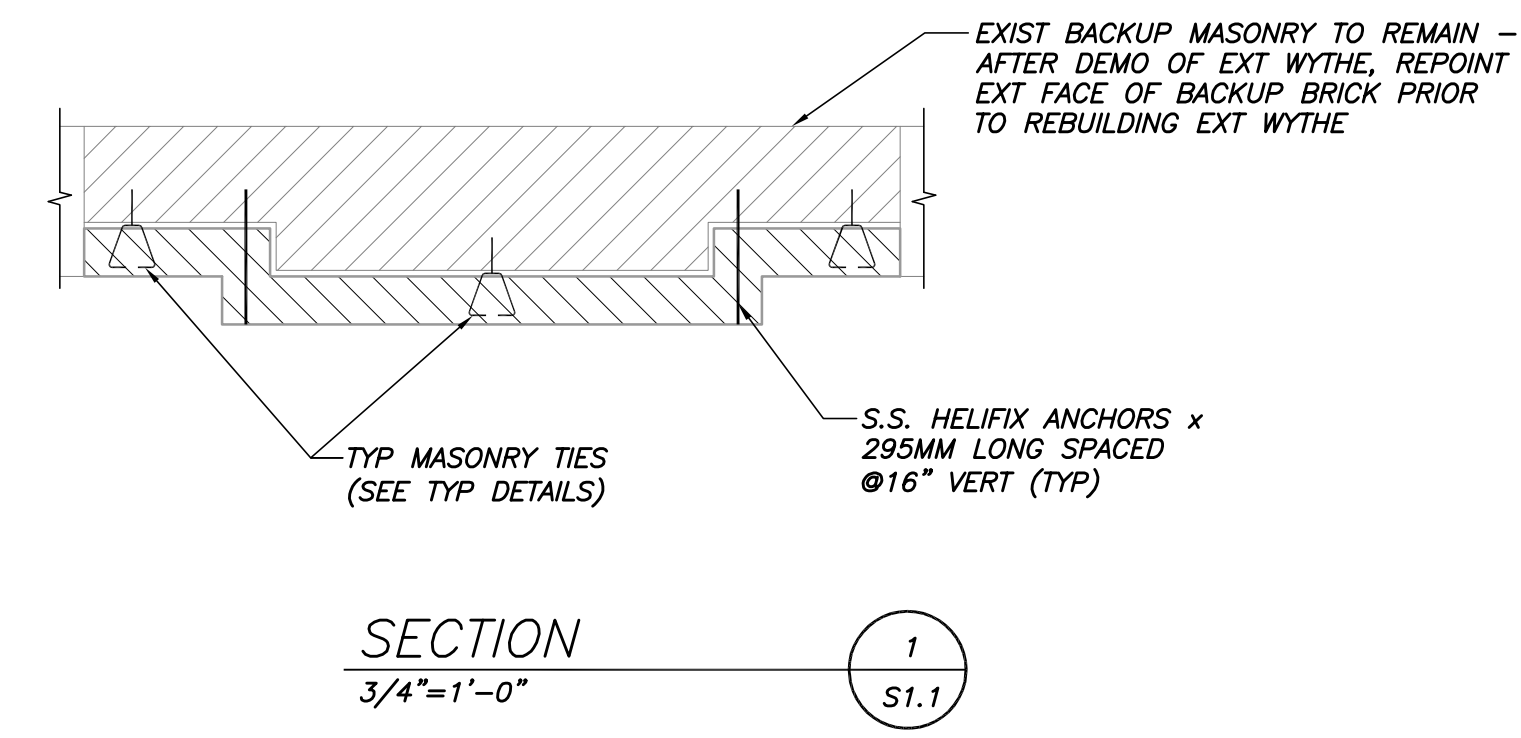
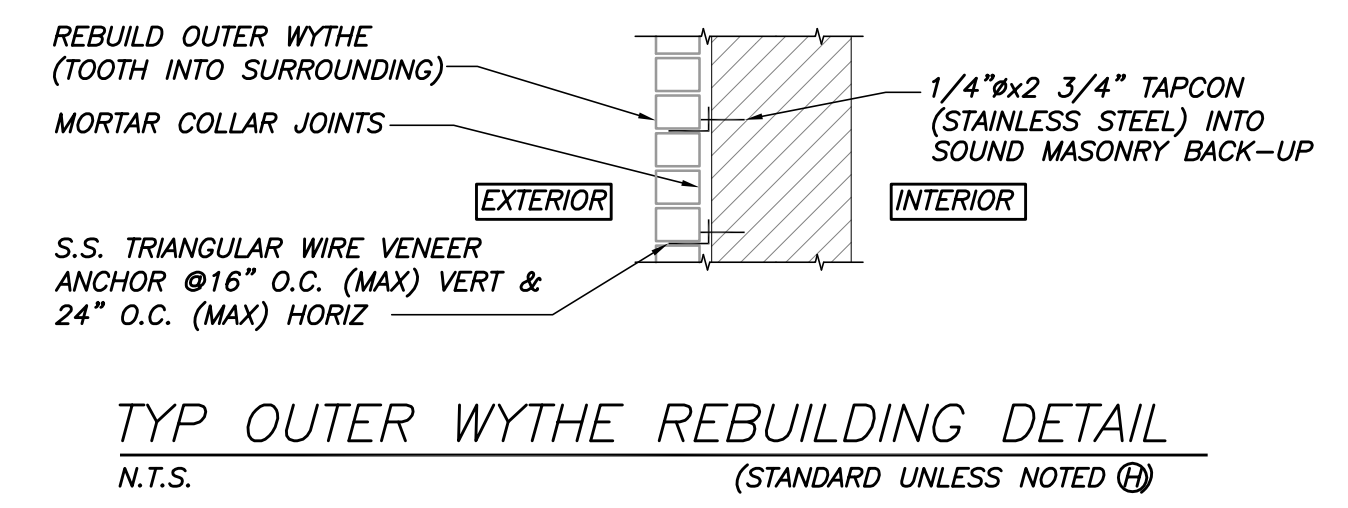
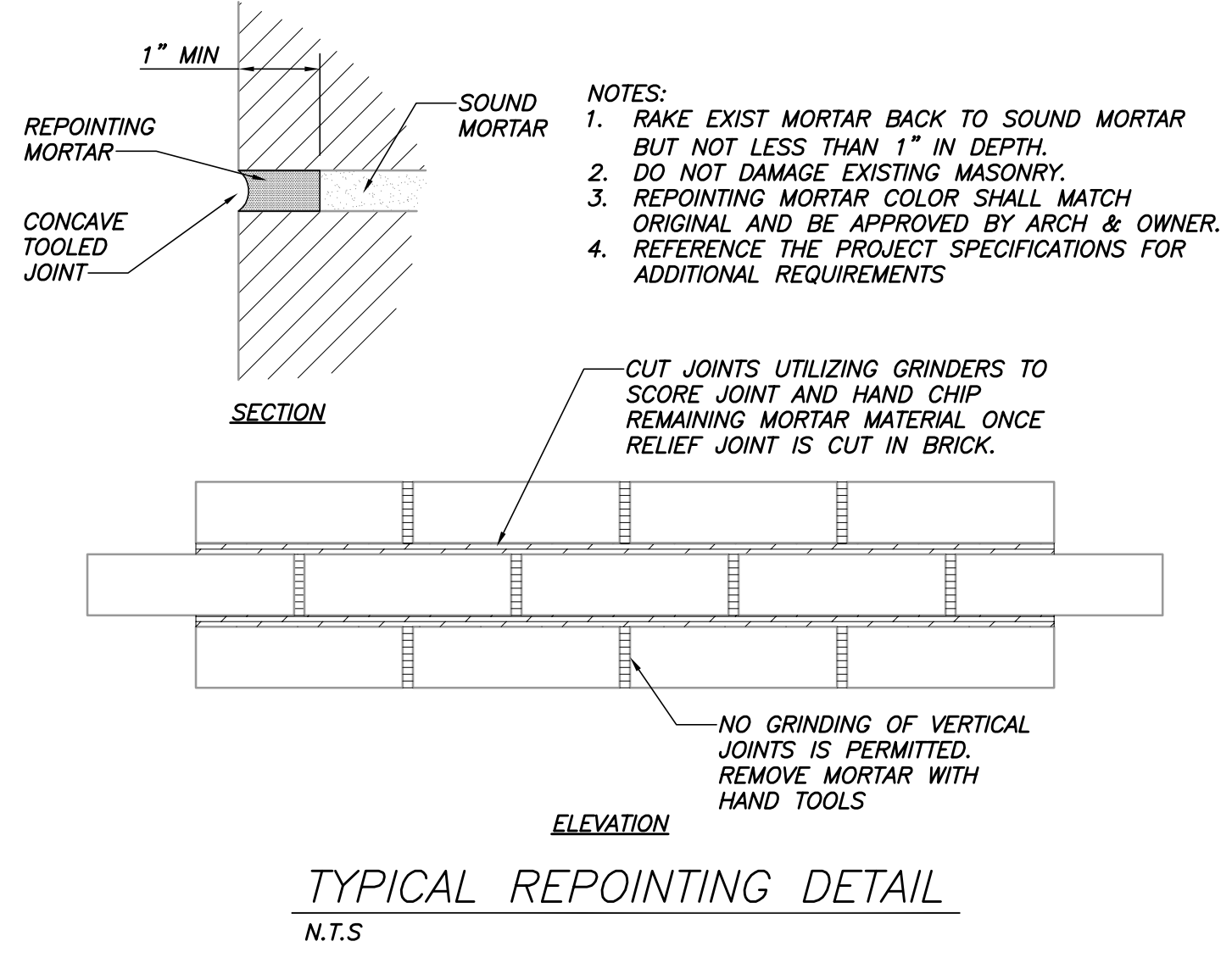
ISSUE DATE **05.25.18**  
 SHEET SCALE **1/4" = 1'-0"**

**S**  
**1.4**

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**bid**  
ARCHITECTURE

STATE OF MAINE  
ETHAN A. RHILE  
NO. 10266  
PROFESSIONAL ENGINEER

PROJECT NO. **17034/BSE 4245**  
PROJECT NAME **SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

REVISIONS

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ISSUE DATE **05.25.18** SHEET SCALE **3/4" = 1'-0"**

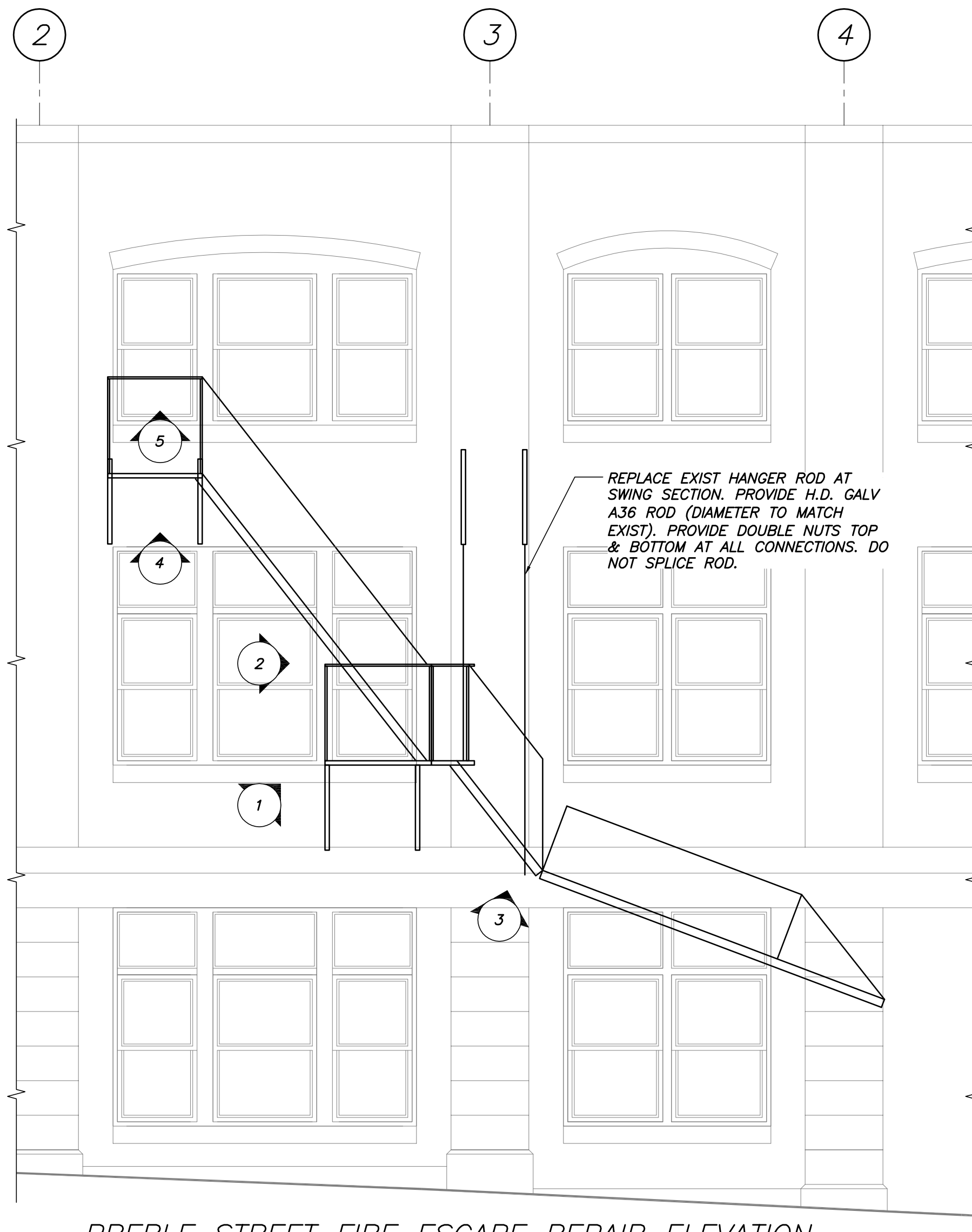
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**PREBLE STREET FIRE ESCAPE REPAIR ELEVATION**  
1/4"=1'-0"

**EXISTING FIRE ESCAPE NOTES:**

1. EXISTING FIRE ESCAPE IS TO BE REMOVED PRIOR TO COMMENCING WITH MASONRY WORK. PAINT AND REHABILITATE FIRE ESCAPE PRIOR TO REATTACHING WHEN MASONRY WORK IS COMPLETED. ALL ADHESIVE ANCHORS FOR BRACKETS SUPPORTING PLATFORMS/STAIR RUNS SHALL BE 3/4" H.D. GALVANIZED A36 RODS INSTALLED WITH HILTI HIT HY200 ADHESIVE W/MIN 8" EMBED INTO BRICK. VERIFY BRICK SUBSTRATE IS SOLID. REPLACE ALL EXISTING ANCHORS. REDRILL HOLES IN EXISTING SUPPORTS TO 13/16" TO ENSURE FIT.
2. ALL ADHESIVE ANCHORS FOR RAILING CONNECTING TO EXISTING MASONRY SHALL BE 1/2" H.D. GALVANIZED A36 RODS INSTALLED WITH HILTI HIT HY200 ADHESIVE WITH MIN. 4" EMBED INTO BRICK. VERIFY BRICK SUBSTRATE IS SOLID. REPLACE ALL EXISTING ANCHORS. REDRILL HOLES IN EXISTING SUPPORTS TO 9/16" TO ENSURE FIT.
3. EXISTING FIRE ESCAPE PAINT IS ASSUMED TO CONTAIN LEAD. CONTRACTOR SHALL FOLLOW ALL SAFETY AND LEGAL REQUIREMENTS IN REGARDS TO LEAD PAINT WHEN WORKING ON EXISTING FIRE ESCAPE STRUCTURE.
4. SAND BLAST STRUCTURE TO A CLEAN METAL SURFACE.
5. AFTER PREPARATION, PRIME & PAINT STRUCTURE. FINAL COLOR IS TO BE BLACK TO MATCH EXISTING. PAINT SYSTEM SHALL BE AS FOLLOWS:
  - 5.1. PRIMER FOR EXISTING STEEL, INTERNATIONAL PC-DEVOE 167 "PREPRIME", 1-1.5 MILS, PREPARE PER MANUFACTURER'S RECOMMENDATIONS
  - 5.2. PAINT, INTERNATIONAL PC-DEVOE 235 "BAR RUST", 4-8 MILS
  - 5.3. TOP COAT, INTERNATIONAL PC-DEVOE 379 "DEVTHANE", 2-3 MILS
  - 5.4. TOUCH UP PRIME/PAINT AT ALL FIELD WELDS AND DAMAGE PER PAINT SYSTEM MANUFACTURER'S RECOMMENDATIONS



PHOTO 1  
NEW STEEL ANGLES WITH ANCHORS TO BRICK MASONRY (SEE SECTION)

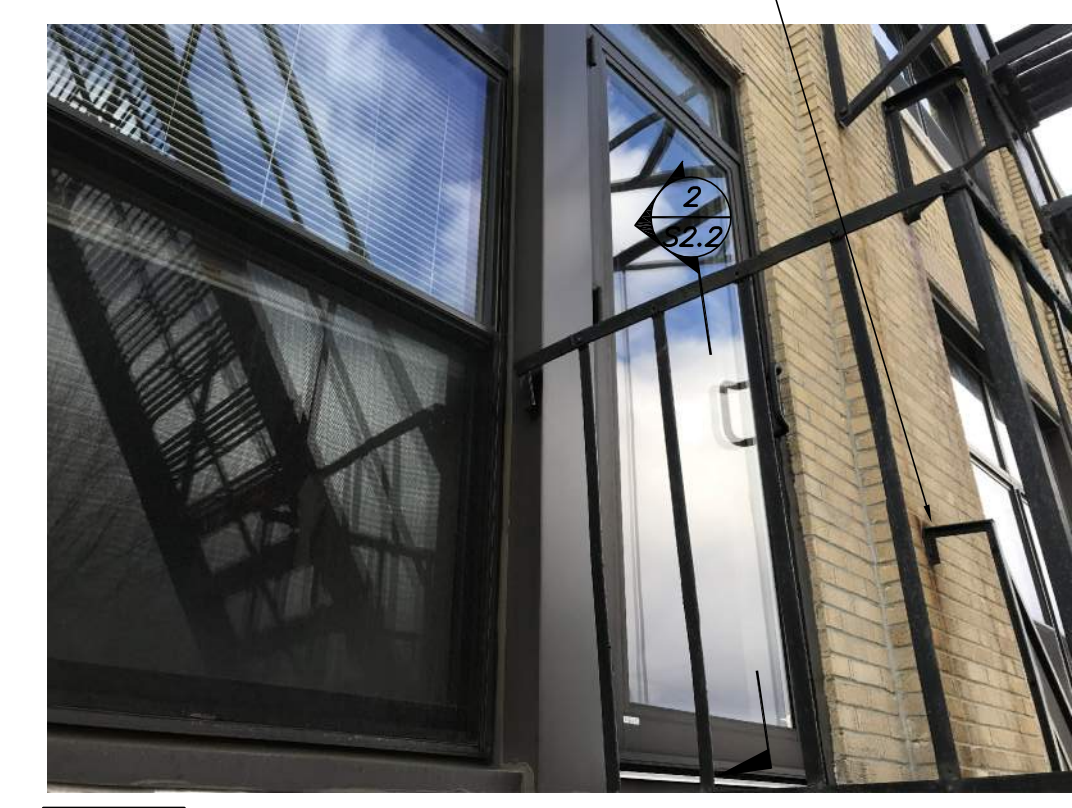


PHOTO 2  
CONNECT ALL RAILINGS TO MASONRY W/ANCHORS PER NOTES THIS DWG



PHOTO 3  
UNBOLT & ADD SHIMS AS REQD TO ALLOW FULL MOVEMENT OF SWING SECTION AND REBOLT W/NEW H.D. GALV A307 BOLTS (DIAMETER TO MATCH EXIST)  
REANCHOR SWING SECTION TO WALL



PHOTO 4  
TOP ANCHORS ABV PLATFORM  
PROVIDE NEW ADHESIVE ANCHORS, 3 PER BRACKET (SEE GENERAL NOTES FOR ADDL INFO)

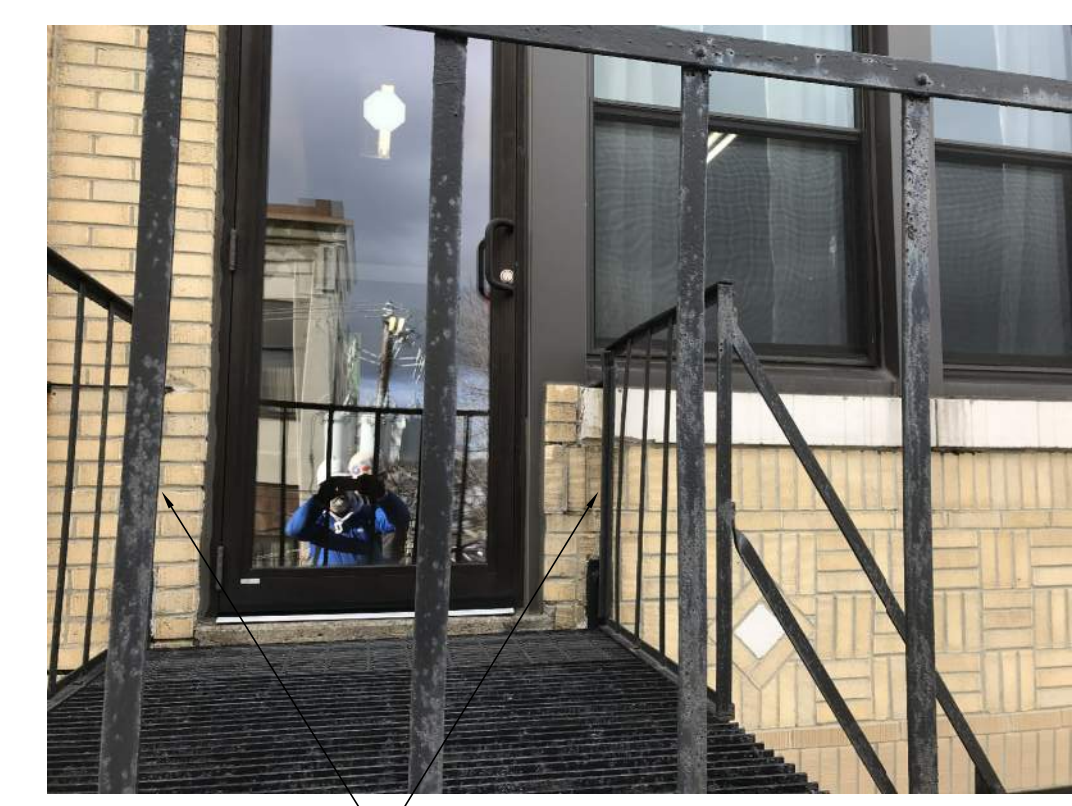
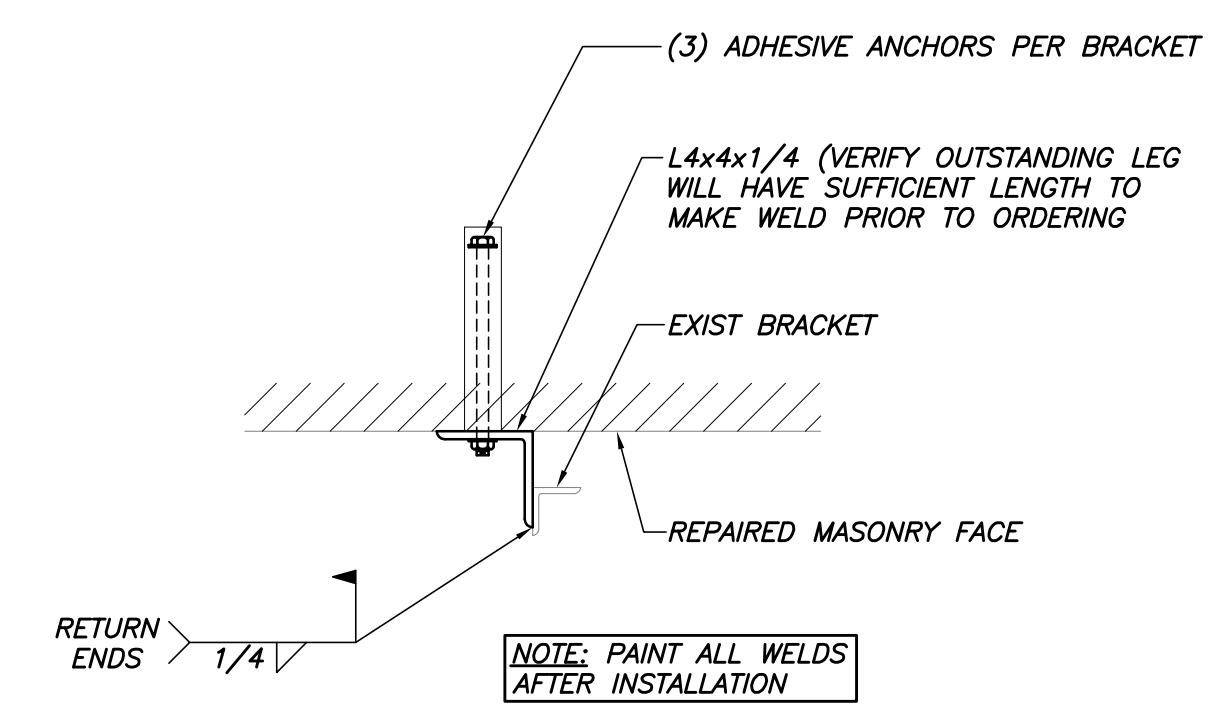
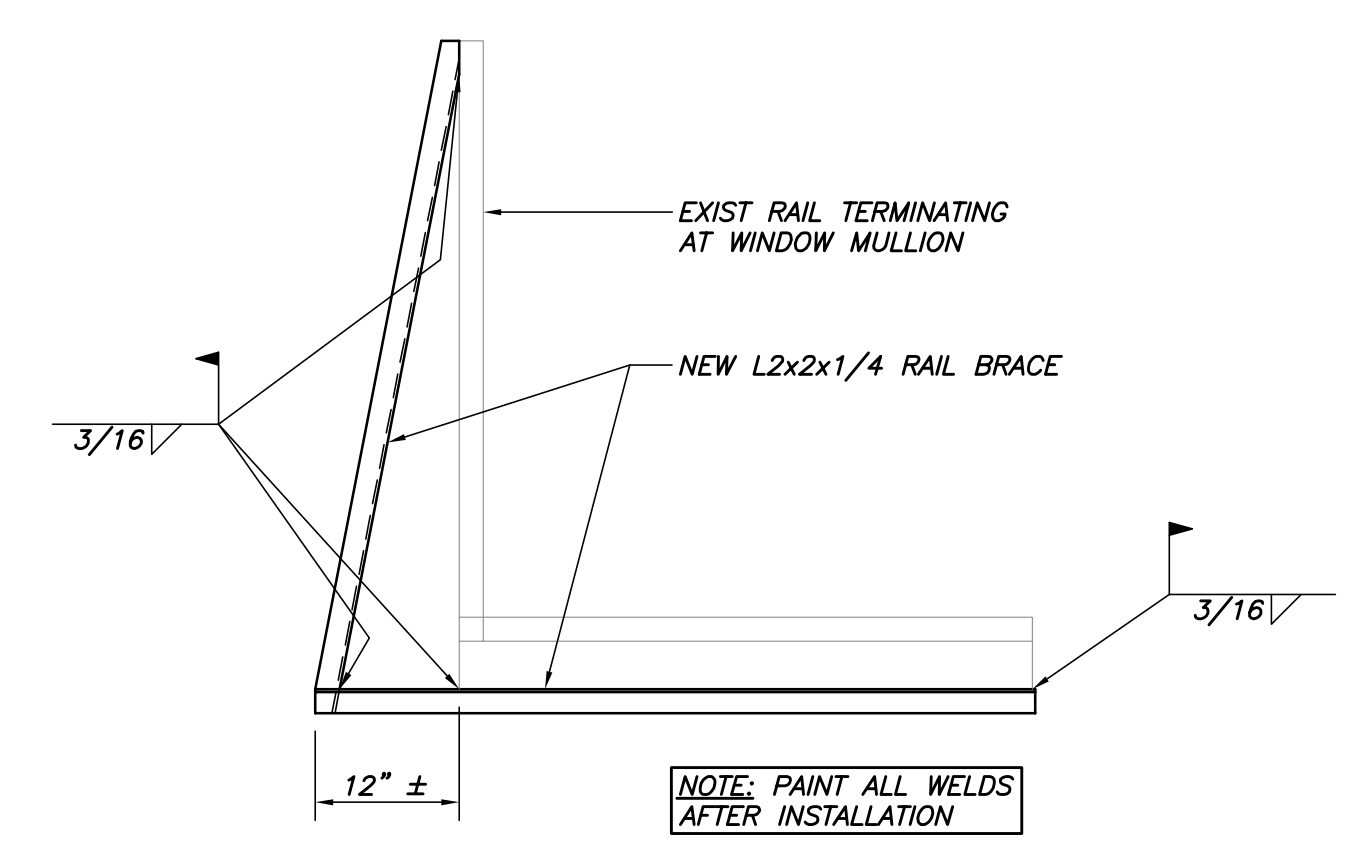


