

**X DEMOLITION KEY NOTES**

1. DEMO EXISTING WALL ASSEMBLY IN PREPARATION FOR NEW WINDOW OPENING INCLUDING, BUT NOT LIMITED TO, BRICK, GWB, FRAMING, INSULATION, ETC.
2. DEMO EXISTING WALL ASSEMBLY INCLUDING PANELING, FRAMING, GWB, INSULATION, WALL BASE/TRIM.
3. DEMO EXISTING DOOR, FRAME, AND HARDWARE.
4. REMOVE EXISTING WINDOW INCLUDING GLAZING, FRAME, AND TRIM.
5. EXISTING TILE FLOORING & UNDERLAYMENT TO BE REMOVED DOWN TO EXISTING FLOOR SHEATHING - TYPICAL.
6. DEMO EXISTING TRIM, CASINGS, AND SILLS - TYPICAL.
7. DEMO EXISTING WALL PANELING, CHAIR RAIL, AND WALL BASE - TYPICAL. CONTRACTOR TO NOTIFY ARCHITECT OF EXISTING WALL CONSTRUCTION BEHIND PANELING BEFORE CONTINUING WITH NEW CONSTRUCTION.
8. COMPLETELY REMOVE PAINT & CLEAN EXISTING BRICKWORK -

TYPICAL AT LOCATIONS OF FUTURE EXPOSED BRICKWORK. REFER TO FINISH SCHEDULE FOR LOCATION CLARIFICATION.

9. OWNER SHALL REMOVE FOOD STORAGE RACKS, FREEZER/REFRIGERATORS, MIXER, DELI MEAT SLICER, FREE STANDING FOOD PREP TABLES, AND DINING TABLES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF BUILT-IN SHELVING, PLUMBING FIXTURES, SERVING TABLES, DISHWASHING SINKS, RANGE, OVEN, AND DISHWASHER. REFER TO PLUMBING DWGS FOR ADDITIONAL REMOVALS AT EXISTING KITCHEN.
10. REMOVE EXISTING WALL BASE/BASEBOARD TRIM - TYPICAL THIS WALL.
11. DEMO EXISTING FLOOR DRAIN - TYPICAL. SEE PLUMBING DWGS FOR ADDITIONAL INFORMATION.
12. CORE DRILL EXTERIOR WALL IN PREPARATION FOR NEW MECHANICAL EQUIPMENT DUCTWORK AND PIPING. SEE MECHANICAL DWGS FOR ADDITIONAL INFORMATION.
13. EXISTING WINDOW TREATMENTS TO BE REMOVED - TYPICAL.