PHOTO 5  
PROVIDE ANCHORAGE FOR RAILINGS AT WALL INTERFACE. PROVIDE SHIMS IF REQD TO COMPLETE ASSEMBLY

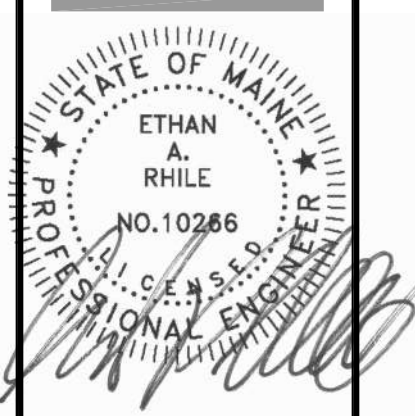


SECTION 1  
1 1/2"=1'-0" S2.2



SECTION 2  
3/4"=1'-0" S2.2

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PROJECT NO. **17034/BSE 4245**  
PROJECT NAME **SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

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**CONSTRUCTION DOCUMENTS**

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SHEET TITLE **SECTIONS & DETAILS**

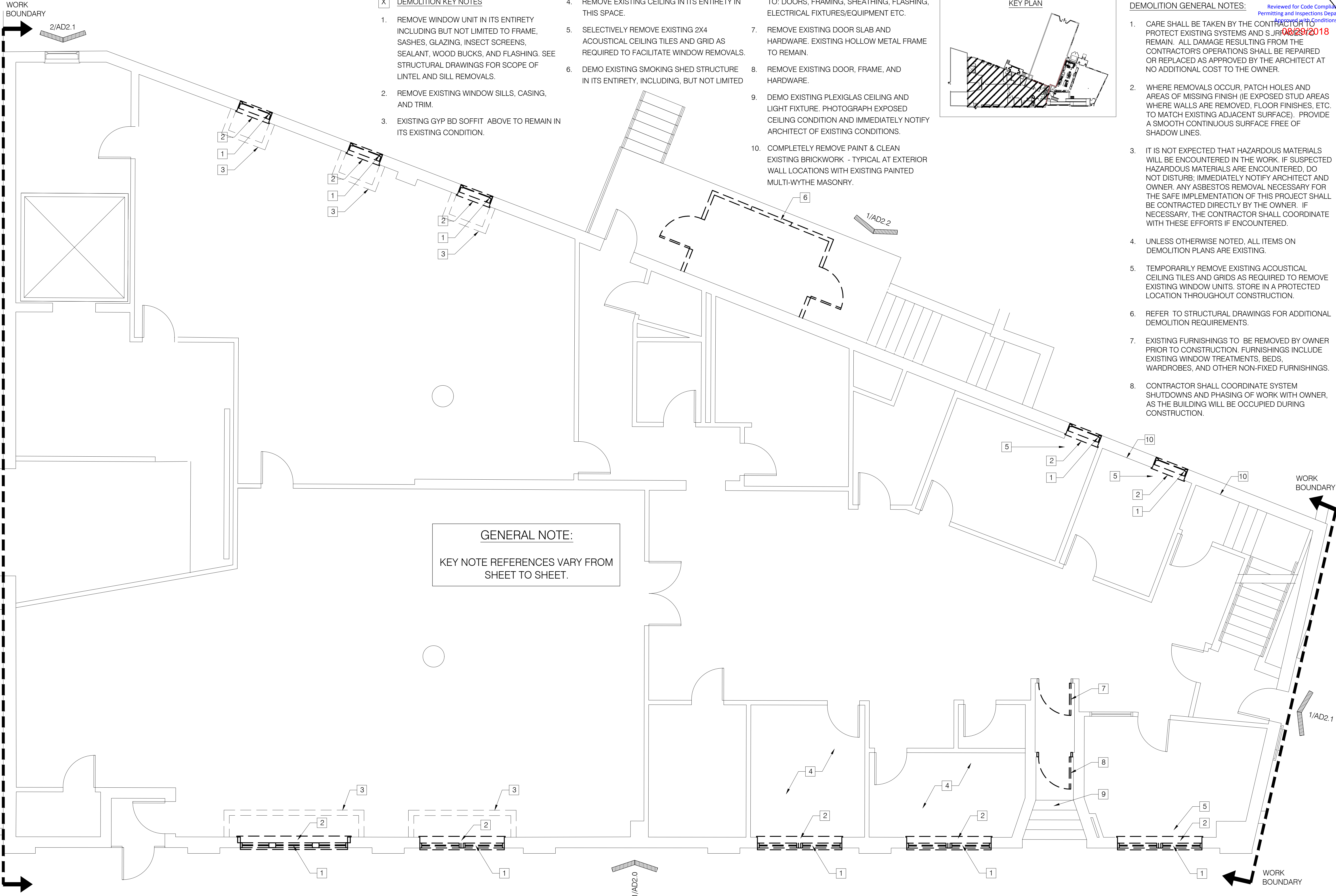
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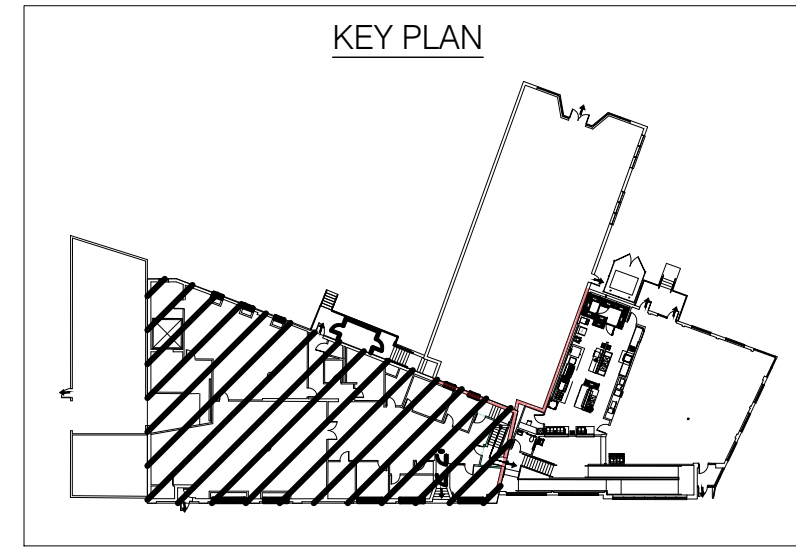


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**X DEMOLITION KEY NOTES**

1. REMOVE WINDOW UNIT IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAME, SASHES, GLAZING, INSECT SCREENS, SEALANT, WOOD BUCKS, AND FLASHING. SEE STRUCTURAL DRAWINGS FOR SCOPE OF LINTEL AND SILL REMOVALS.
2. REMOVE EXISTING WINDOW SILLS, CASING, AND TRIM.
3. EXISTING GYP BD SOFFIT ABOVE TO REMAIN IN ITS EXISTING CONDITION.
4. REMOVE EXISTING CEILING IN ITS ENTIRETY IN THIS SPACE.
5. SELECTIVELY REMOVE EXISTING 2X4 ACOUSTICAL CEILING TILES AND GRID AS REQUIRED TO FACILITATE WINDOW REMOVALS.
6. DEMO EXISTING SMOKING SHED STRUCTURE IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO: DOORS, FRAMING, SHEATHING, FLASHING, ELECTRICAL FIXTURES/EQUIPMENT ETC.
7. REMOVE EXISTING DOOR SLAB AND HARDWARE. EXISTING HOLLOW METAL FRAME TO REMAIN.
8. REMOVE EXISTING DOOR, FRAME, AND HARDWARE.
9. DEMO EXISTING PLEXIGLAS CEILING AND LIGHT FIXTURE. PHOTOGRAPH EXPOSED CEILING CONDITION AND IMMEDIATELY NOTIFY ARCHITECT OF EXISTING CONDITIONS.
10. COMPLETELY REMOVE PAINT & CLEAN EXISTING BRICKWORK - TYPICAL AT EXTERIOR WALL LOCATIONS WITH EXISTING PAINTED MULTI-WYTHE MASONRY.



**DEMOLITION GENERAL NOTES:**

1. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND STRUCTURES THAT REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
2. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
3. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
4. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
5. TEMPORARILY REMOVE EXISTING ACOUSTICAL CEILING TILES AND GRIDS AS REQUIRED TO REMOVE EXISTING WINDOW UNITS. STORE IN A PROTECTED LOCATION THROUGHOUT CONSTRUCTION.
6. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
7. EXISTING FURNISHINGS TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION. FURNISHINGS INCLUDE EXISTING WINDOW TREATMENTS, BEDS, WARDROBES, AND OTHER NON-FIXED FURNISHINGS.
8. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.

**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.

**FIRST FLOOR DEMO PLAN**  
SCALE: 1/4" = 1'-0"  
0 4'-0"

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PROJECT NO. **17034**  
PROJECT NAME **SALVATION ARMY**  
**88 PREBLE ST., PORTLAND, ME 04101**

REVISIONS	DATE
1	18.07.24
2	18.07.31
3	18.08.08
4	18.08.28
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**CONSTRUCTION DOCUMENT SET**

DRAWN BY **AEW**  
SHEET TITLE **1ST FLOOR DEMO PLAN**

ISSUE DATE **5/25/18**  
SHEET SCALE **1/4" = 1'-0"**

**AD**  
1.0



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**DEMOLITION KEY NOTES**

1. REMOVE WINDOW UNIT IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAME,

SASHES, GLAZING, INSECT SCREENS, SEALANT, WOOD BUCKS, AND FLASHING. SEE STRUCTURAL DRAWINGS FOR LINTEL AND SILL REMOVALS.

2. REMOVE EXISTING WOOD WINDOW SILLS, CASING, AND TRIM.

3. EXISTING WINDOW TO REMAIN.

4. SEE STRUCTURAL FOR EXTENT OF FIRE ESCAPE REPAIRS

5. TAKE CARE TO TEMPORARILY REMOVE EXISTING OAK WOOD SILL, CASING, AND TRIM. PROTECT AND STORE THROUGHOUT CONSTRUCTION FOR REINSTALLATION AT THE END OF THE PROJECT. NOTIFY ARCHITECT IF EXISTING WOOD SILLS AND/OR TRIM BECOMES DAMAGED DURING DEMOLITION.

6. REMOVE EXISTING DOOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO FRAME, SILL, SLAB, GLAZING, TRIM, AND HARDWARE.

7. TEMPORARILY REMOVE EXISTING DOOR MOUNTED LIFE SAFETY DEVICES AND DISCONNECT EXISTING DOOR FROM FIRE ALARM SYSTEM.

8. TEMPORARILY REMOVE EXISTING RADIATOR AND COVER TO FACILITATE WAINSCOTING REMOVALS.

9. SELECTIVELY REMOVE EXISTING 2X4 ACOUSTICAL CEILING TILES AND GRID AS REQUIRED TO FACILITATE WINDOW REMOVALS.

10. COMPLETELY REMOVE PAINT & CLEAN EXISTING BRICKWORK - TYPICAL AT EXTERIOR WALL LOCATIONS WITH EXISTING PAINTED MULTI-WYTHE MASONRY.

11. SELECTIVELY REMOVE HALF WALL AS REQUIRED TO FACILITATE WINDOW REMOVAL.

12. REMOVE EXISTING WOOD PANELING WAINSCOTING THIS WALL.

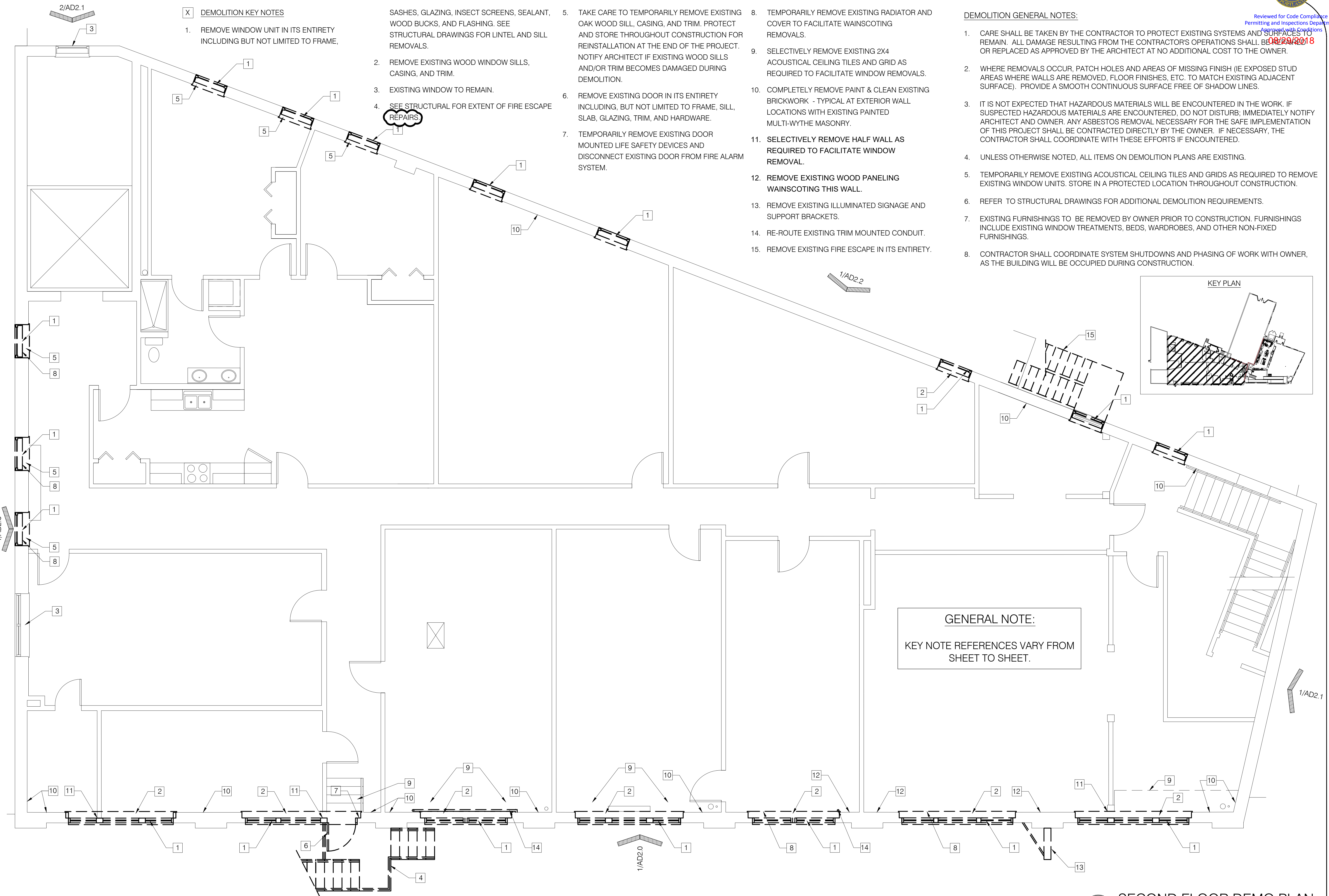
13. REMOVE EXISTING ILLUMINATED SIGNAGE AND SUPPORT BRACKETS.

14. RE-ROUTE EXISTING TRIM MOUNTED CONDUIT.

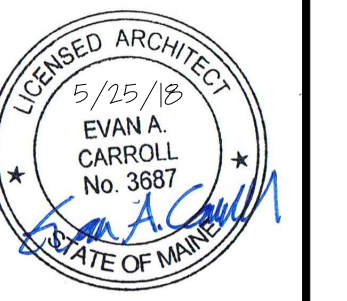
15. REMOVE EXISTING FIRE ESCAPE IN ITS ENTIRETY.

**DEMOLITION GENERAL NOTES:**

- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
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- UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
- TEMPORARILY REMOVE EXISTING ACOUSTICAL CEILING TILES AND GRIDS AS REQUIRED TO REMOVE EXISTING WINDOW UNITS. STORE IN A PROTECTED LOCATION THROUGHOUT CONSTRUCTION.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- EXISTING FURNISHINGS TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION. FURNISHINGS INCLUDE EXISTING WINDOW TREATMENTS, BEDS, WARDROBES, AND OTHER NON-FIXED FURNISHINGS.
- CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.



**GENERAL NOTE:**  
 KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.



REVISIONS

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2	18.07.31	
3	18.08.08	
4	18.08.28	
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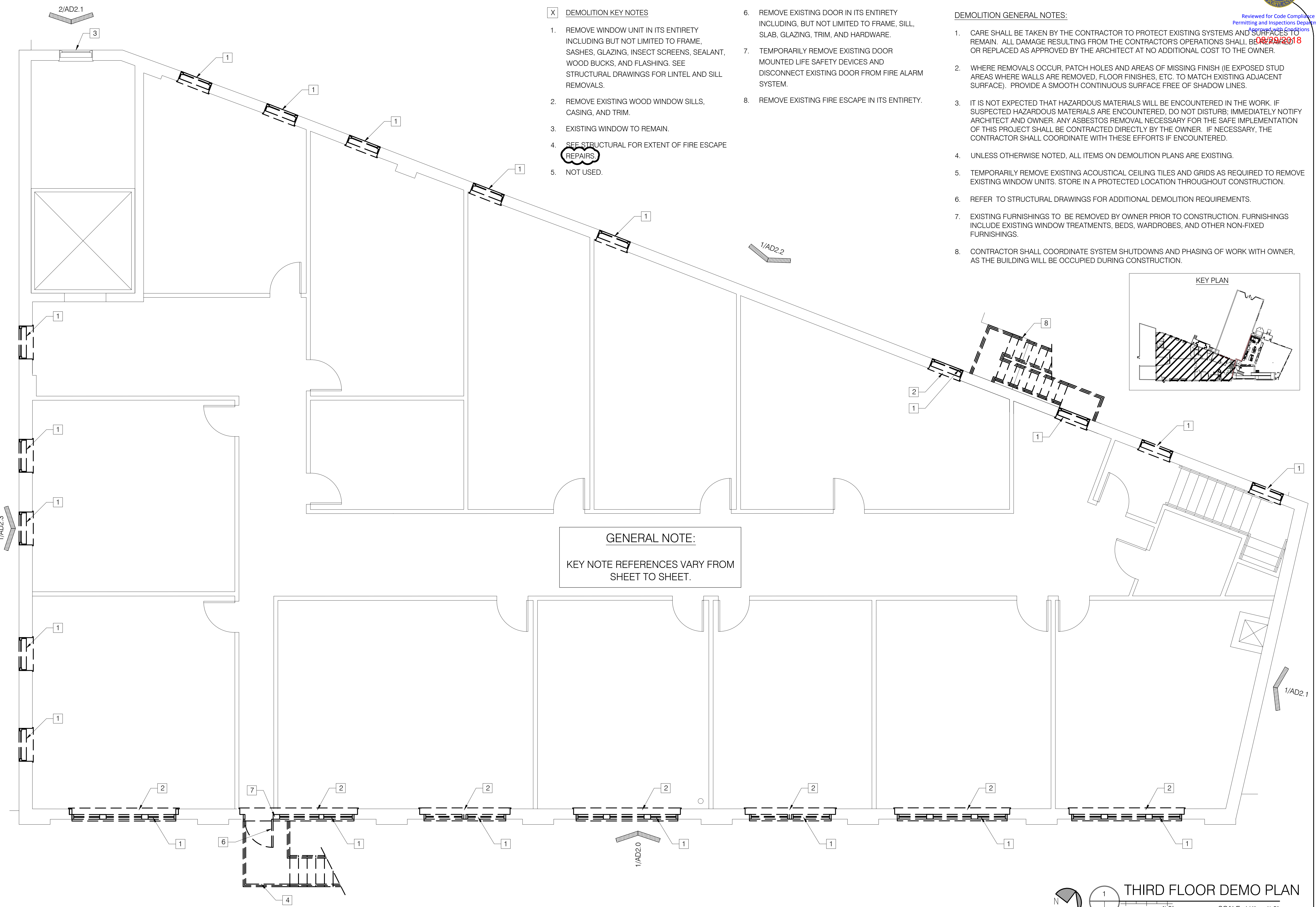
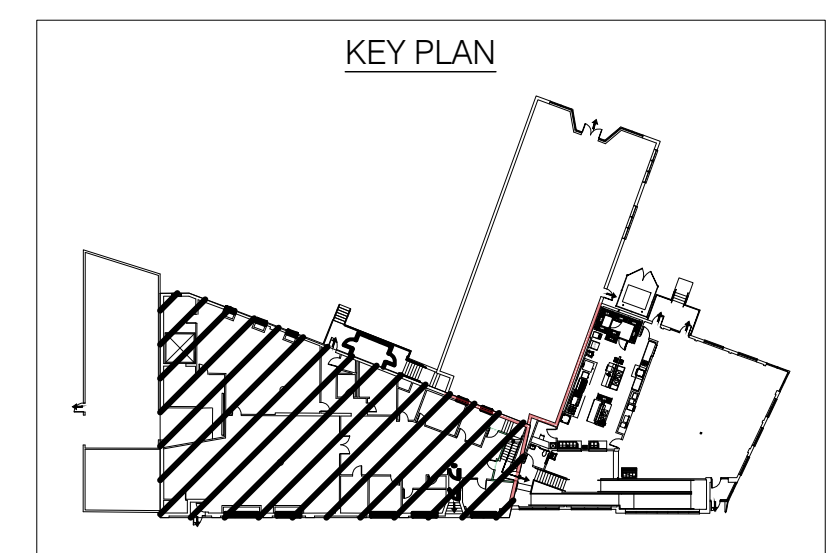
**DEMOLITION KEY NOTES**

1. REMOVE WINDOW UNIT IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAME, SILL, SASHES, GLAZING, INSECT SCREENS, SEALANT, WOOD BUCKS, AND FLASHING. SEE STRUCTURAL DRAWINGS FOR LINTEL AND SILL REMOVALS.
2. REMOVE EXISTING WOOD WINDOW SILLS, CASING, AND TRIM.
3. EXISTING WINDOW TO REMAIN.
4. SEE STRUCTURAL FOR EXTENT OF FIRE ESCAPE REPAIRS.
5. NOT USED.
6. REMOVE EXISTING DOOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO FRAME, SILL, SLAB, GLAZING, TRIM, AND HARDWARE.
7. TEMPORARILY REMOVE EXISTING DOOR MOUNTED LIFE SAFETY DEVICES AND DISCONNECT EXISTING DOOR FROM FIRE ALARM SYSTEM.
8. REMOVE EXISTING FIRE ESCAPE IN ITS ENTIRETY.

**DEMOLITION GENERAL NOTES:**

1. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
2. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
3. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
4. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
5. TEMPORARILY REMOVE EXISTING ACOUSTICAL CEILING TILES AND GRIDS AS REQUIRED TO REMOVE EXISTING WINDOW UNITS. STORE IN A PROTECTED LOCATION THROUGHOUT CONSTRUCTION.
6. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
7. EXISTING FURNISHINGS TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION. FURNISHINGS INCLUDE EXISTING WINDOW TREATMENTS, BEDS, WARDROBES, AND OTHER NON-FIXED FURNISHINGS.
8. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.

**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.



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PROJECT NO. **17034**  
PROJECT NAME **SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

REVISIONS	DATE	DESCRIPTION
1	18.07.24	
2	18.07.31	
3	18.08.08	
4	18.08.28	
5		

**CONSTRUCTION DOCUMENT SET**

DRAWN BY **AEW**  
SHEET TITLE **3RD FLOOR DEMO PLAN**

ISSUE DATE **5/25/18**  
SHEET SCALE **1/4" = 1'-0"**

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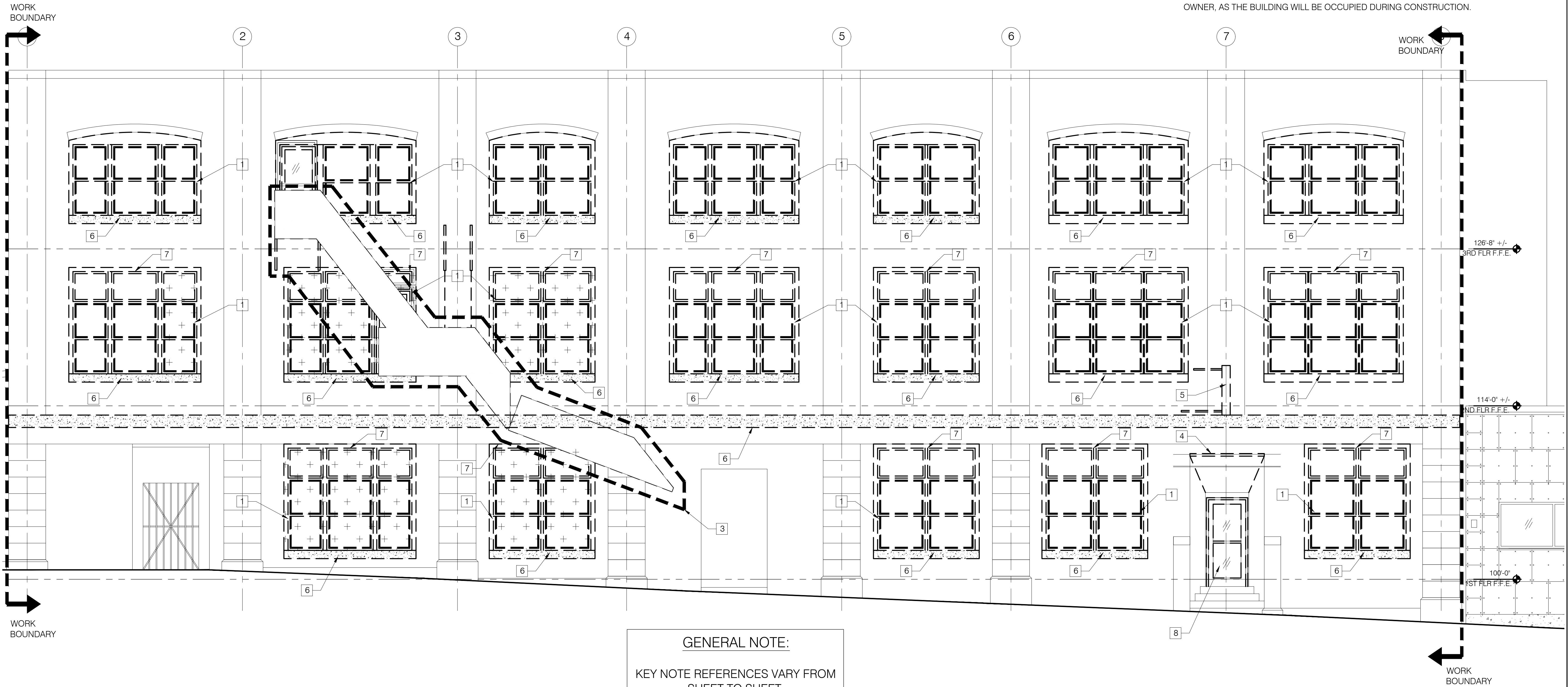
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Permitting and Inspections Department  
Approved with Conditions  
08/29/2018

**X DEMOLITION KEY NOTES**

1. REMOVE WINDOW UNIT IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAME, SASHES, GLAZING, INSULATED PANELS, INSECT SCREENS, SEALANT, WOOD BUCKS, AND FLASHING. SEE STRUCTURAL DRAWINGS FOR LINTEL AND SILL REMOVALS.
2. EXISTING WINDOW TO REMAIN.
3. SEE STRUCTURAL FOR EXTENT OF FIRE ESCAPE REPAIRS.
4. DEMO EXISTING PLEXIGLAS CEILING AND LIGHT FIXTURE. PHOTOGRAPH EXPOSED CEILING CONDITION AND IMMEDIATELY NOTIFY ARCHITECT OF EXISTING CONDITIONS.
5. REMOVE EXISTING ILLUMINATED SIGNAGE AND SUPPORT BRACKETS.
6. REMOVE EXISTING CONCRETE SILL/BANDING - SEE STRUCTURAL.
7. REMOVE EXISTING STEEL LINTEL - SEE STRUCTURAL.
8. REMOVE EXISTING DOOR, FRAME, AND HARDWARE.

**DEMOLITION GENERAL NOTES:**

1. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
2. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
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5. TEMPORARILY REMOVE EXISTING ACOUSTICAL CEILING TILES AND GRIDS AS REQUIRED TO REMOVE EXISTING WINDOW UNITS. STORE IN A PROTECTED LOCATION THROUGHOUT CONSTRUCTION.
6. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS INCLUDING FULL SCOPE OF MASONRY REMOVALS.
7. EXISTING FURNISHINGS TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION. FURNISHINGS INCLUDE EXISTING WINDOW TREATMENTS, BEDS, WARDROBES, AND OTHER NON-FIXED FURNISHINGS.
8. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.



**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.

**1 EAST DEMO ELEVATION**  
SCALE: 1/4" = 1'-0"

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PROJECT NO.  
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**SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

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SHEET SCALE  
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**CONSTRUCTION DOCUMENT SET**  
**EAST DEMO ELEVATION**

DRAWN BY  
**AEW**  
SHEET TITLE  
**EAST DEMO ELEVATION**

**AD**  
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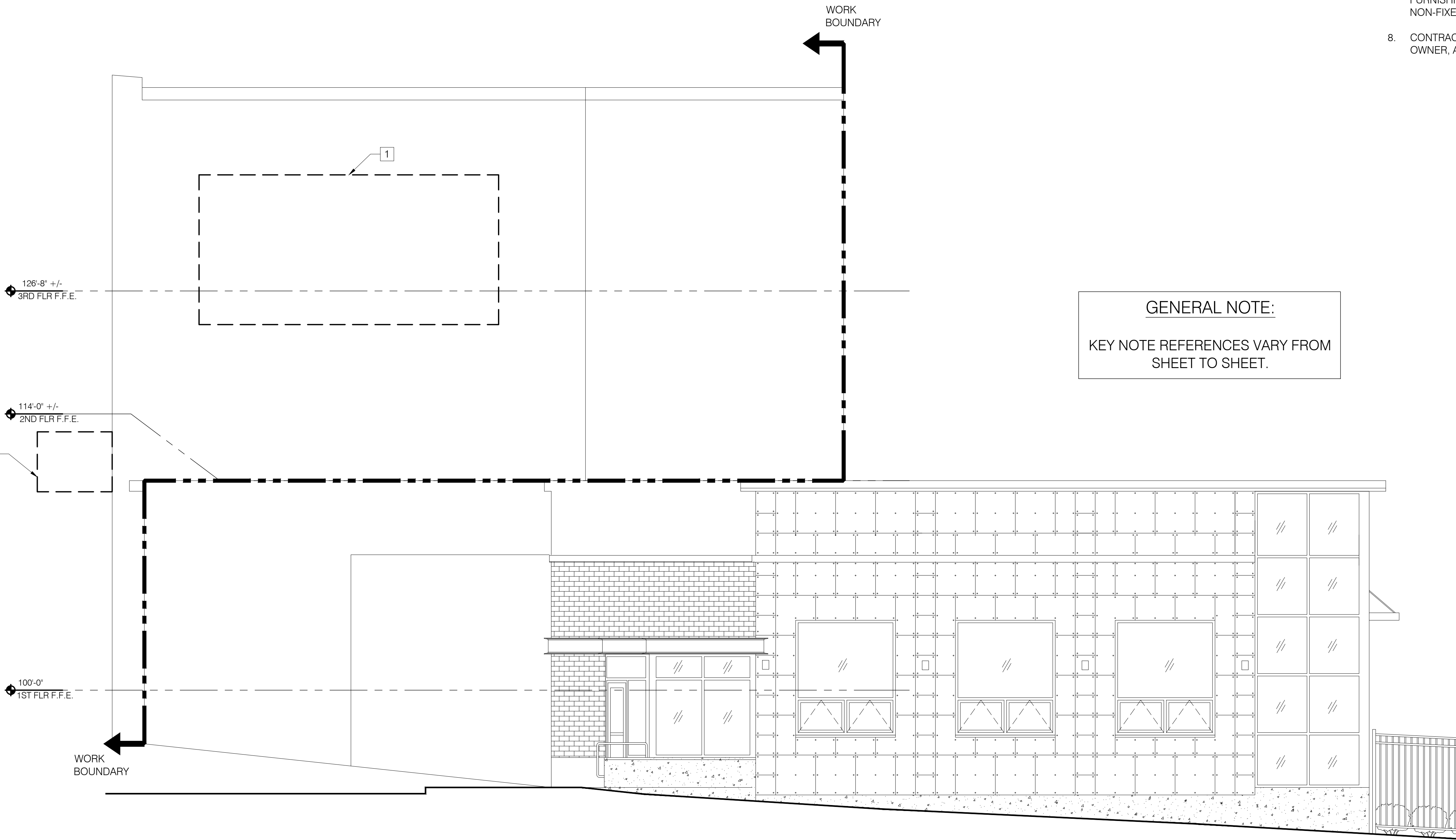
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**X DEMOLITION KEY NOTES**

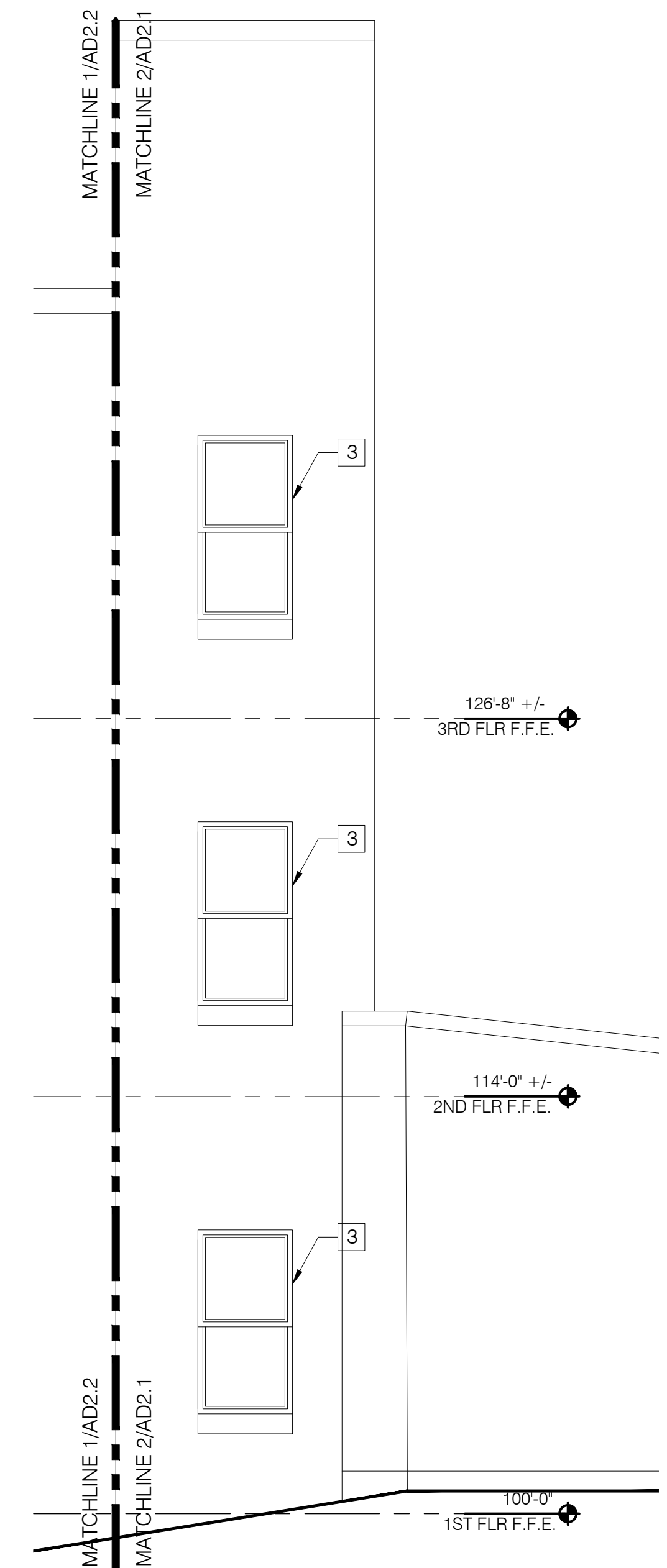
1. TEMPORARILY REMOVE EXISTING SIGNAGE. OWNER TO REPAINT SIGNAGE FOR REINSTALLATION BY CONTRACTOR.
2. REMOVE EXISTING ILLUMINATED SIGNAGE AND SUPPORT BRACKETS.
3. EXISTING WINDOW TO REMAIN.

**DEMOLITION GENERAL NOTES:**

1. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
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6. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS INCLUDING FULL SCOPE OF MASONRY REMOVALS.
7. EXISTING FURNISHINGS TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION. FURNISHINGS INCLUDE EXISTING WINDOW TREATMENTS, BEDS, WARDROBES, AND OTHER NON-FIXED FURNISHINGS.
8. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.



**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.



1 NORTH DEMO ELEVATION  
SCALE: 1/4" = 1'-0"

2 WEST DEMO ELEV - CONT.  
SCALE: 1/4" = 1'-0"

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PROJECT NO.  
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88 PREBLE ST., PORTLAND, ME 04101

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**DOCUMENT SET**  
DRAWN BY  
**AEW**  
SHEET TITLE  
**NORTH DEMO ELEVATION**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
1/4" = 1'-0"

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**X DEMOLITION KEY NOTES**

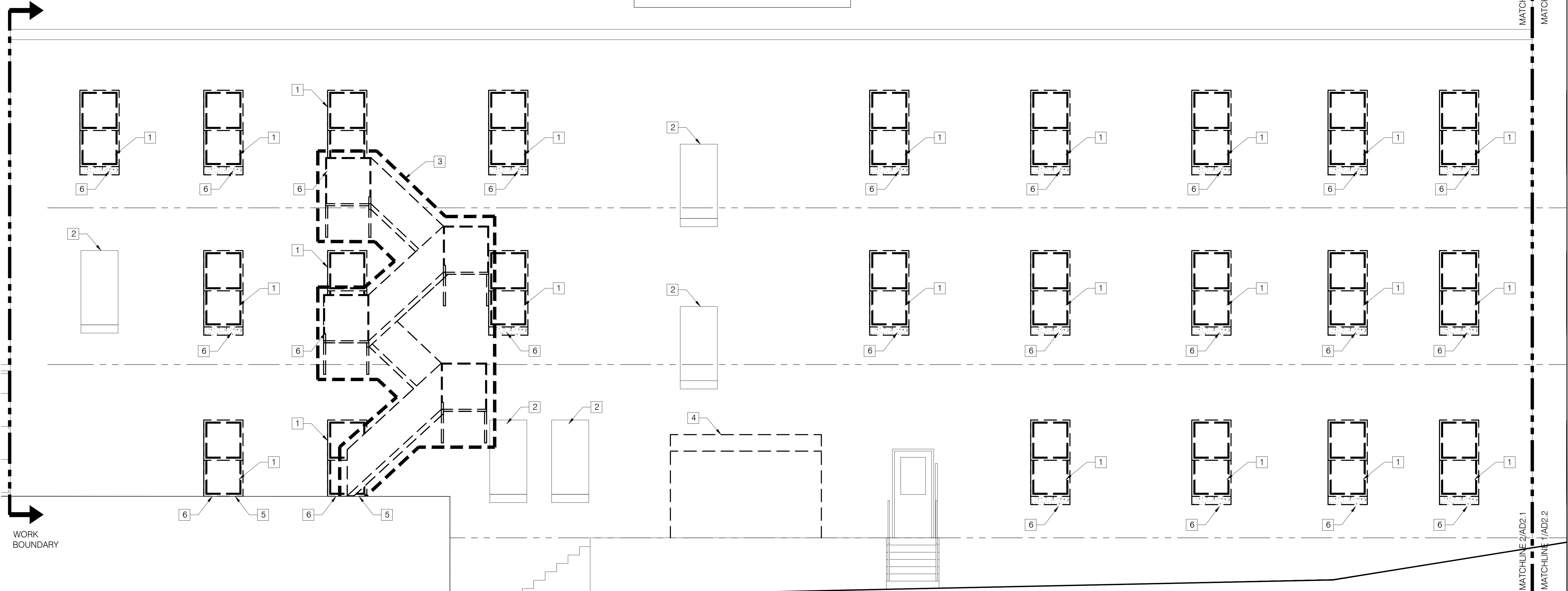
1. REMOVE WINDOW UNIT IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAME, SASHES, GLAZING, INSECT SCREENS, SEALANT, WOOD BUCKS, AND FLASHING. SEE STRUCTURAL DRAWINGS FOR LINTEL AND SILL REMOVALS.
2. EXISTING INFILLED WINDOW OPENING TO REMAIN.
3. REMOVE EXISTING FIRE ESCAPE IN ITS ENTIRETY.
4. DEMO EXISTING SMOKING SHED STRUCTURE IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO: DOORS, FRAMING, SHEATHING, FLASHING, ELECTRICAL FIXTURES/EQUIPMENT ETC.
5. SELECTIVELY REMOVE ROOFING MEMBRANE AND ASSOCIATED REGLETS AND FLASHING TO FACILITATE CONCRETE SILL REMOVAL.
6. REMOVE EXISTING CONCRETE SILL - SEE STRUCTURAL.

**DEMOLITION GENERAL NOTES:**

1. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
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**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.

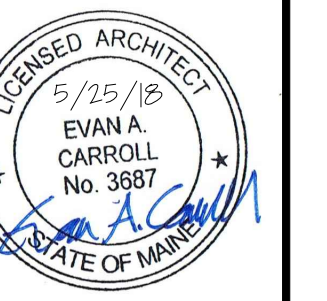
WORK BOUNDARY



WORK BOUNDARY

1 WEST DEMO ELEVATION  
0 4'-0" SCALE: 1/4" = 1'-0"

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PROJECT NO.  
**17034**  
PROJECT NAME  
**SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

REVISIONS	DATE
1	18.07.24
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SHEET TITLE  
**WEST DEMO ELEVATION**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
1/4" = 1'-0"

**AD**

**2.2**



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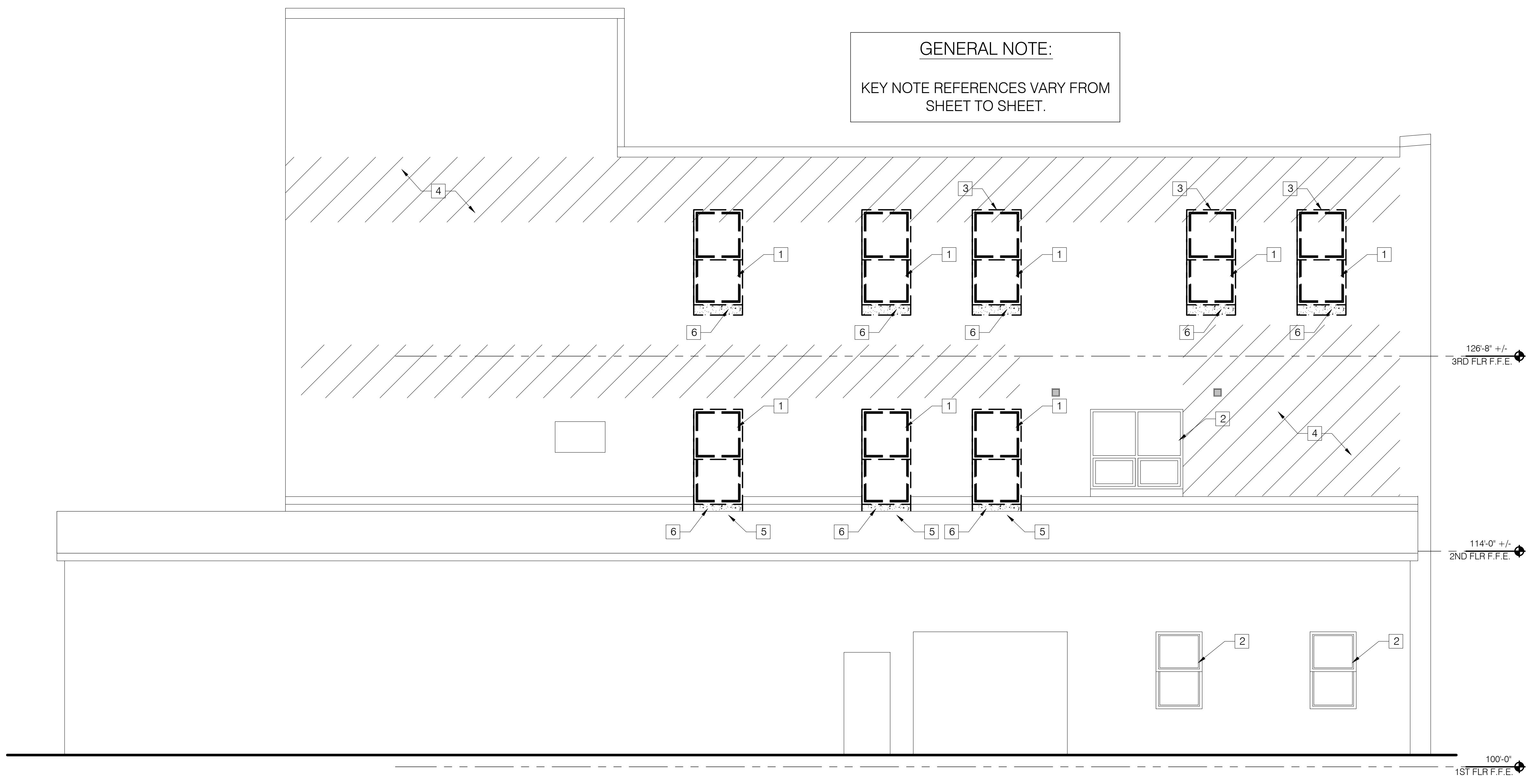
**X DEMOLITION KEY NOTES**

1. REMOVE WINDOW UNIT IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO FRAME, SASHES, GLAZING, INSECT SCREENS, SEALANT, WOOD BUCKS, AND FLASHING. SEE STRUCTURAL DRAWINGS FOR LINTEL AND SILL REMOVALS.
2. EXISTING WINDOW TO REMAIN.
3. REMOVE EXISTING LINTEL - SEE STRUCTURAL.
4. COMPLETELY REMOVE LEAD PAINT & CLEAN EXISTING BRICKWORK THIS ENTIRE ELEVATION
5. SELECTIVELY REMOVE ROOFING MEMBRANE AND ASSOCIATED REGLETS AND FLASHING TO FACILITATE CONCRETE SILL REMOVAL.
6. REMOVE EXISTING CONCRETE SILL - SEE STRUCTURAL.