14. EXISTING STEAM RADIATOR TO BE REMOVED. SEE MECHANICAL DWGS FOR ADDITIONAL INFORMATION.

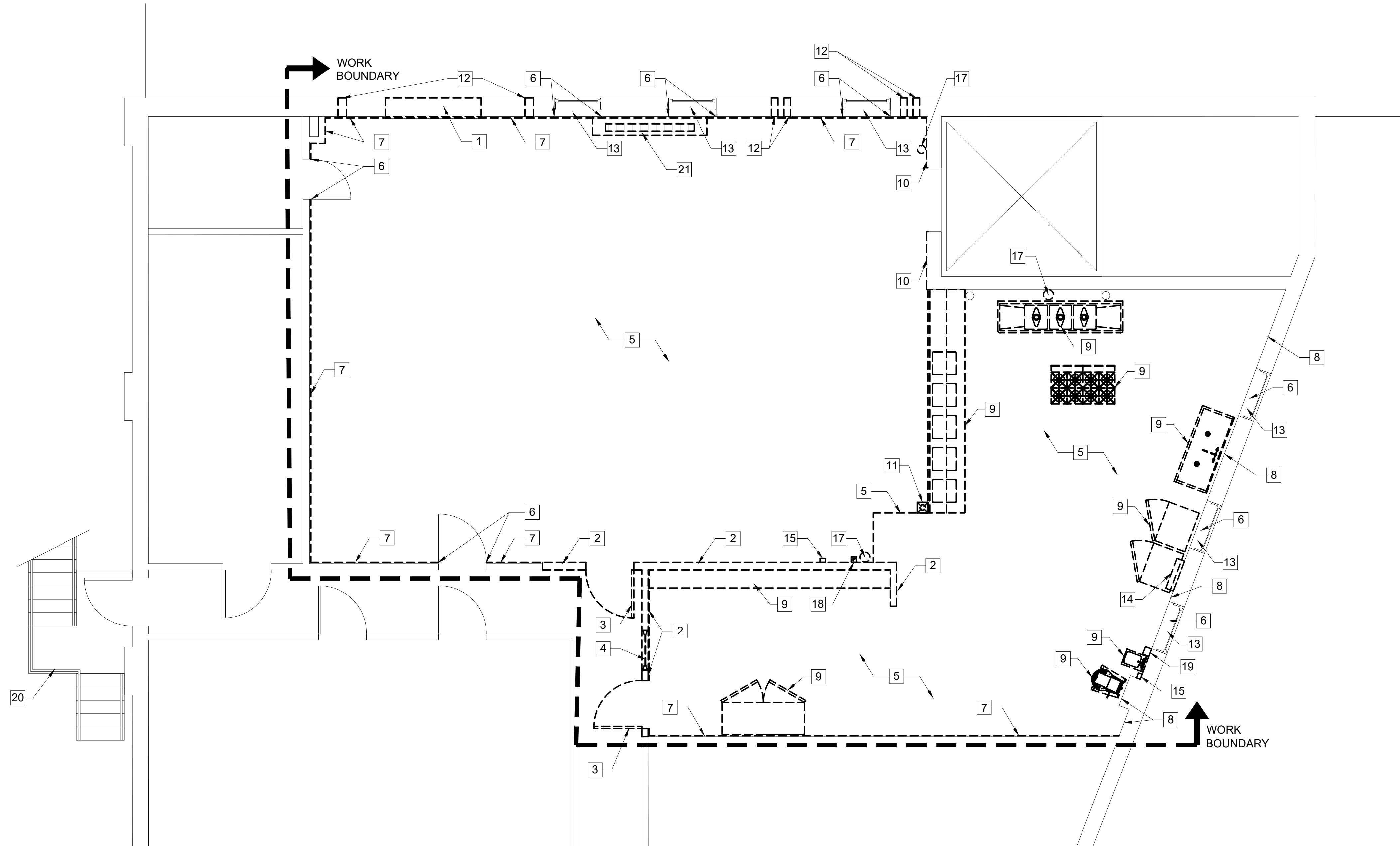
15. REMOVE EXISTING HAND SANITIZER DISPENSER - TYPICAL.
16. NOT USED.
17. REMOVE EXISTING FIRE EXTINGUISHER - TYPICAL.
18. REMOVE EXISTING PULL STATION. SEE ELECTRICAL DWGS FOR ADDITIONAL INFORMATION.
19. REMOVE PAPER TOWEL DISPENSER.
20. EXISTING FIRE ESCAPE TO REMAIN.
21. DEMO STEAM RADIATOR ENCLOSURE IN ITS ENTIRETY. EXISTING CAST IRON RADIATOR TO REMAIN.

**DEMOLITION GENERAL NOTES:**

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING

WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.

6. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
8. TEMPORARILY REMOVE EXISTING ACOUSTICAL CEILING TILES AND GRIDS AT LOCATIONS OF DUCTWORK AND PIPING RE-ROUTING. COORDINATE WITH MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS.
9. REFER TO MECHANICAL, ELECTRICAL, AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.



**SECOND FLOOR DEMO PLAN**  
SCALE: 1/4" = 1'-0"

REVISIONS

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