**DEMOLITION GENERAL NOTES:**

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**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.



1 SOUTH DEMO ELEVATION  
SCALE: 1/4" = 1'-0"

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PROJECT NO.  
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88 PREBLE ST., PORTLAND, ME 04101

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**CONSTRUCTION SET**  
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**AEW**  
SHEET TITLE  
**SOUTH DEMO ELEVATION**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
1/4" = 1'-0"

**AD**

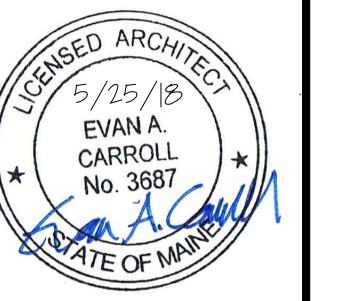


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**CONSTRUCTION SET**  
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DRAWN BY  
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SHEET TITLE  
**1ST FLOOR PLAN**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
1/4" = 1'-0"

**A**  
**1.0**



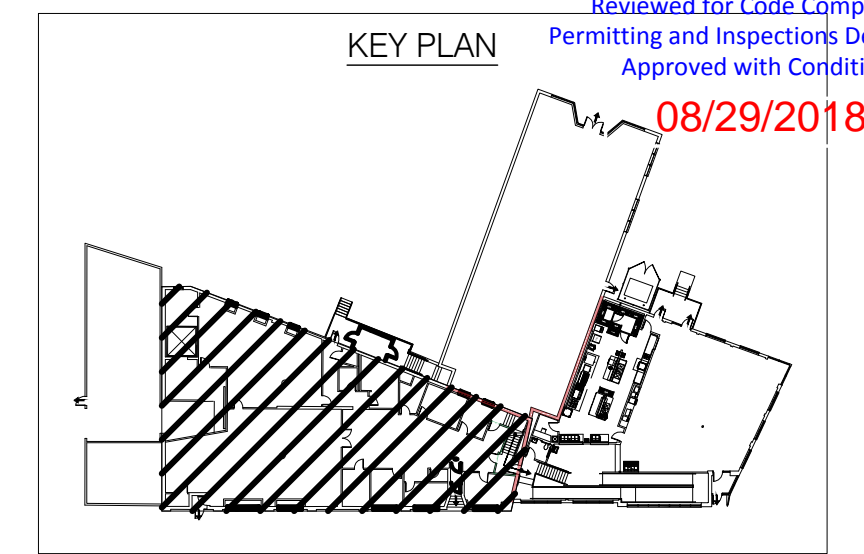
**X KEY NOTES**

1. INSTALL NEW CEILING SOFFIT ASSEMBLY. COORDINATE FINAL DESIGN WITH ARCHITECT BASED ON EXISTING CONDITIONS ENCOUNTERED AFTER SELECTIVE DEMOLITION.
2. CLEAN AND REPAINT METAL GATE AND INFILL PANEL WITH HIGH PERFORMANCE COATING SYSTEM.
3. INSTALL NEW 42" GUARDRAIL AT LOADING DOCK.
4. INSTALL NEW 36" HANDRAIL AT STAIRS.
5. PROVIDE FLASHING BETWEEN MULTI-WYTHE BRICK WALL AND EXISTING CONCRETE LOADING DOCK AND STAIRS PER DETAIL 2/A3.1.
6. INSTALL NEW WINDOW UNIT AT EXPOSED INTERIOR BRICKWORK (EAST FACADE) PER DETAILS: 1/A3.0, 6/A3.0, AND 11/A3.0.
7. INSTALL NEW WINDOW UNIT AT EXPOSED INTERIOR BRICKWORK (NORTH, WEST, AND SOUTH FACADES) PER DETAILS: 1/A3.0, 7/A3.0, AND 12/A3.0.
8. INSTALL NEW WINDOW UNIT AT INTERIOR GYPSUM BOARD/WAINSCOTTING (EAST FACADE) PER DETAILS: 2/A3.0, 9/A3.0, AND 14/A3.0.
9. INSTALL NEW WINDOW UNIT AT INTERIOR GYPSUM BOARD/WAINSCOTTING (NORTH, WEST, AND SOUTH FACADES) PER DETAILS: 2/A3.0, 8/A3.0, AND 13/A3.0.
10. REINSTALL EXISTING CEILING GRID AND TILES THAT WERE TEMPORARILY REMOVED DURING DEMOLITION.
11. INSTALL NEW 2X4 SUSPENDED ACOUSTICAL TILE CEILING AND GRID. COORDINATE FINAL CEILING HEIGHT WITH HORIZONTAL WINDOW MULLION.
12. REINSTALL EXISTING WOOD SILL AND APRON. REPLACE ANY DAMAGED SILLS AND APRONS.
13. INSTALL NEW PLASTIC LAMINATE SILL AND APRON.
14. NEW DOOR SLAB AND HARDWARE.
15. NEW ENTRANCE DOOR, FRAME, AND HARDWARE.

**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.

**GENERAL NOTES:**

1. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

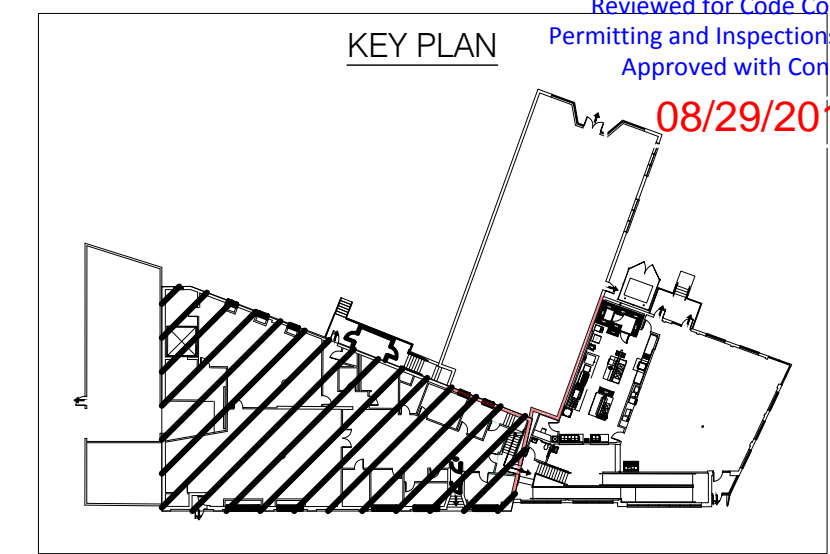


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**X** KEY NOTES

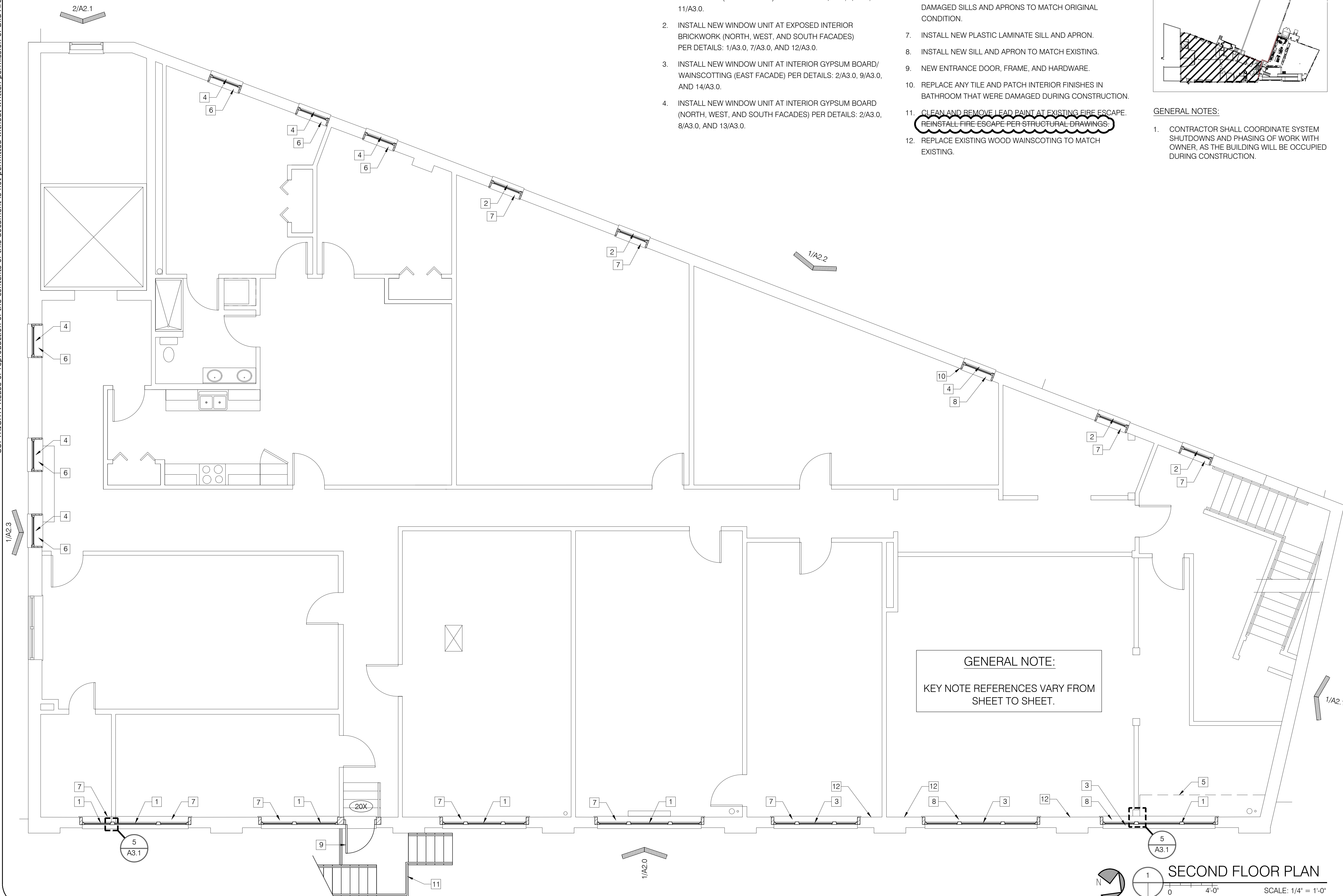
1. INSTALL NEW WINDOW UNIT AT EXPOSED INTERIOR BRICKWORK (EAST FACADE) PER DETAILS: 1/A3.0, 6/A3.0, AND 11/A3.0.
2. INSTALL NEW WINDOW UNIT AT EXPOSED INTERIOR BRICKWORK (NORTH, WEST, AND SOUTH FACADES) PER DETAILS: 1/A3.0, 7/A3.0, AND 12/A3.0.
3. INSTALL NEW WINDOW UNIT AT INTERIOR GYPSUM BOARD/WAINSCOTTING (EAST FACADE) PER DETAILS: 2/A3.0, 9/A3.0, AND 14/A3.0.
4. INSTALL NEW WINDOW UNIT AT INTERIOR GYPSUM BOARD (NORTH, WEST, AND SOUTH FACADES) PER DETAILS: 2/A3.0, 8/A3.0, AND 13/A3.0.

5. REINSTALL EXISTING CEILING GRID AND TILES THAT WERE TEMPORARILY REMOVED DURING DEMOLITION.
6. REINSTALL EXISTING WOOD SILL AND APRON. REPLACE ANY DAMAGED SILLS AND APRONS TO MATCH ORIGINAL CONDITION.
7. INSTALL NEW PLASTIC LAMINATE SILL AND APRON.
8. INSTALL NEW SILL AND APRON TO MATCH EXISTING.
9. NEW ENTRANCE DOOR, FRAME, AND HARDWARE.
10. REPLACE ANY TILE AND PATCH INTERIOR FINISHES IN BATHROOM THAT WERE DAMAGED DURING CONSTRUCTION.
11. CLEAN AND REMOVE LEAD PAINT AT EXISTING FIRE ESCAPE. REINSTALL FIRE ESCAPE PER STRUCTURAL DRAWINGS.
12. REPLACE EXISTING WOOD WAINSCOTTING TO MATCH EXISTING.



GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.



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PROJECT NO.  
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**SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

REVISIONS

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**CONSTRUCTION SET**  
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DRAWN BY  
**AEW**  
SHEET TITLE  
**2ND FLOOR PLAN**

ISSUE DATE  
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SHEET SCALE  
1/4" = 1'-0"

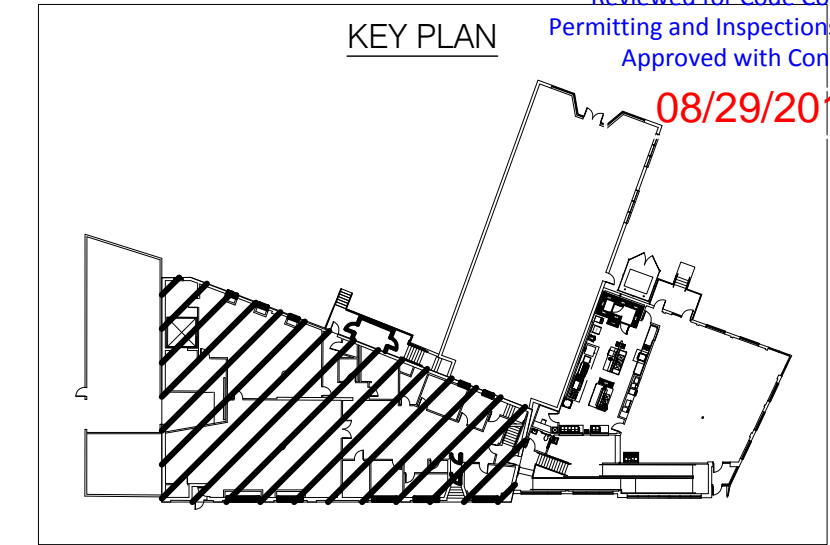
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**1.1**



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**X KEY NOTES**

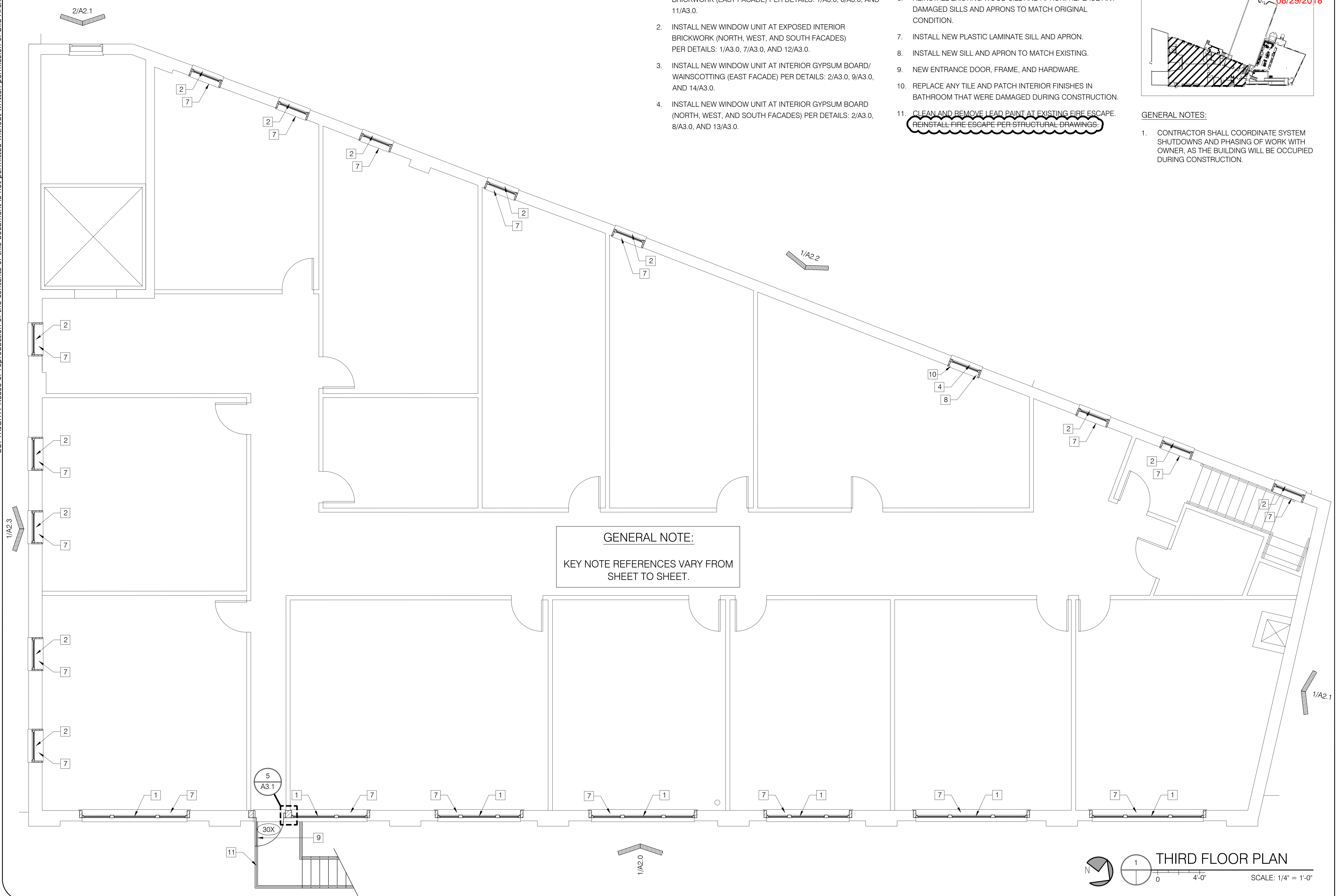
1. INSTALL NEW WINDOW UNIT AT EXPOSED INTERIOR BRICKWORK (EAST FACADE) PER DETAILS: 1/A3.0, 6/A3.0, AND 11/A3.0.
2. INSTALL NEW WINDOW UNIT AT EXPOSED INTERIOR BRICKWORK (NORTH, WEST, AND SOUTH FACADES) PER DETAILS: 1/A3.0, 7/A3.0, AND 12/A3.0.
3. INSTALL NEW WINDOW UNIT AT INTERIOR GYPSUM BOARD/ WAINSCOTTING (EAST FACADE) PER DETAILS: 2/A3.0, 9/A3.0, AND 14/A3.0.
4. INSTALL NEW WINDOW UNIT AT INTERIOR GYPSUM BOARD (NORTH, WEST, AND SOUTH FACADES) PER DETAILS: 2/A3.0, 8/A3.0, AND 13/A3.0.
5. REINSTALL EXISTING CEILING GRID AND TILES THAT WERE TEMPORARILY REMOVED DURING DEMOLITION.
6. REINSTALL EXISTING WOOD SILL AND APRON. REPLACE ANY DAMAGED SILLS AND APRONS TO MATCH ORIGINAL CONDITION.
7. INSTALL NEW PLASTIC LAMINATE SILL AND APRON.
8. INSTALL NEW SILL AND APRON TO MATCH EXISTING.
9. NEW ENTRANCE DOOR, FRAME, AND HARDWARE.
10. REPLACE ANY TILE AND PATCH INTERIOR FINISHES IN BATHROOM THAT WERE DAMAGED DURING CONSTRUCTION.
11. CLEAN AND REMOVE LEAD PAINT AT EXISTING FIRE ESCAPE. REINSTALL FIRE ESCAPE PER STRUCTURAL DRAWINGS.



**GENERAL NOTES:**

1. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.

**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.



**1 THIRD FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**Bild Architecture**  
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PROJECT NO.  
**17034**  
PROJECT NAME  
**SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

REVISIONS	DATE	DESCRIPTION
1	18.07.24	
2	18.07.31	
3	18.08.08	
4	18.08.28	
5		

**CONSTRUCTION SET**  
**DOCUMENT SET**

DRAWN BY  
**AEW**  
SHEET TITLE  
**3RD FLOOR PLAN**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
1/4" = 1'-0"

A

1.2

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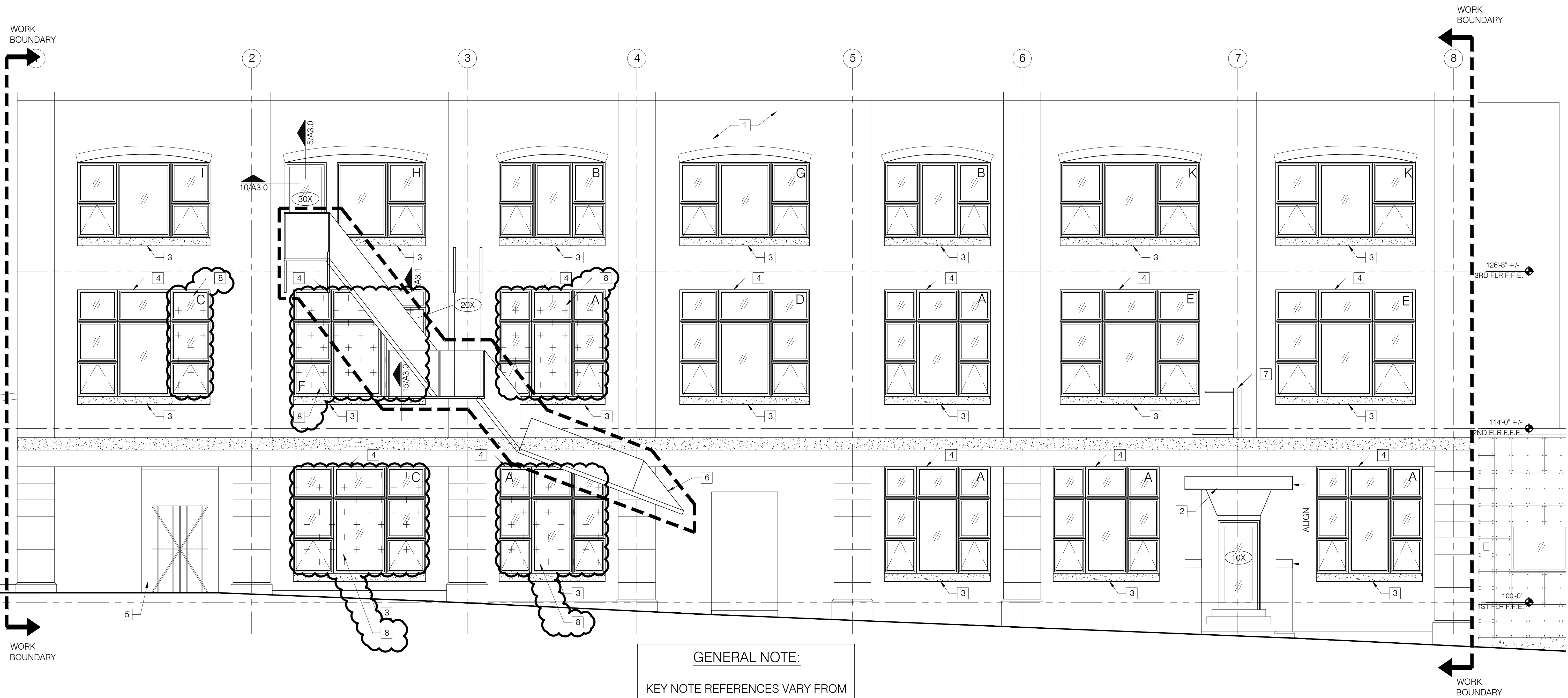
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Permitting and Inspections Department  
Approved with Conditions  
08/29/18

**KEY NOTES**

- CLEAN AND SEAL EXISTING BRICKWORK AT THIS ELEVATION.
- INSTALL NEW CHANNEL LINTEL WITH FACTORY APPLIED GALVANIZED COLORED COATING, WALL MOUNTED LIGHT FIXTURE, AND CEILING SOFFIT ASSEMBLY. COORDINATE FINAL DESIGN WITH ARCHITECT BASED ON EXISTING CONDITIONS ENCOUNTERED AFTER SELECTIVE DEMOLITION.
- NEW CONCRETE SILL - SEE STRUCTURAL.
- NEW STEEL LINTEL - SEE STRUCTURAL.
- CLEAN AND REPAINT METAL GATE AND INFILL PANEL WITH HIGH PERFORMANCE COATING SYSTEM.
- CLEAN AND REMOVE LEAD PAINT AT EXISTING FIRE ESCAPE. REINSTALL FIRE ESCAPE PER STRUCTURAL DRAWINGS.
- NEW PROJECTED ILLUMINATED PANEL SIGNAGE. COORDINATE FINAL DESIGN AND MOUNTING WITH ARCHITECT AND OWNER.
- MODIFY EXISTING SPRINKLER PIPING AS REQUIRED IN ORDER TO PROVIDE SPRINKLER COVERAGE (WATER CURTAIN) FOR PROTECTED OPENING (INDICATED WITH A HATCH) PER CODE.

**GENERAL NOTES:**

- WIND LOAD DESIGN PRESSURE: 25 LBS./SQ. FT. ZONE 5. THE DESIGN PRESSURES ARE BASED ON THE INTERNATIONAL BUILDING CODE, ASCE 7-05; 2009 EDITION.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE AT ELEVATIONS.
- CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.



**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.

1 EAST ELEVATION  
0 4'-0" SCALE: 1/4" = 1'-0"

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PROJECT NO.  
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1	18.07.24
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SHEET TITLE  
**EAST ELEVATION**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
1/4" = 1'-0"

**A**  
**2.0**



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08/29/2018

**KEY NOTES**

1. CLEAN AND SEAL EXISTING BRICKWORK AT THIS ELEVATION.
2. NEW PROJECTED ILLUMINATED PANEL SIGNAGE. COORDINATE FINAL DESIGN AND MOUNTING WITH ARCHITECT AND OWNER.
3. RE-INSTALL SIGNAGE. COORDINATE WITH OWNER.

**GENERAL NOTES:**

1. WIND LOAD DESIGN PRESSURE: 25 LBS./SQ. FT. ZONE 5. THE DESIGN PRESSURES ARE BASED ON THE INTERNATIONAL BUILDING CODE, ASCE 7-05; 2009 EDITION.
2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE AT ELEVATIONS.
3. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.

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PROJECT NO. **17034**  
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88 PREBLE ST., PORTLAND, ME 04101

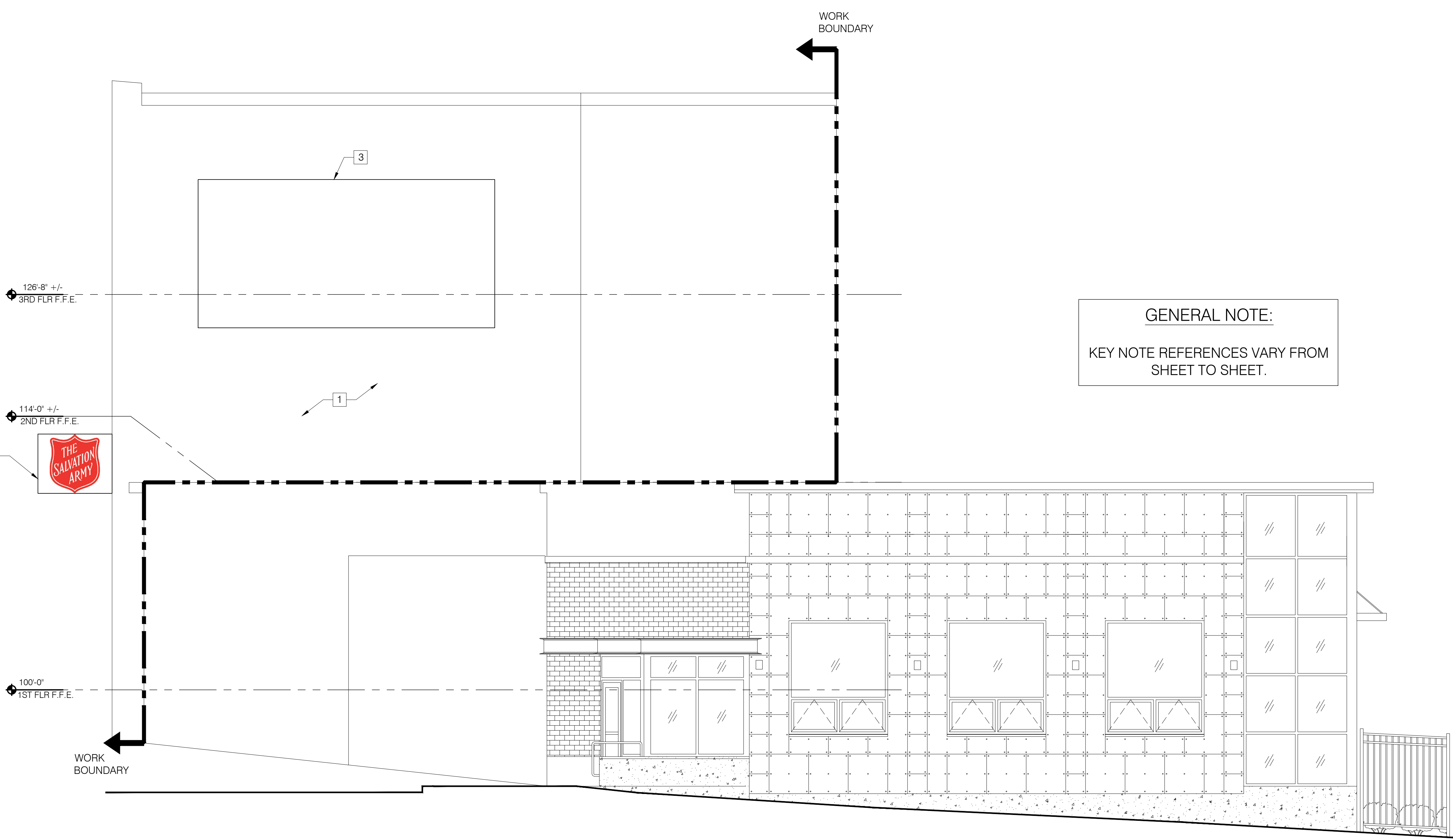
REVISIONS	DATE	DESCRIPTION
1	18-07-24	
2	18-07-31	
3	18-08-08	
4	18-08-28	
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**CONSTRUCTION SET**  
**DOCUMENT SET**

DRAWN BY **AEW**  
SHEET TITLE **NORTH ELEVATION**

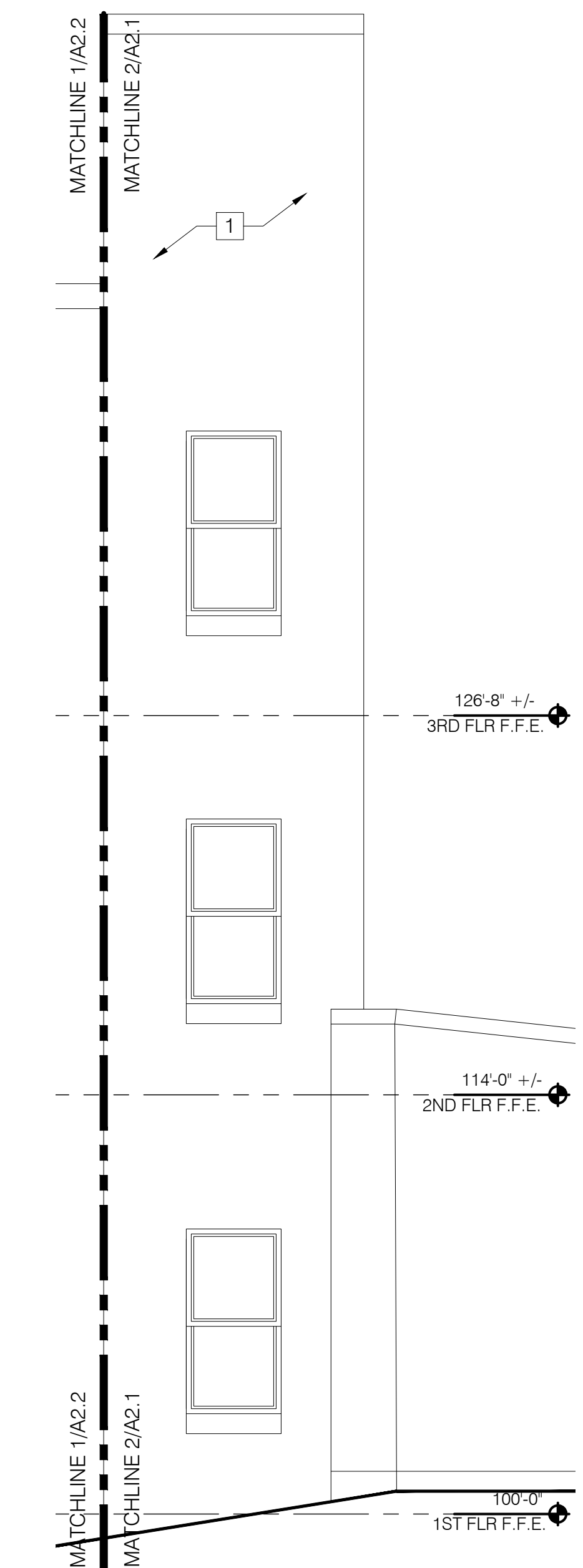
ISSUE DATE **5/25/18**  
SHEET SCALE **1/4" = 1'-0"**

**A**  
**2.1**



**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.

**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEV CONT.**  
SCALE: 1/4" = 1'-0"



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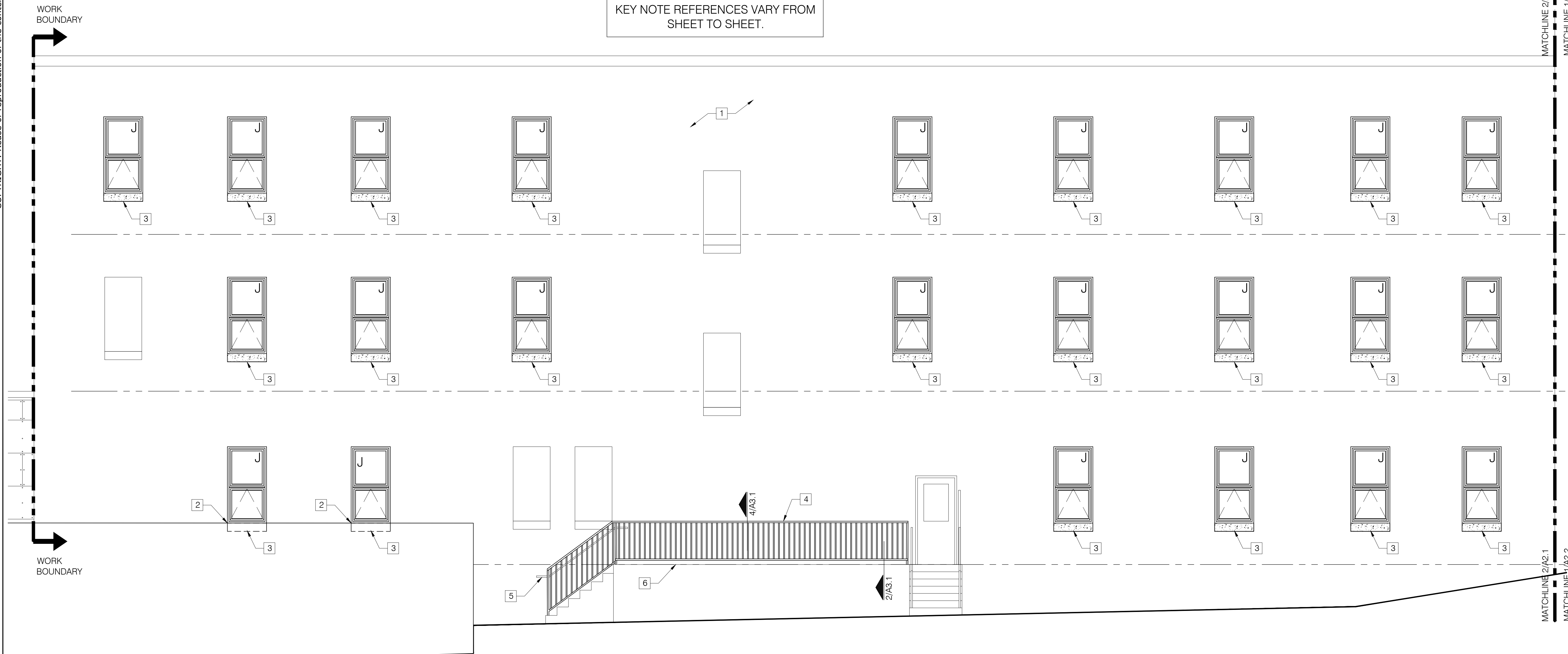
**KEY NOTES**

1. CLEAN AND SEAL EXISTING BRICKWORK AT THIS ELEVATION.
2. PATCH ROOFING MEMBRANE AND REFLASH WALL PER DETAIL 5/A3.1. INSTALL NEW REGLET AND COUNTERFLASHING.
3. NEW CONCRETE SILL - SEE STRUCTURAL.
4. INSTALL NEW 42" GUARDRAIL AT LOADING DOCK.
5. INSTALL NEW 36" HANDRAIL AT STAIRS.
6. PROVIDE FLASHING BETWEEN MULTI-WYTHE BRICK WALL AND EXISTING CONCRETE LOADING DOCK AND STAIRS PER DETAIL 5/A3.1.

**GENERAL NOTES:**

1. WIND LOAD DESIGN PRESSURE: 25 LBS./SQ. FT. ZONE 5. THE DESIGN PRESSURES ARE BASED ON THE INTERNATIONAL BUILDING CODE, ASCE 7-05; 2009 EDITION.
2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE AT ELEVATIONS.
3. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.

**GENERAL NOTE:**  
KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.



1 WEST ELEVATION  
0 4'-0" SCALE: 1/4" = 1'-0"

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PROJECT NO.  
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PROJECT NAME  
**SALVATION ARMY**  
88 PREBLE ST., PORTLAND, ME 04101

REVISIONS	DATE
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SHEET TITLE  
**WEST ELEVATION**

ISSUE DATE  
**5/25/18**  
SHEET SCALE  
1/4" = 1'-0"



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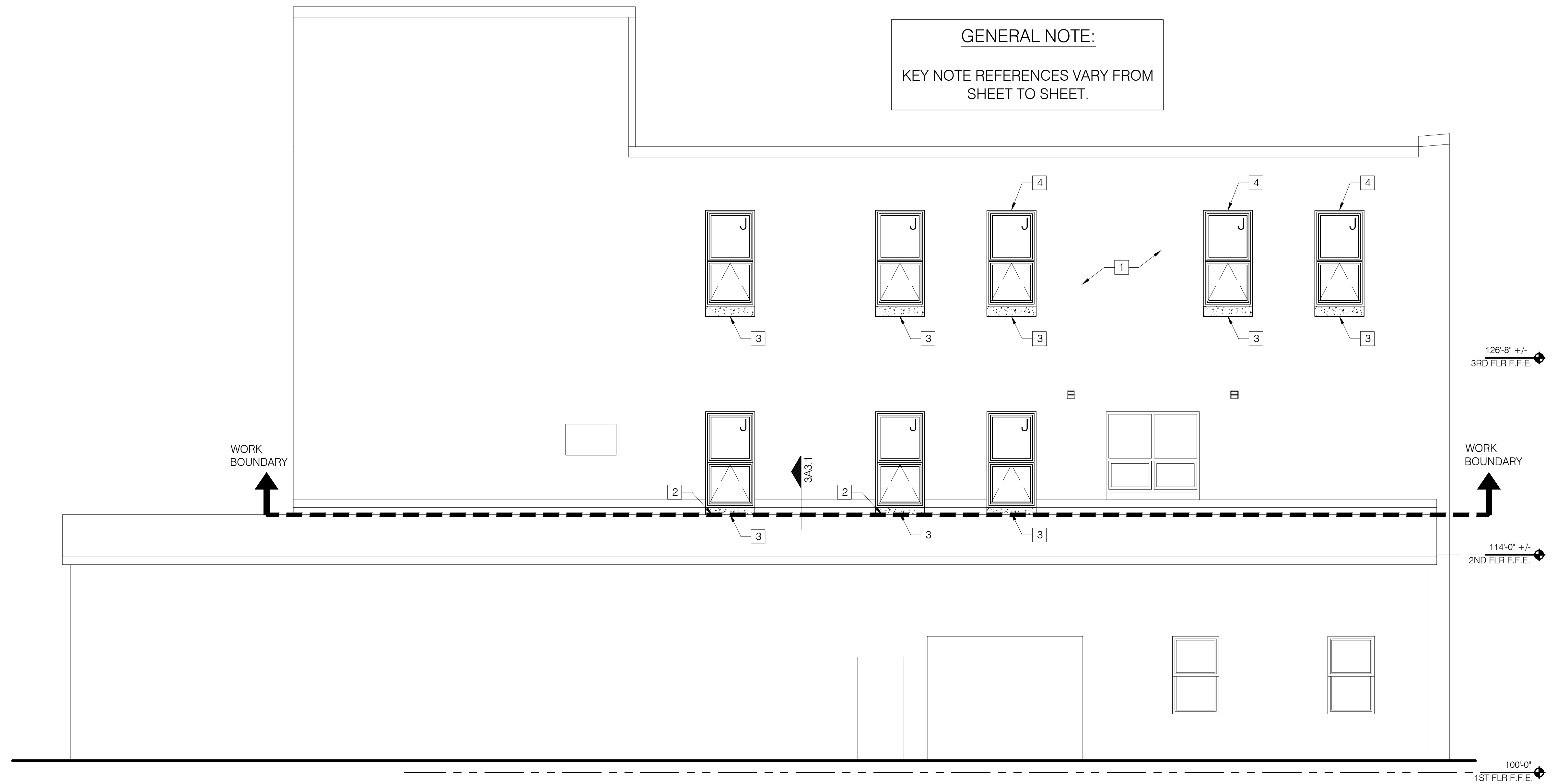
**X KEY NOTES**

1. CLEAN AND SEAL EXISTING BRICKWORK AT THIS ELEVATION.
2. PATCH ROOFING MEMBRANE AND REFLASH WALL PER DETAIL 5/A3.1 INSTALL NEW REGLET AND COUNTERFLASHING.
3. NEW CONCRETE SILL - SEE STRUCTURAL.
4. NEW STEEL LINTEL - SEE STRUCTURAL.

**GENERAL NOTES:**

1. WIND LOAD DESIGN PRESSURE: 25 LBS./SQ. FT. ZONE 5. THE DESIGN PRESSURES ARE BASED ON THE INTERNATIONAL BUILDING CODE, ASCE 7-05; 2009 EDITION.
2. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE AT ELEVATIONS.
3. CONTRACTOR SHALL COORDINATE SYSTEM SHUTDOWNS AND PHASING OF WORK WITH OWNER, AS THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.

**GENERAL NOTE:**  
 KEY NOTE REFERENCES VARY FROM SHEET TO SHEET.



1 SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

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PROJECT NO.  
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 DOCUMENT SET

**SOUTH ELEVATION**

ISSUE DATE  
**5/25/18**  
 SHEET SCALE  
 1/4" = 1'-0"

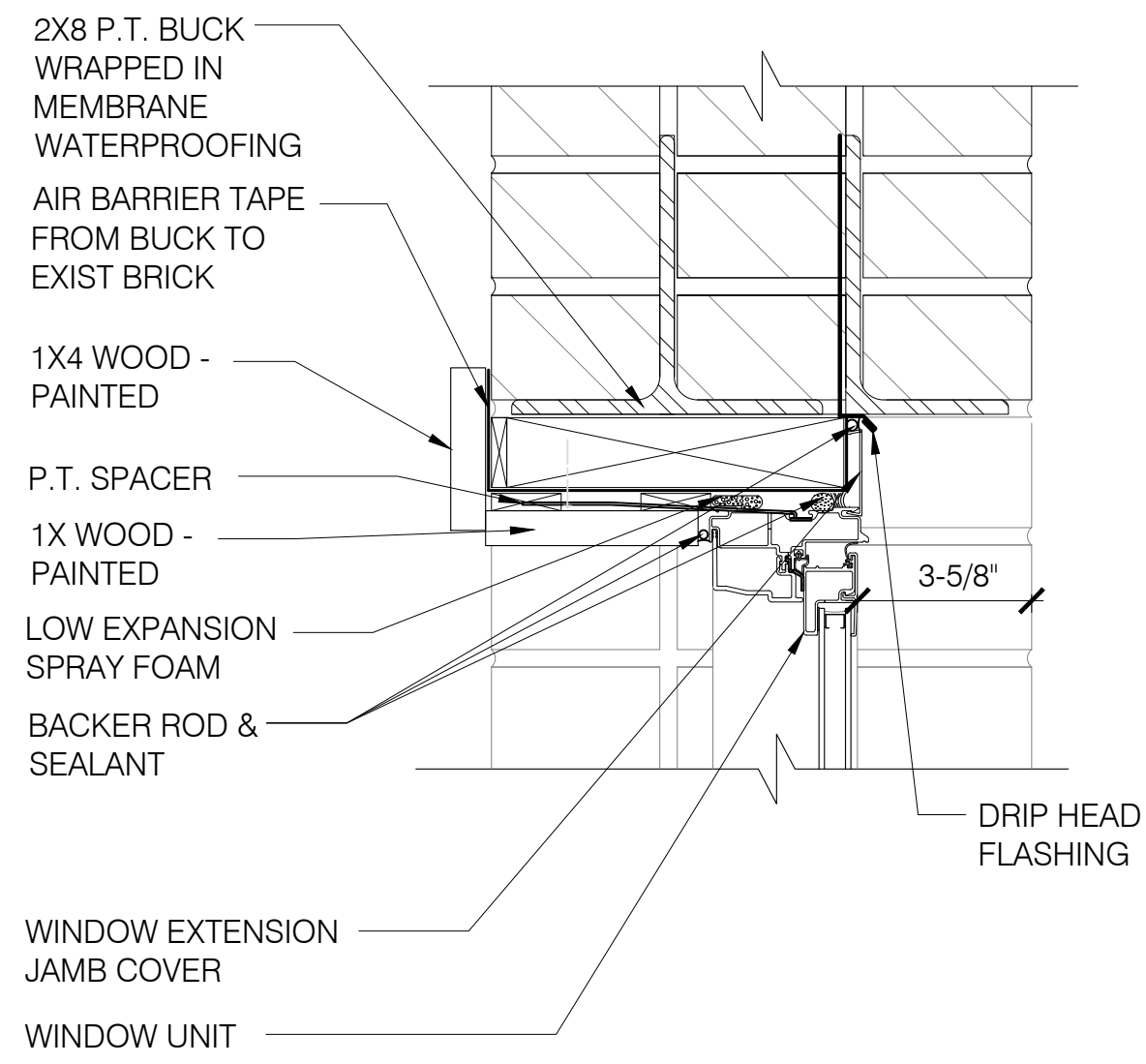
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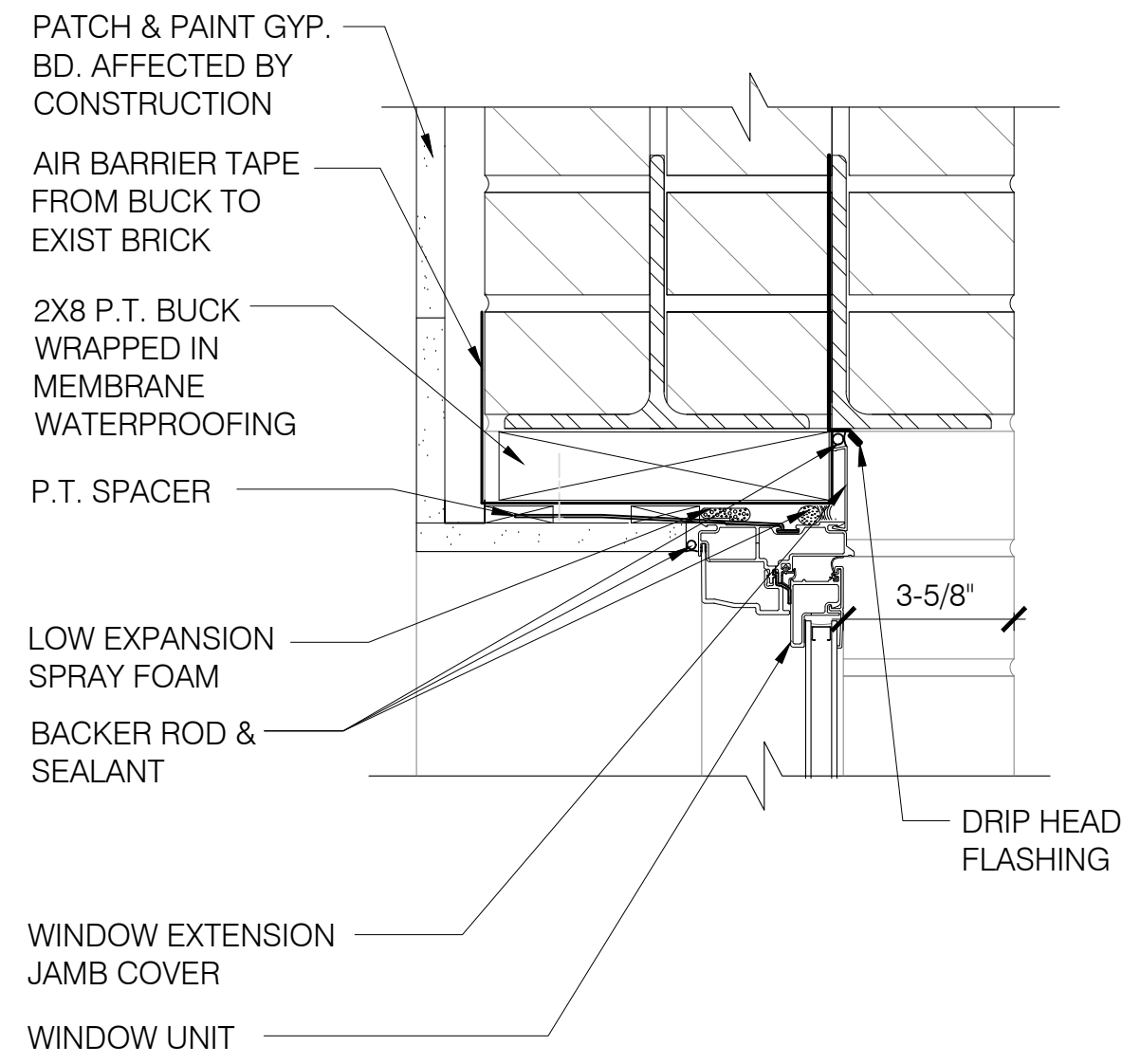
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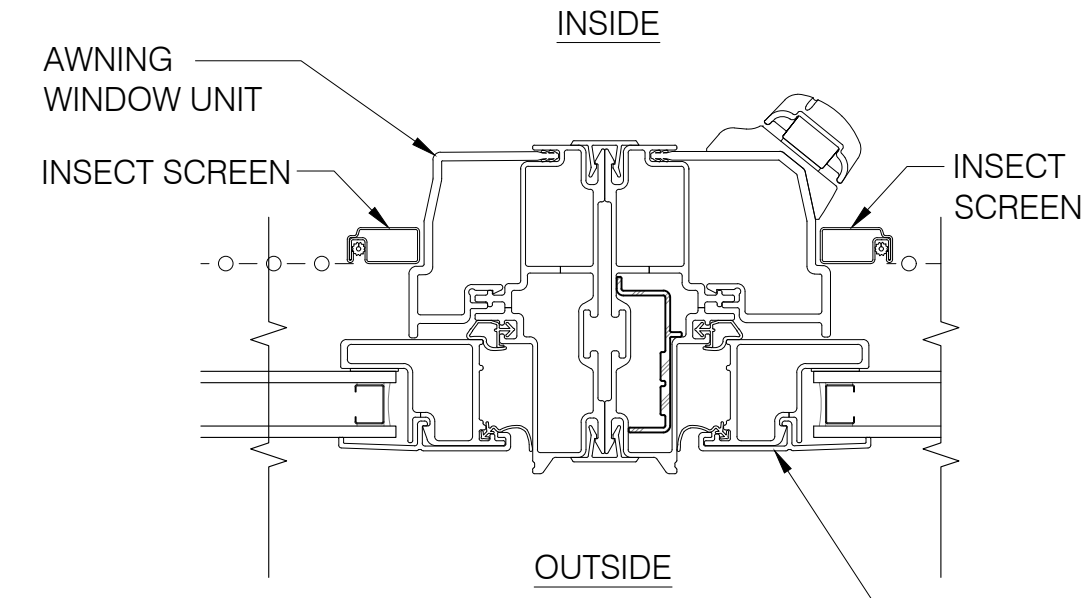
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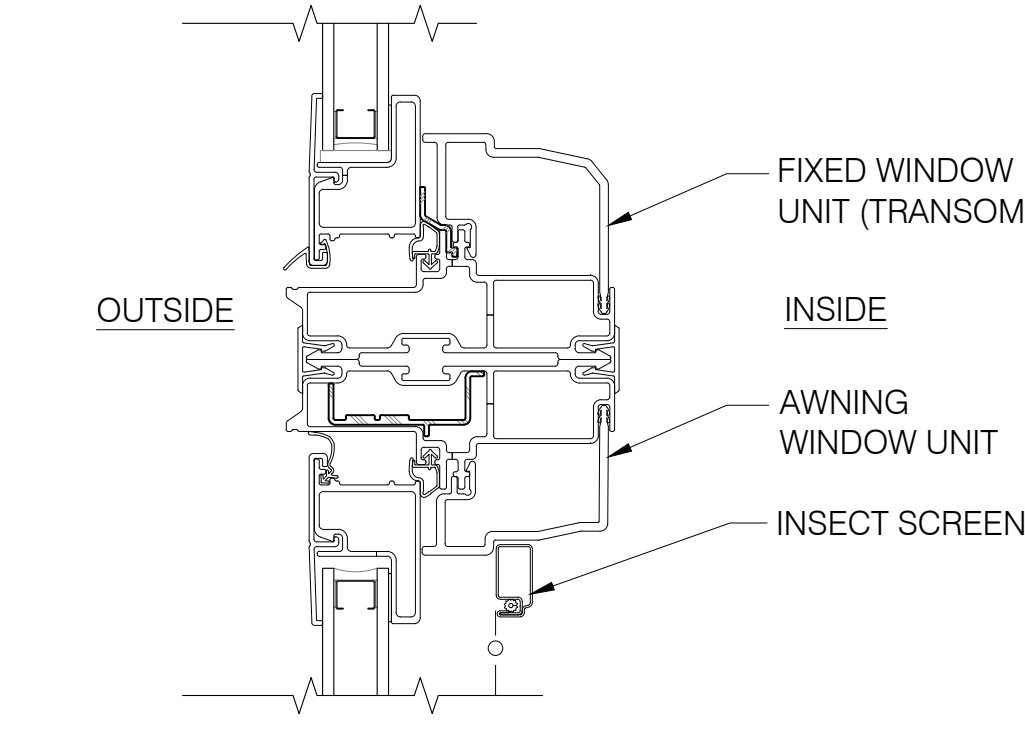
1 WINDOW HEAD @ FACE BRICK  
SCALE: 3" = 1'-0"



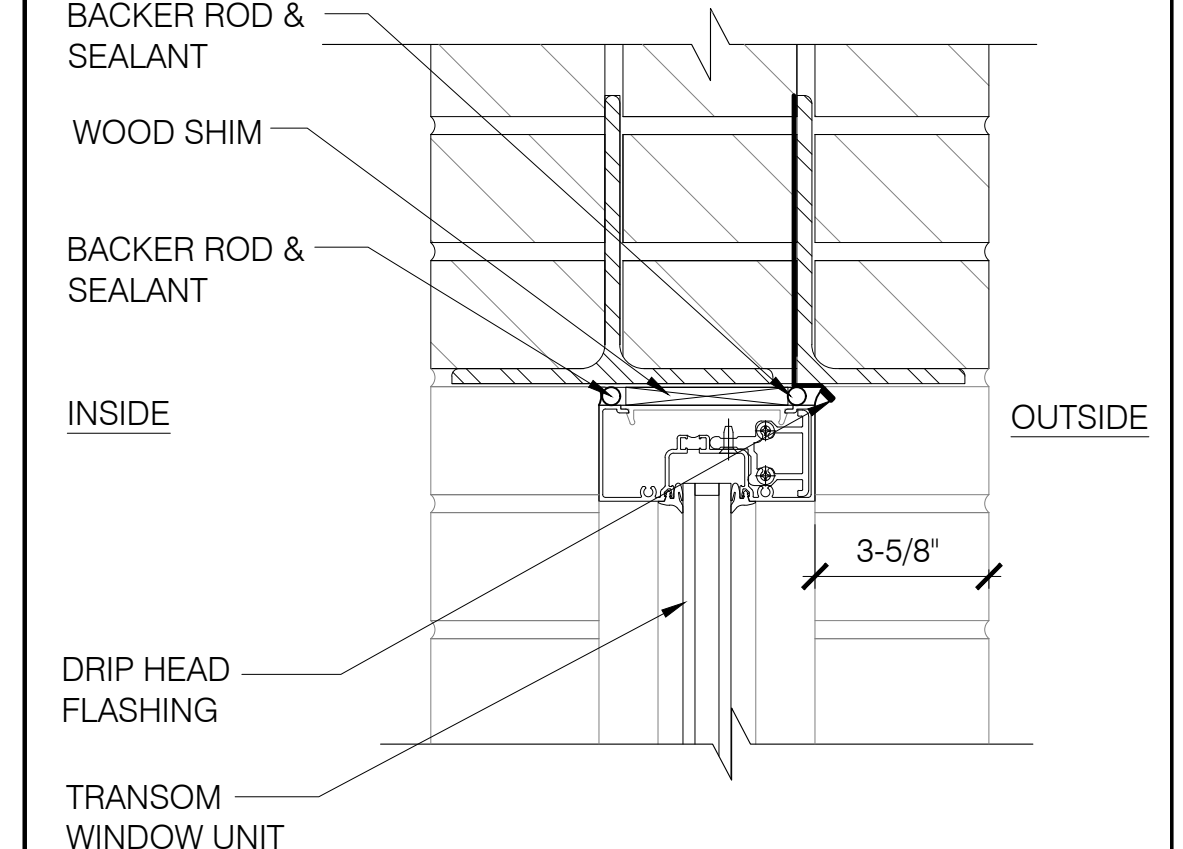
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SCALE: 3" = 1'-0"



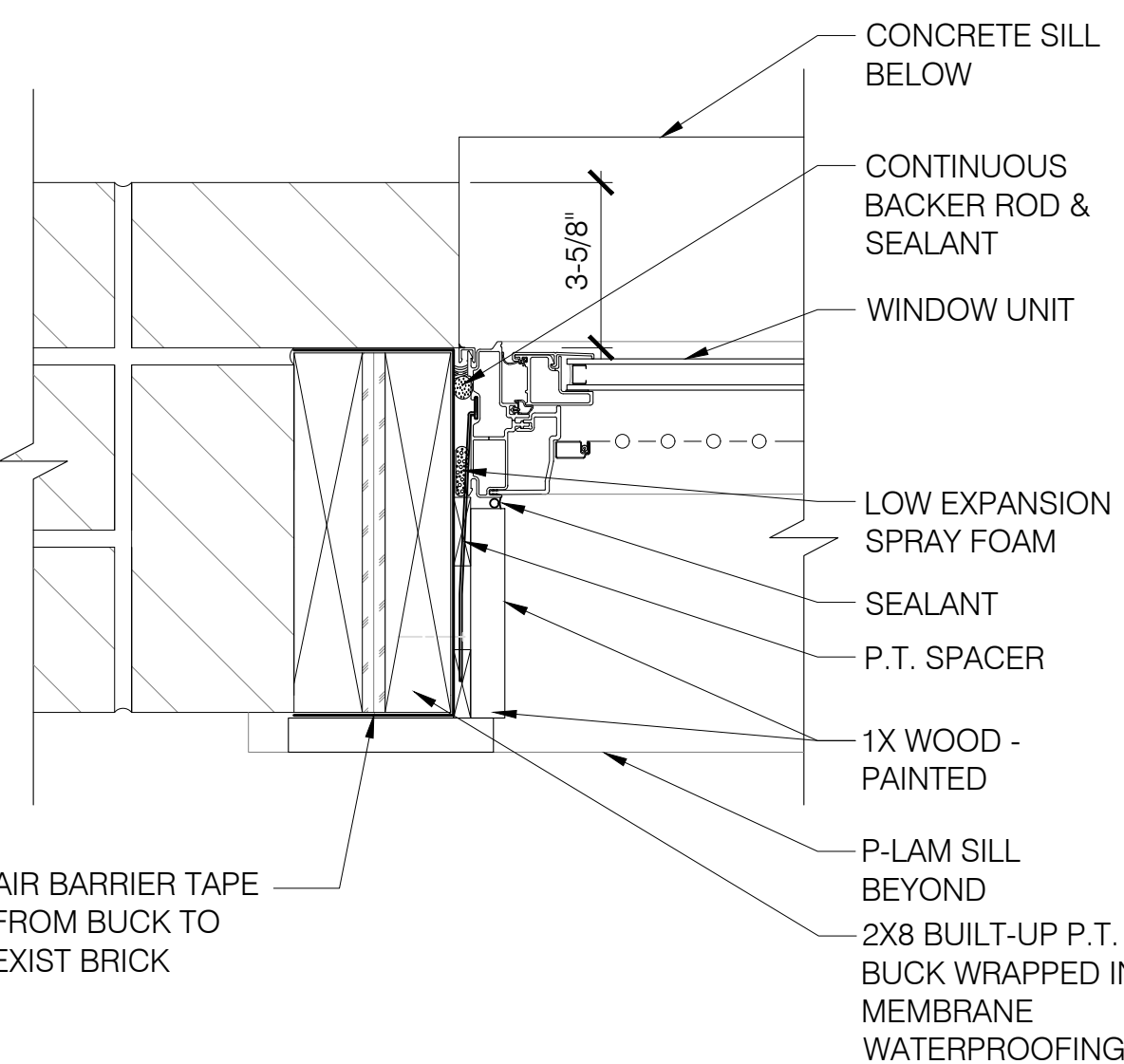
3 VERTICAL MULLION  
SCALE: 6" = 1'-0"



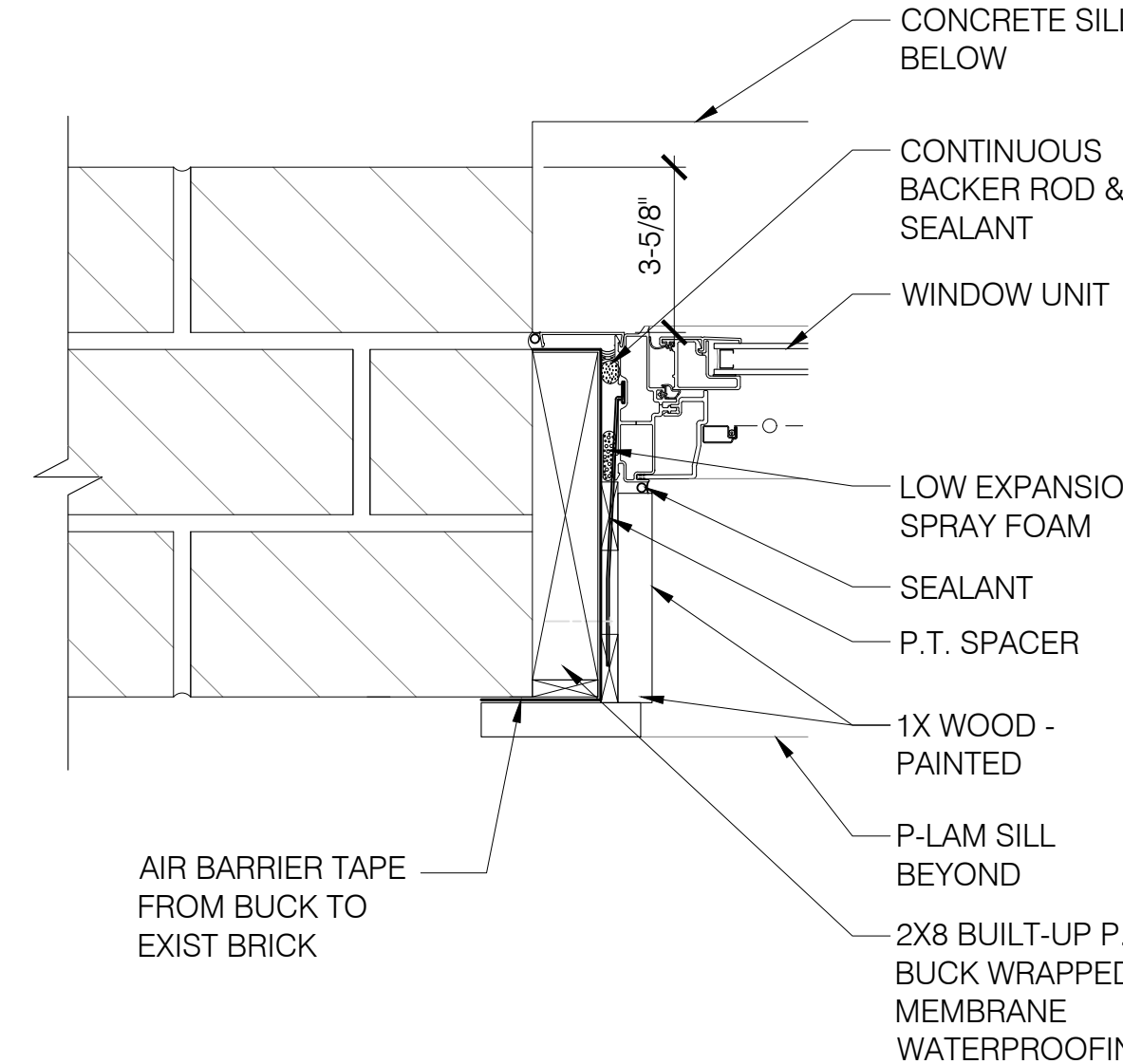
4 HORIZONTAL MULLION  
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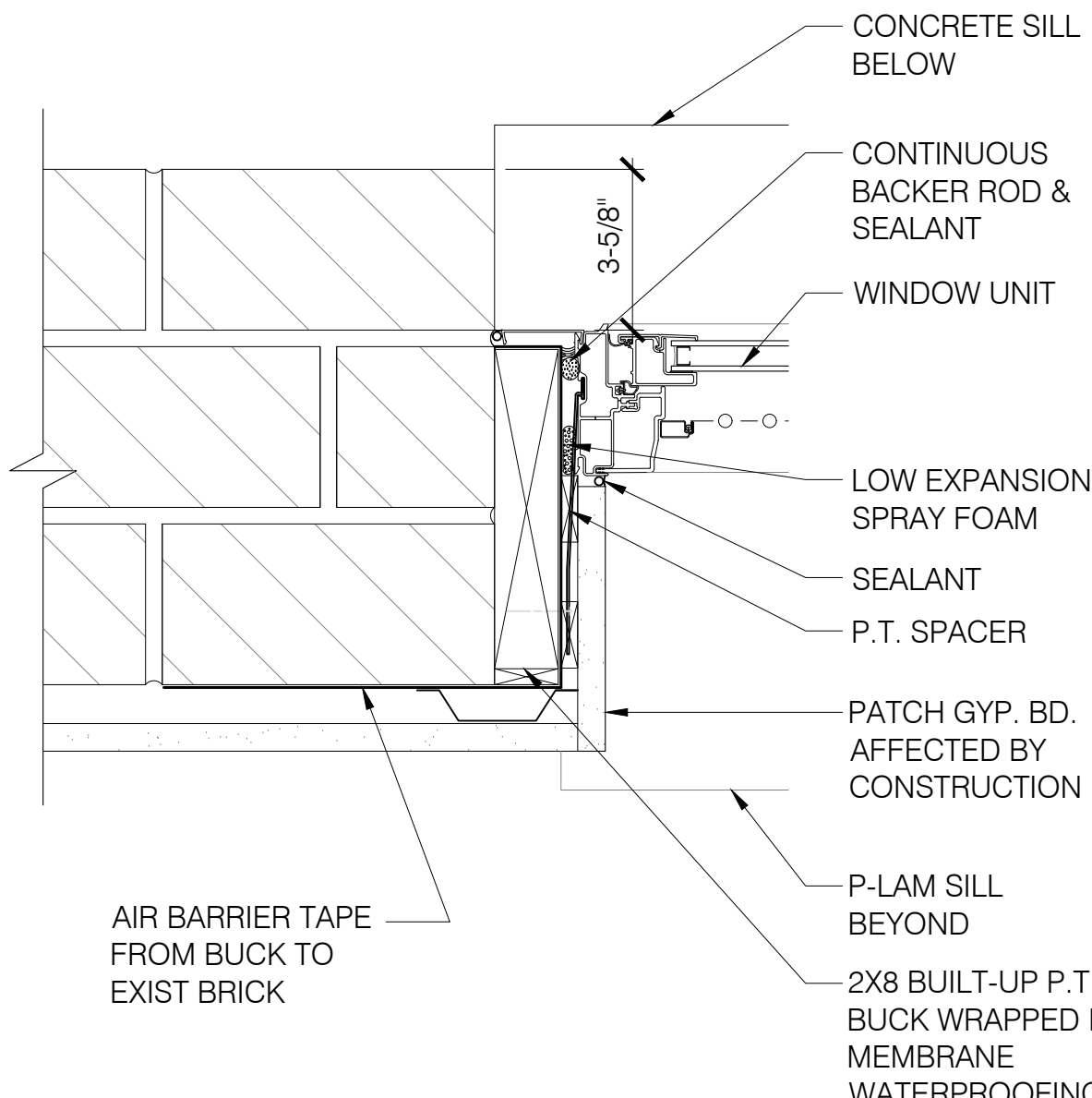
5 EGRESS DOOR HEAD  
SCALE: 6" = 1'-0"



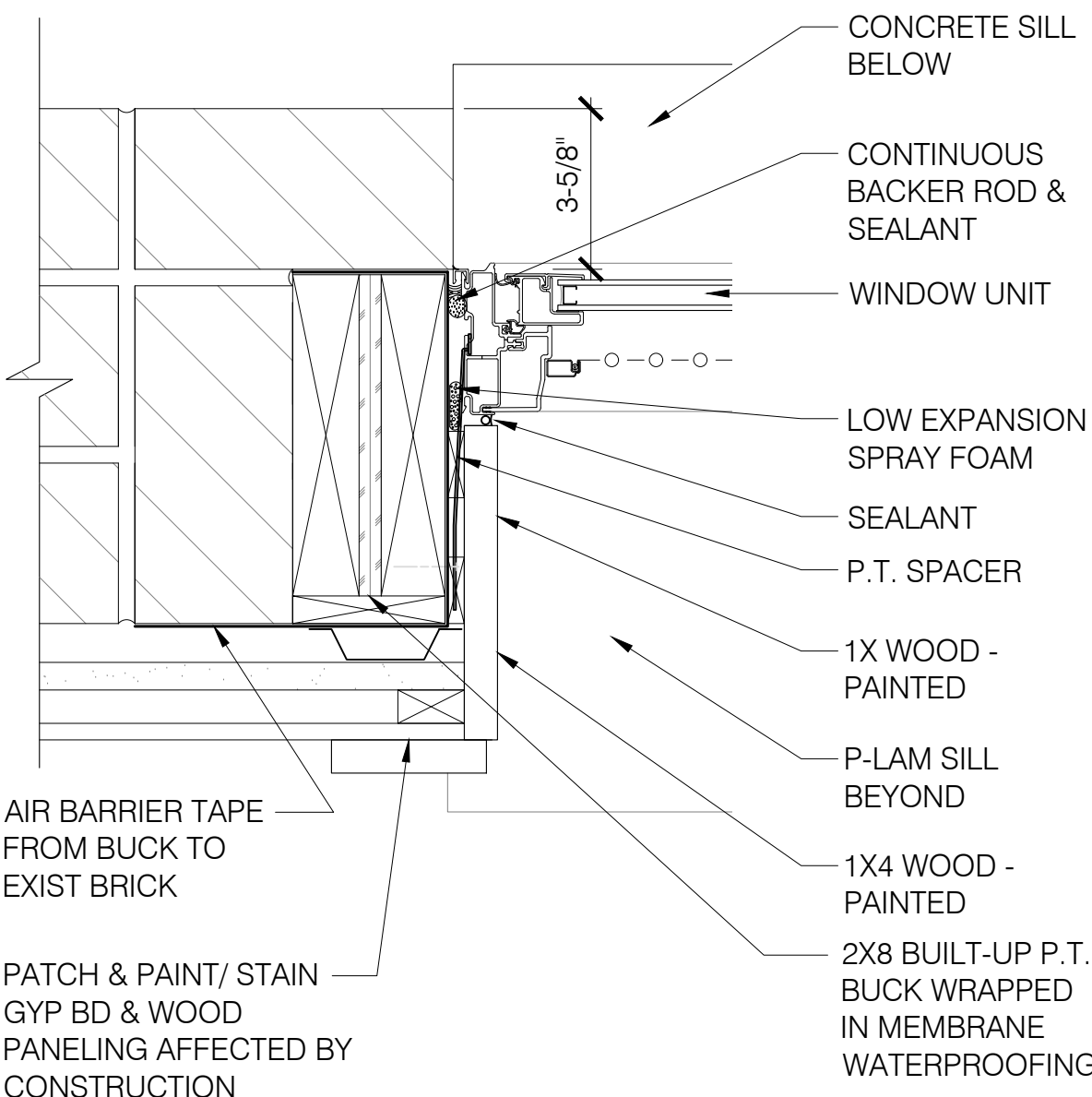
6 WINDOW JAMB @ FACE BRICK  
SCALE: 3" = 1'-0"



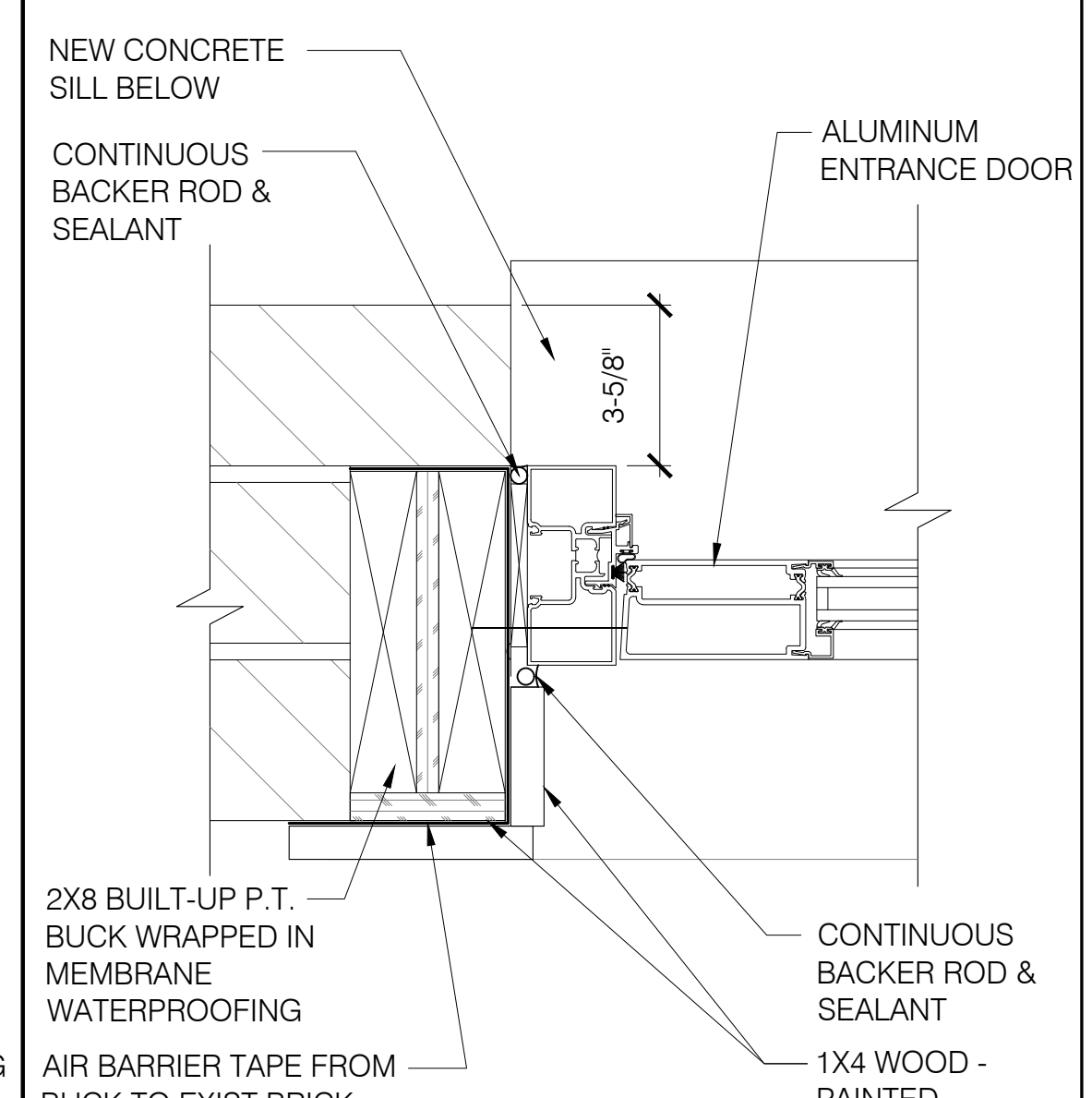
7 WINDOW JAMB @ RED BRICK  
SCALE: 3" = 1'-0"



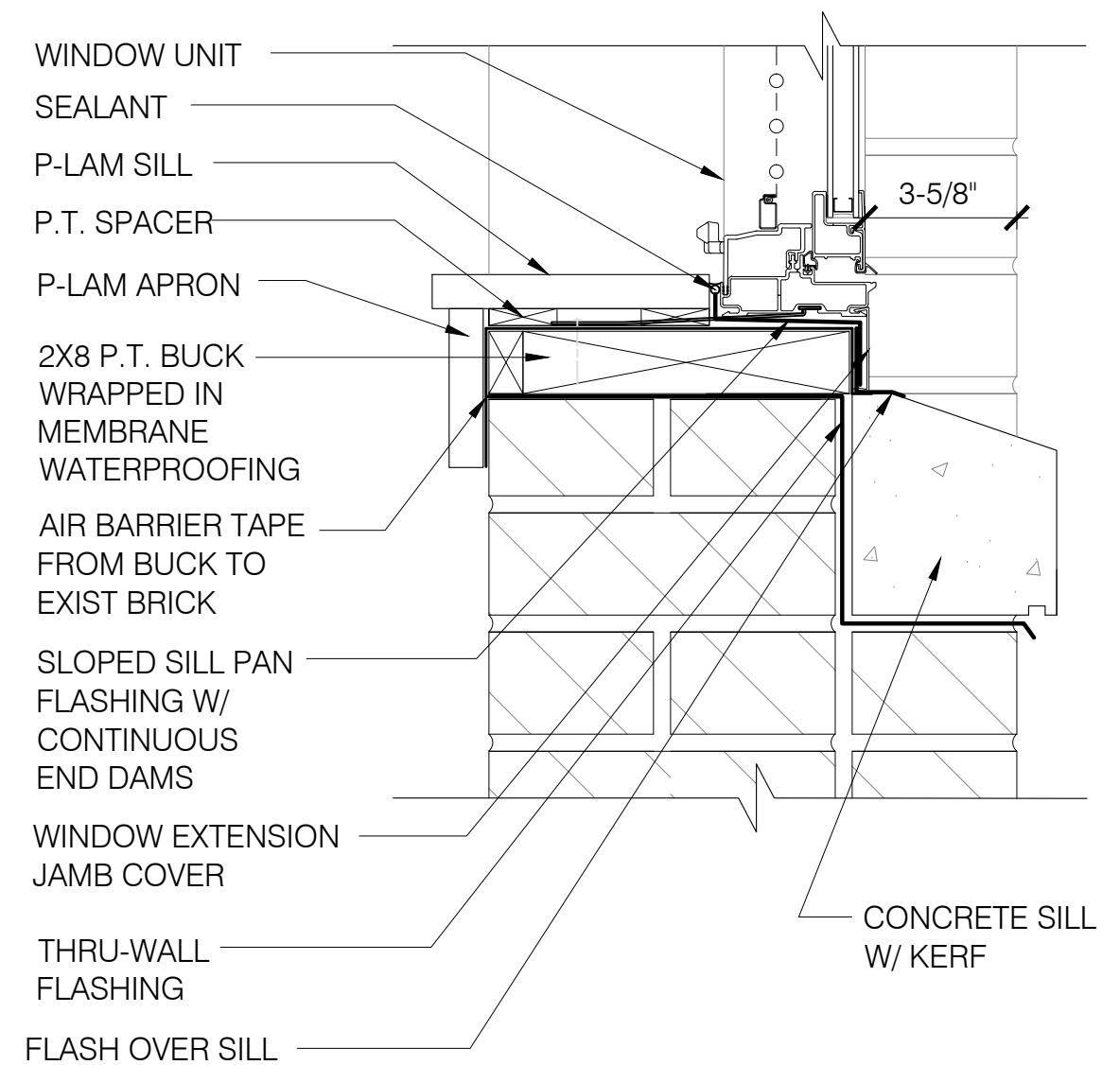
8 WINDOW JAMB @ RED BRICK  
SCALE: 3" = 1'-0"



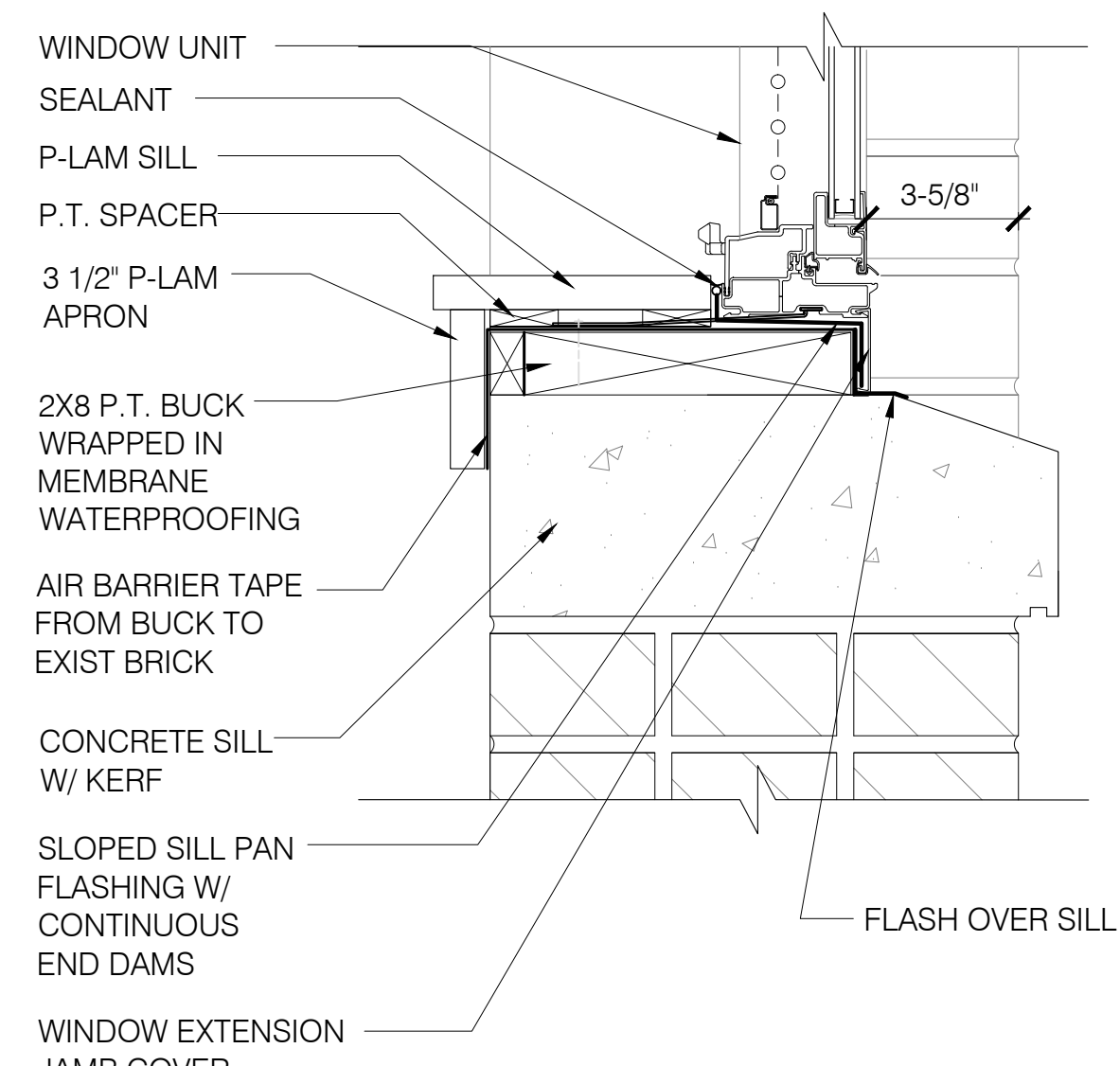
9 WINDOW JAMB @ WNSCTTNG  
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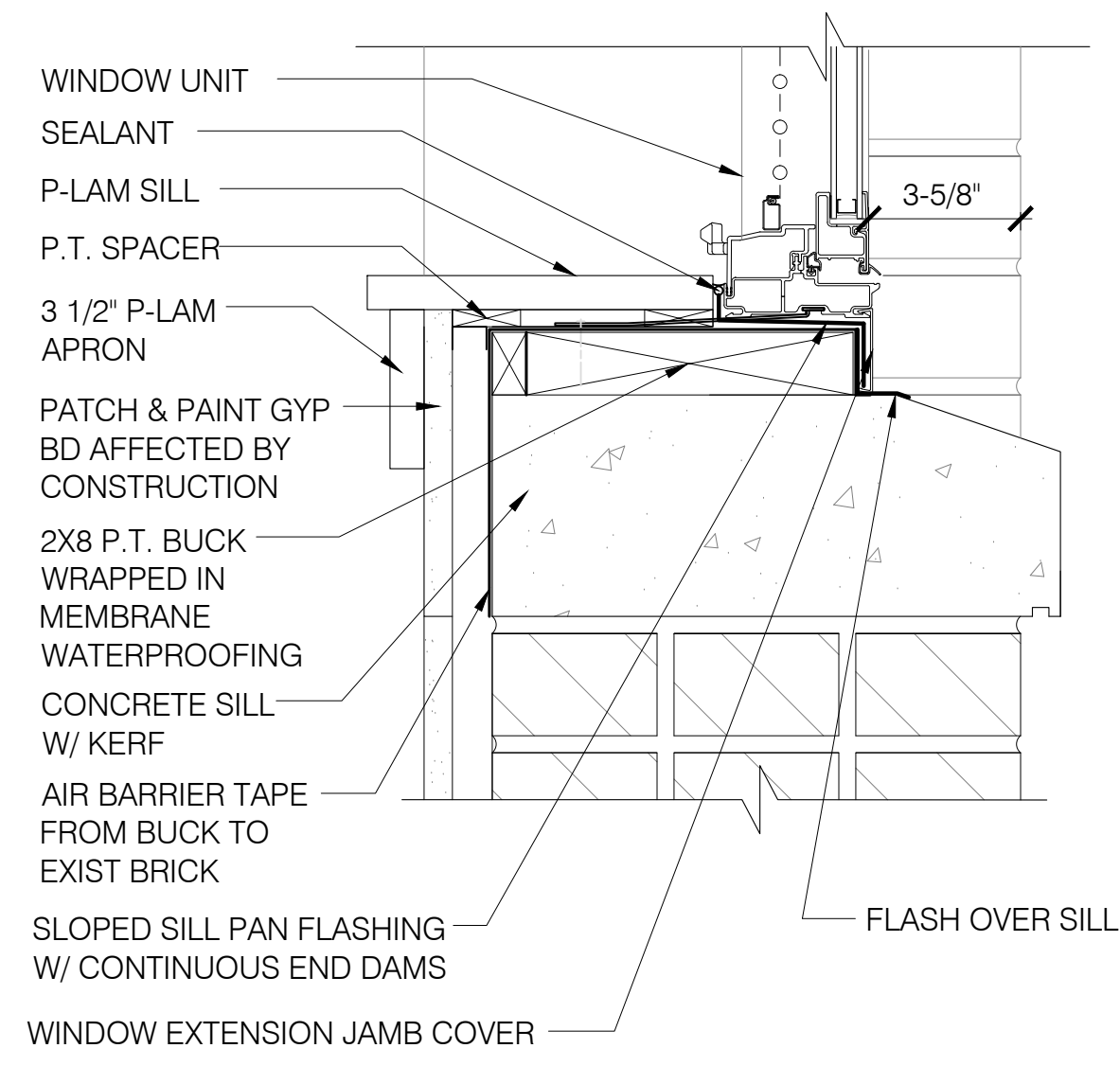
10 EGRESS DOOR JAMB  
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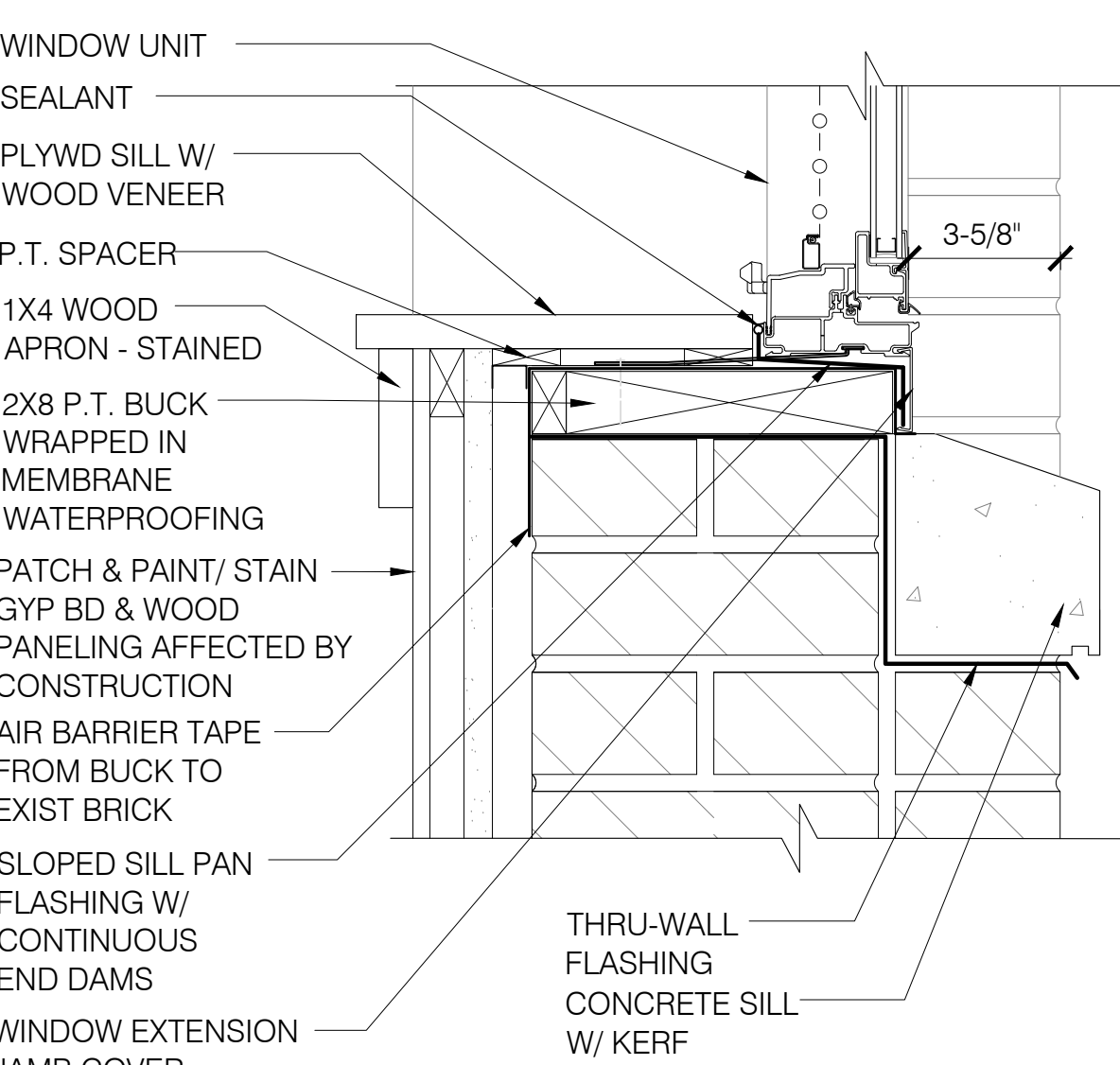
11 WINDOW SILL @ FACE BRICK  
SCALE: 3" = 1'-0"



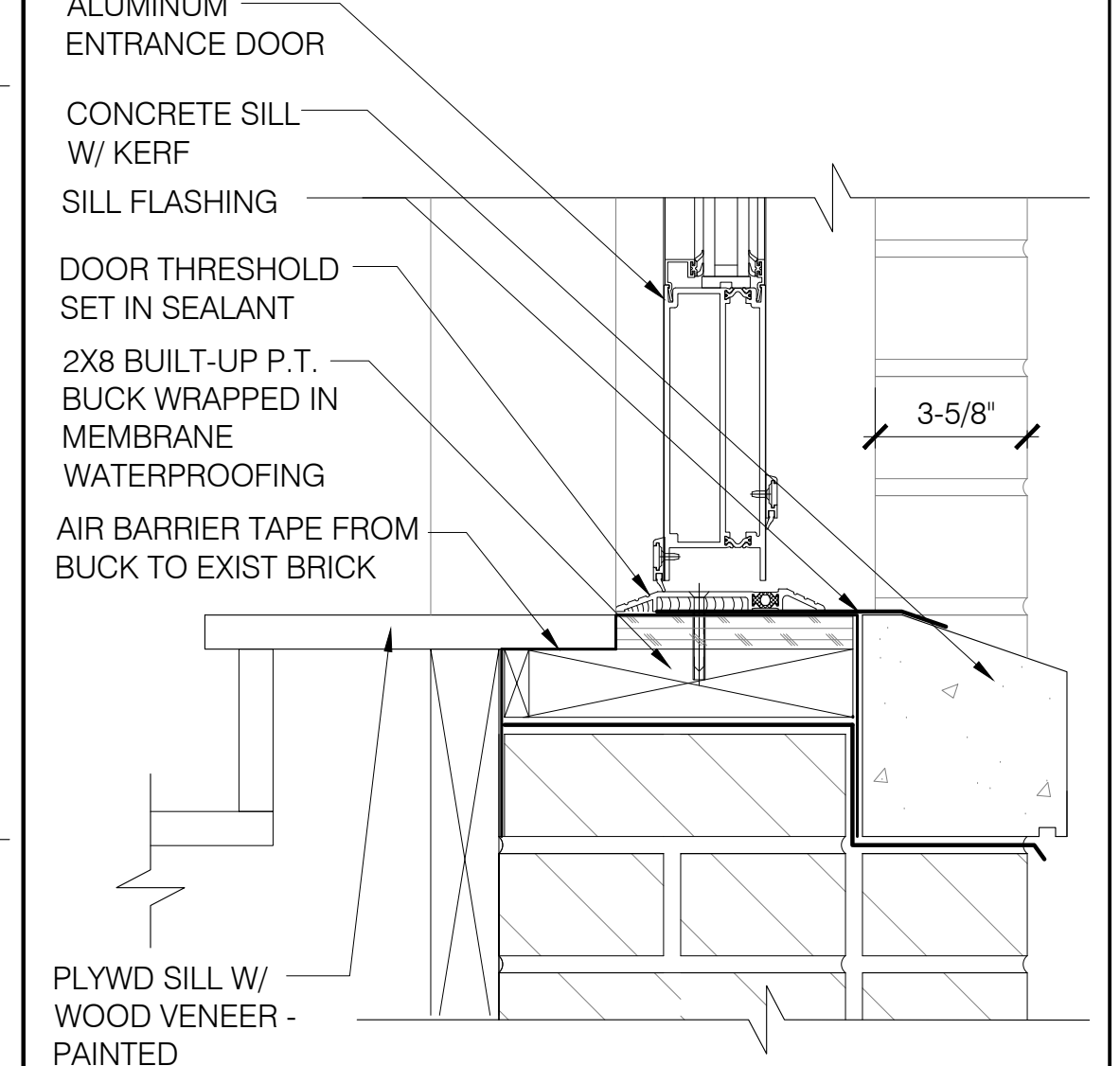
12 WINDOW JAMB @ RED BRICK  
SCALE: 3" = 1'-0"



13 WINDOW JAMB @ RED BRICK  
SCALE: 3" = 1'-0"

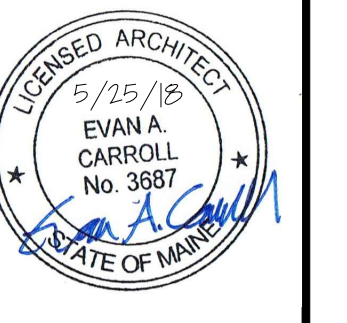


14 WINDOW SILL @ WNSCOTTNG  
SCALE: 3" = 1'-0"



15 EGRESS DOOR SILL  
SCALE: 1" = 1'-0"

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PROJECT NO.  
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PROJECT NAME  
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REVISIONS  
1 18.07.24  
2 18.07.31  
3 18.08.08  
4 18.08.28  
5

**CONSTRUCTION DOCUMENT SET**

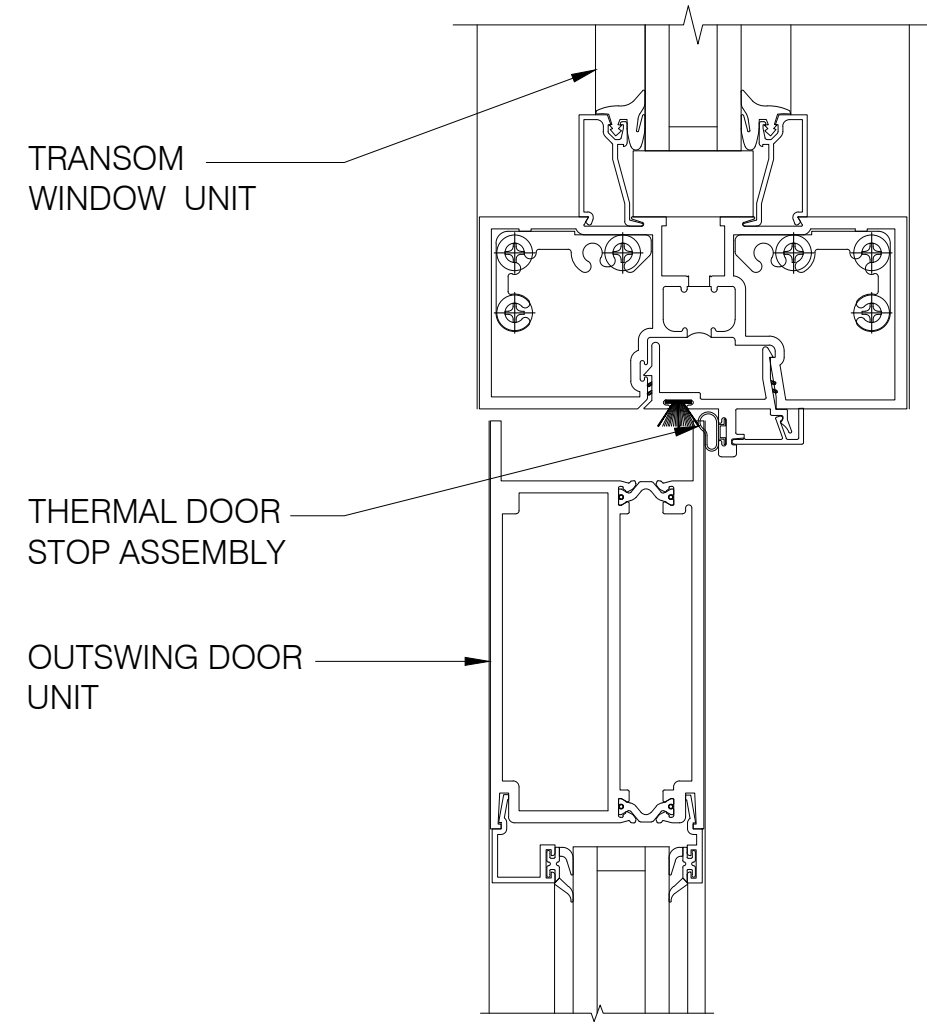
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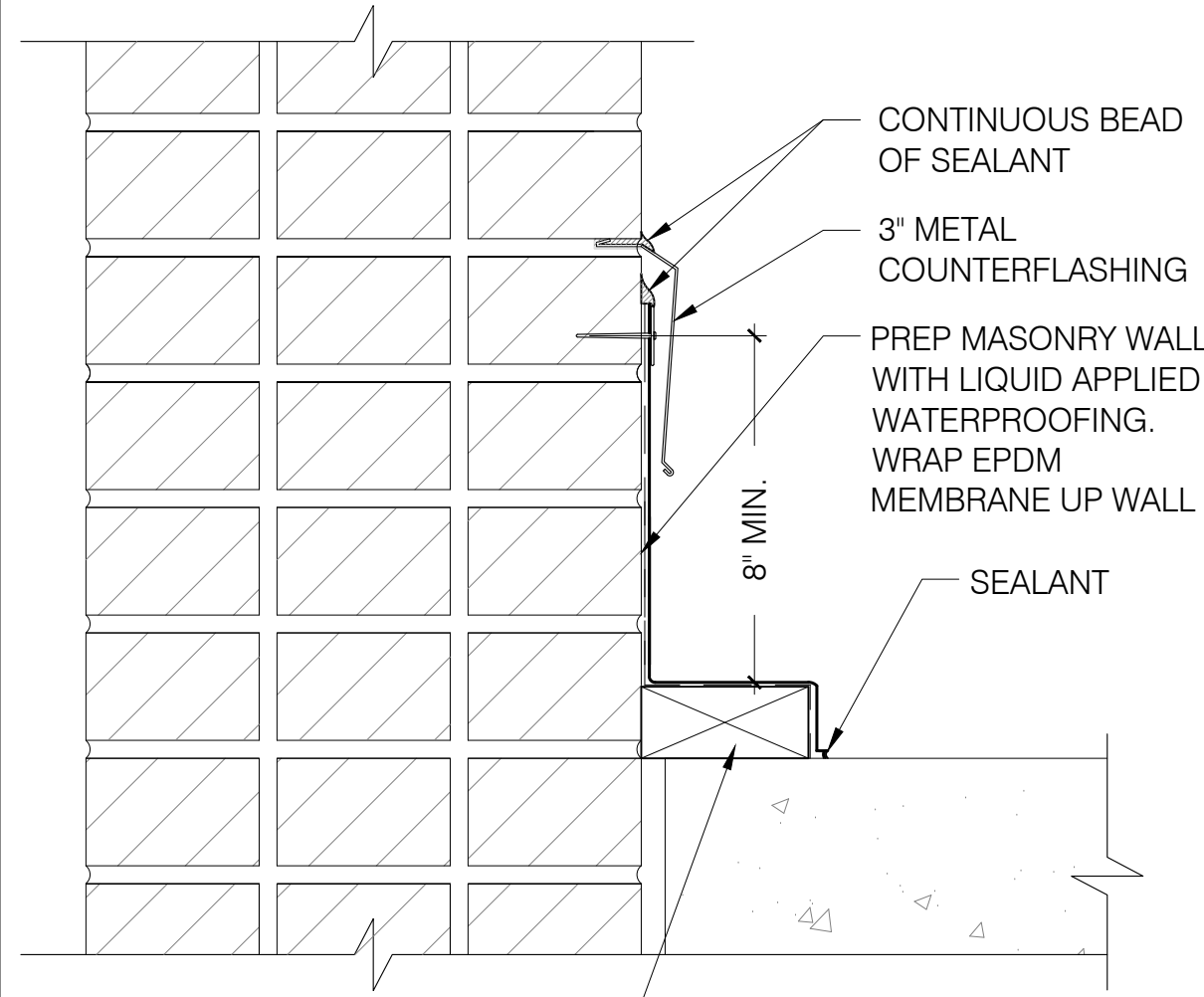
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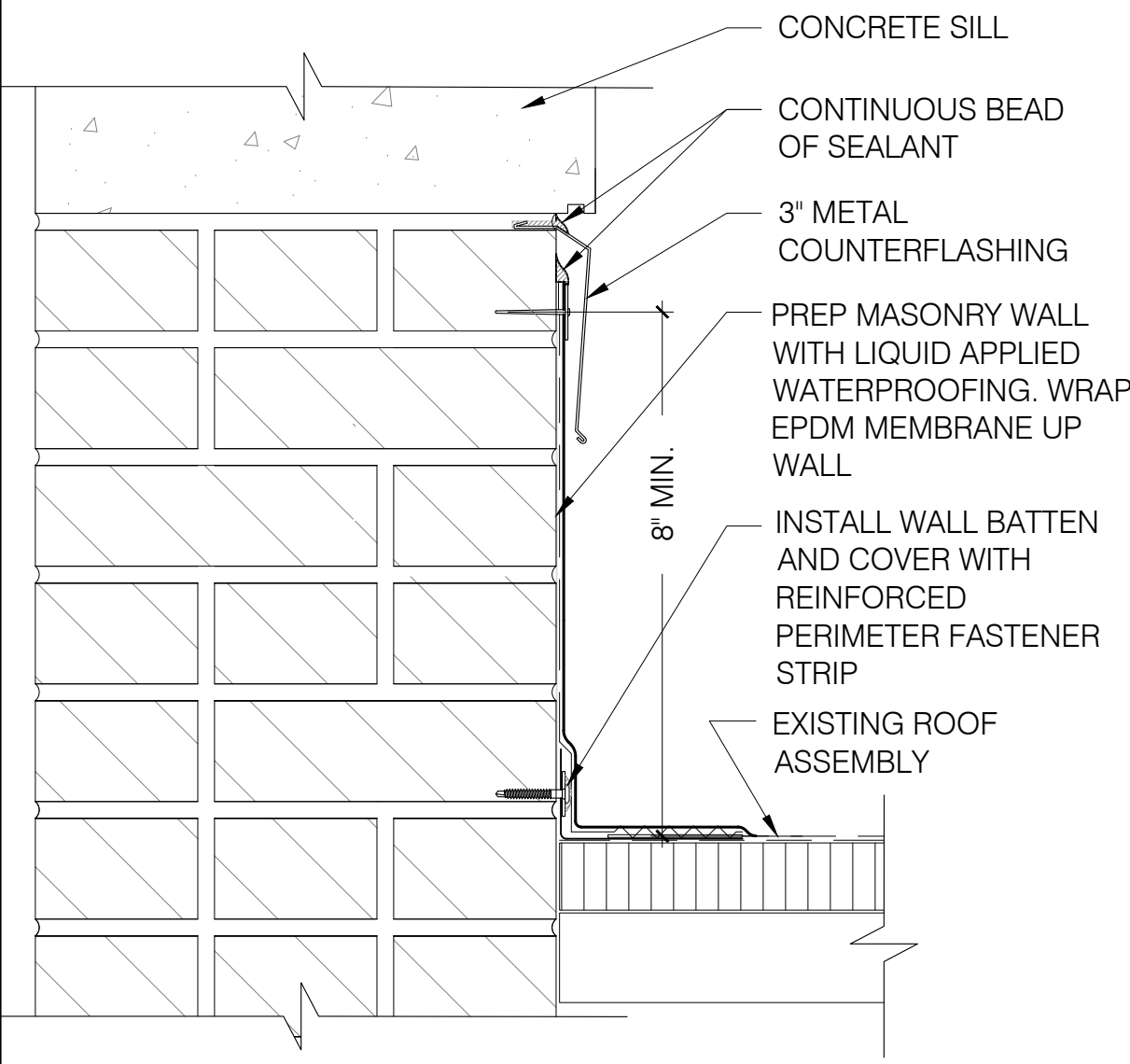
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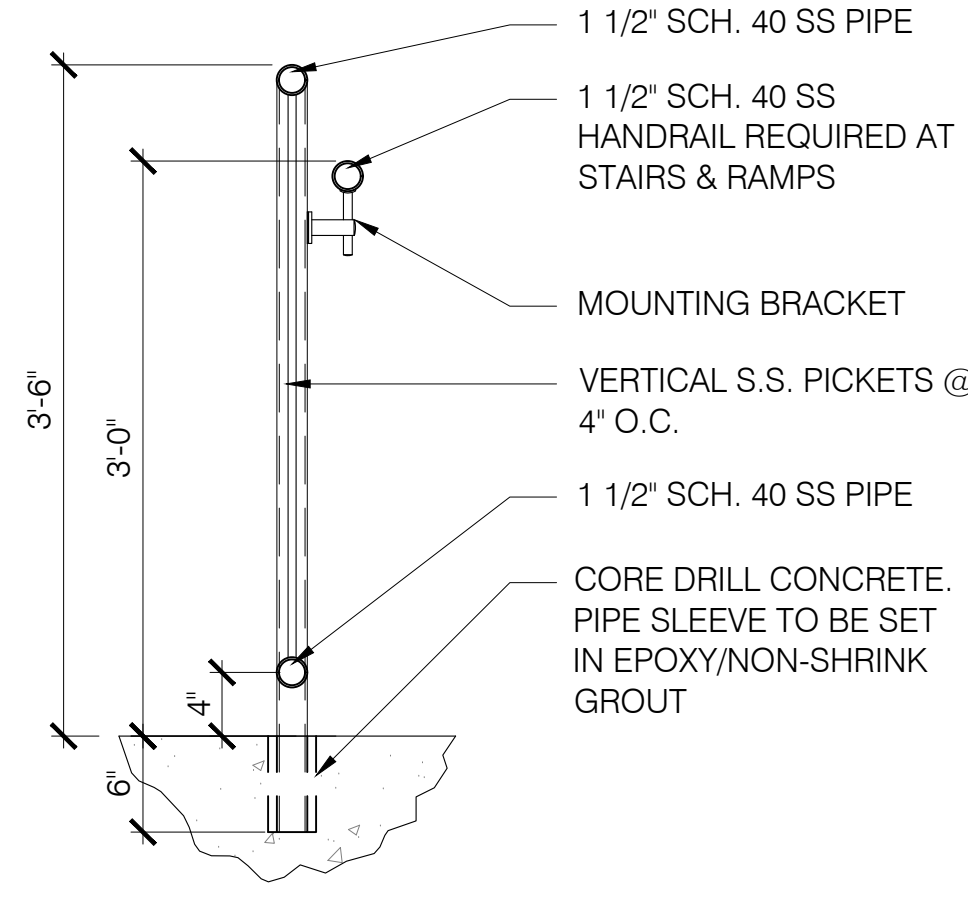
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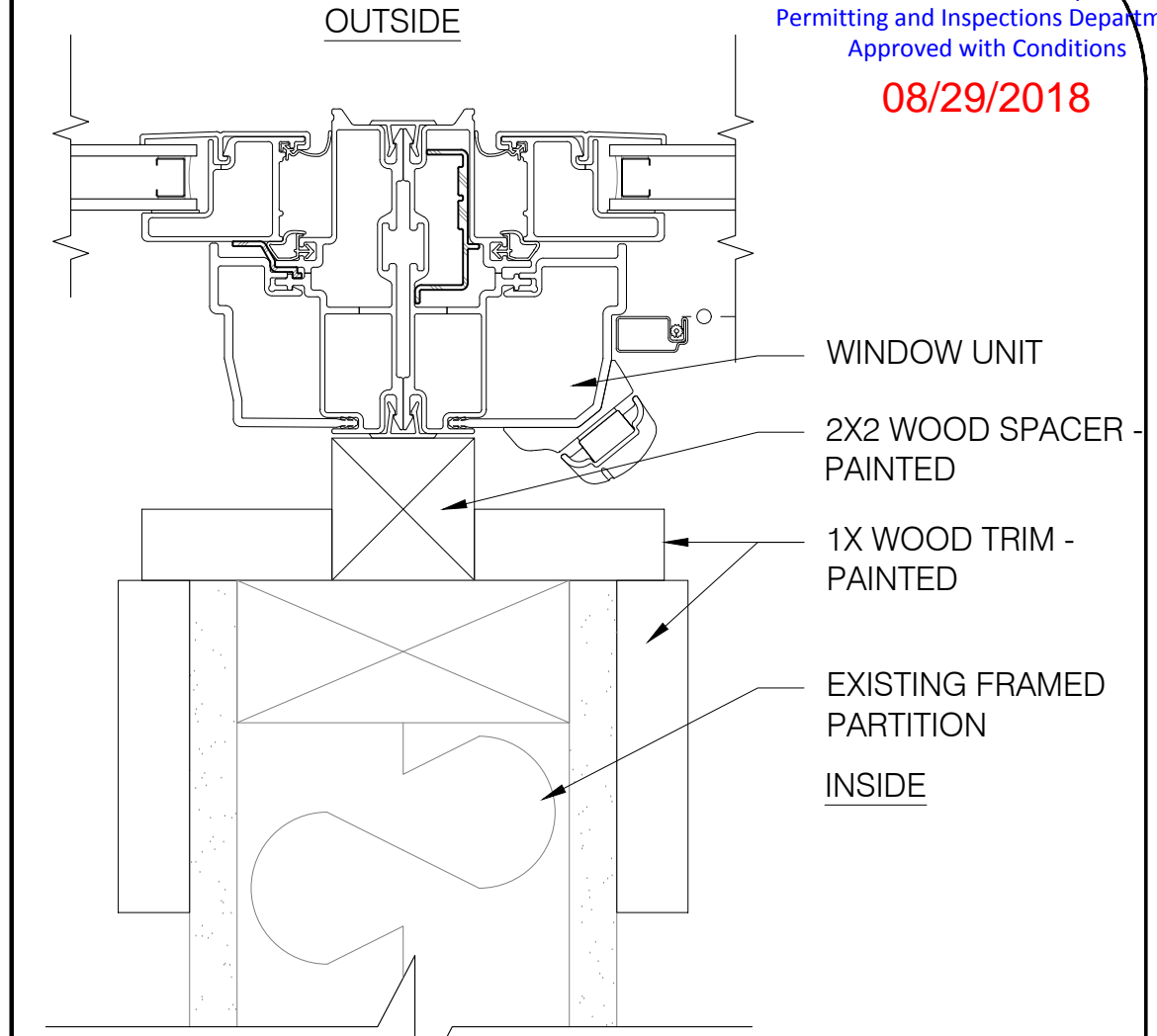
2 LOADING DOCK FLASHING  
SCALE: 3" = 1'-0"



3 ROOF FLASHING DETAIL  
SCALE: 3" = 1'-0"



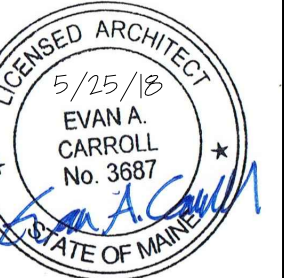
4 EXTERIOR RAILING  
SCALE: 1" = 1'-0"



5 TRIM @ VERT MULLION  
SCALE: 6" = 1'-0"

Reviewed for Code Compliance  
Permitting and Inspections Department  
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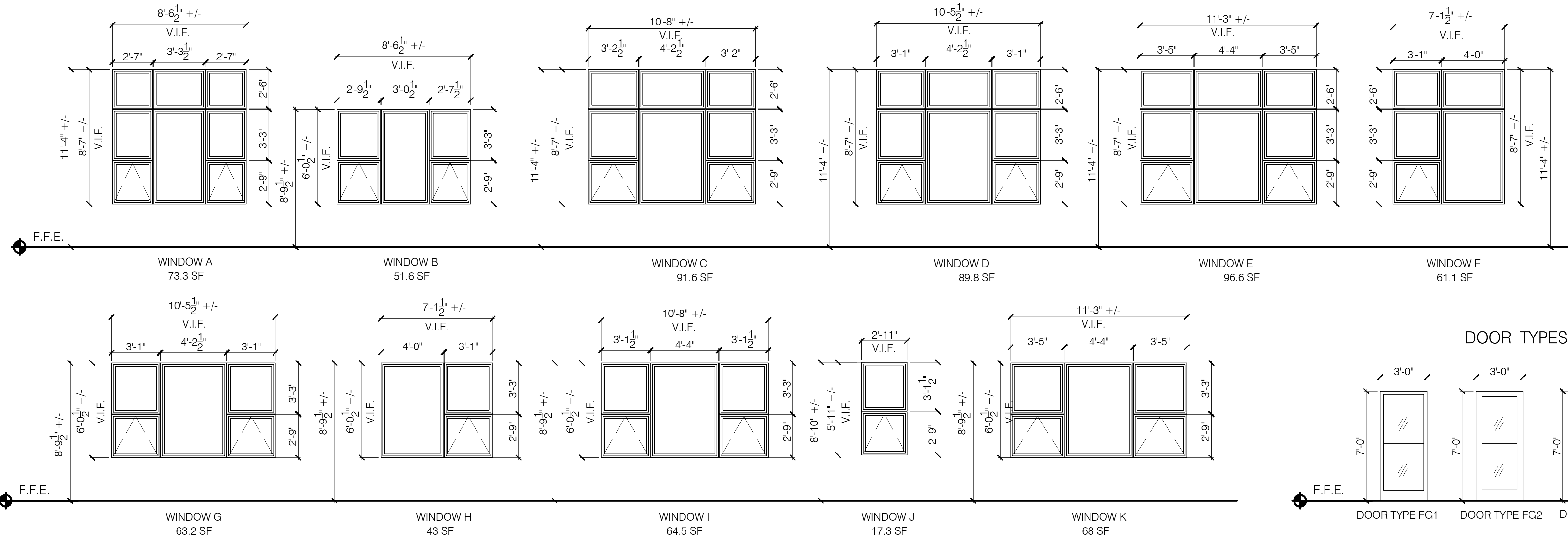
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**WINDOW SCHEDULE**

TYPE	SIZE	MATERIAL	OPERATION	FINISH	GLAZING	SHGC	MIN. U-FACTOR	HARDWARE FINISH	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	BASIS OF DESIGN PRODUCT	ALTERNATE #1 PRODUCT	NOTES
A	8'-6 1/2" X 8'-7"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 5, 6, 7, 8
B	8'-6 1/2" X 6'-0 1/2"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7
C	10'-8" X 8'-7"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7, 8
D	10'-5 1/2" X 8'-7"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7
E	11'-3" X 8'-7"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7
F	7'-1 1/2" X 8'-7"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7, 8
G	10'-5 1/2" X 6'-0 1/2"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7
H	7'-1 1/2" X 6'-0 1/2"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7
I	10'-8" X 6'-0 1/2"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7
J	2'-11" X 5'-11"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	2/A3.0	7/A3.0 & 8/A3.0	12/A3.0 & 13/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 4, 6, 7
K	11'-3" X 6'-0 1/2"	FIBERGLASS	FIXED/AWNING	BLACK	DOUBLE PANE, LOW-E, ARGON FILLED	0.4	0.45	BLACK	1/A3.0	6/A3.0 & 9/A3.0	11/A3.0 & 14/A3.0	PELLA IMPERVIA	MARVIN INTEGRITY	1, 2, 3, 4, 6, 7

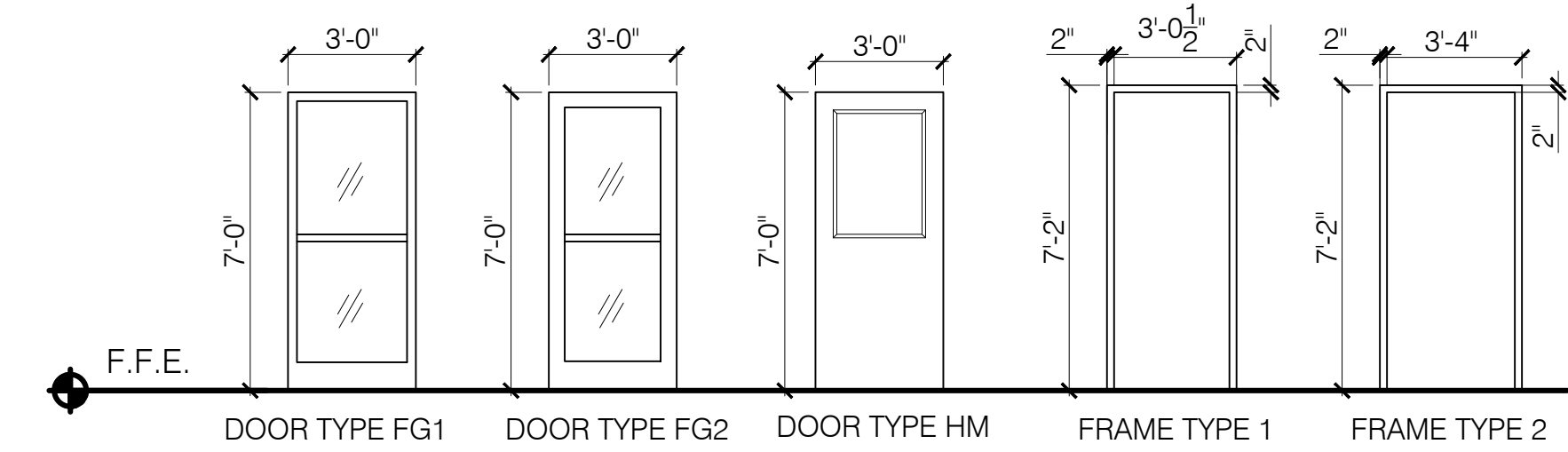
- NOTES:
- FACTORY MULLED UNIT.
  - WINDOW TO BE THERMALLY BROKEN.
  - SEE STRUCTURAL FOR LINTEL SIZING.
  - COORDINATE FINAL WINDOW SIZES WITH EXISTING ROUGH OPENINGS. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AND CONDITIONS PRIOR TO ORDERING REPLACEMENT WINDOWS.
  - PROVIDE INSULATED METAL WINDOW PANEL AT TRANSOM UNITS.
  - PROVIDE 4" OPERATION LIMITING DEVICES AT AWNING WINDOW UNITS.
  - PROVIDE 1/2" REINFORCEMENT MULLION AS REQUIRED.
  - SEE ELEVATIONS FOR LOCATIONS OF PROTECTED OPENINGS.

**WINDOW TYPES**



**DOOR TYPES**

**FRAME TYPES**



**DOOR SCHEDULE**

NO.	DOOR								FRAME			NOTES	
	LOCATION		SIZE (IN)			FIRE RATING	TYPE	MAT'L	FINISH	TYPE	MAT'L		FINISH
	FROM	TO	W	HT	THK								
10X	EXTERIOR	VESTIBULE	36"	7'-0"	1-3/4"	-	2	ALUM.	FACTORY	1, 2, 5			
11X	VESTIBULE	LOBBY	36"	7'-0"	1-3/4"	-	-	HM	FACTORY	1, 2, 3			
20X	CORRIDOR	EXTERIOR	32 1/2"	7'-0"	1-3/4"	-	1	ALUM.	FACTORY	1, 2, 3, 4, 6			
30X	CORRIDOR	EXTERIOR	32 1/2"	7'-0"	1-3/4"	-	1	ALUM.	FACTORY	1, 2, 4			

- NOTES:
- PROVIDE TEMPERED SAFETY GLAZING.
  - VERIFY EXISTING ROUGH OPENINGS DIMENSIONS IN FIELD.
  - INSTALL NEW DOOR IN EXISTING DOOR FRAME.
  - DOOR SHALL BE RATED FOR MODERATE TRAFFIC APPLICATIONS.
  - DOOR SHALL BE RATED FOR HIGH TRAFFIC APPLICATIONS.
  - PROVIDE TRANSOM WINDOW UNIT.

**DOOR HARDWARE SCHEDULE**

DOOR NO.	LOCATION		HARDWARE TYPE										NOTES	
	FROM	TO	WEATHER-STRIPPING	SILL SWEEP	PIVOT HINGES	PIANO HINGE	SURFACE CLOSER	THRESHOLD	OPERATING TRIM	EXIT DEVICE	ELECTRIC STRIKE	PUSH BUTTON CONTROL		KICKPLATE
10X	EXTERIOR	VESTIBULE	X	X		X	X	X	X	X				2
11X	VESTIBULE	LOBBY		X	X		X	X	X	X	X		X	1, 2
20X	CORRIDOR	EXTERIOR	X	X	X		X	X	X	X				1, 2, 3
30X	CORRIDOR	EXTERIOR	X	X	X		X	X	X	X				1, 2, 3

- NOTES:
- NEW ELECTRIC STRIKE TO BE WIRED AND FULLY INTEGRATED INTO EXISTING SECURITY SYSTEM.
  - REFER TO PROJECT MANUAL FOR DOOR HARDWARE SPECIFICATIONS.
  - REINSTALL AND RE-COMMISSION EXISTING FIRE ALARM/LIFE SAFETY DEVICES AT NEW DOOR.