

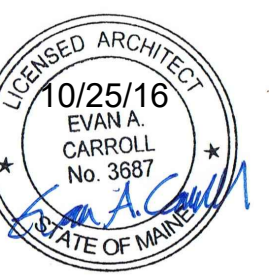
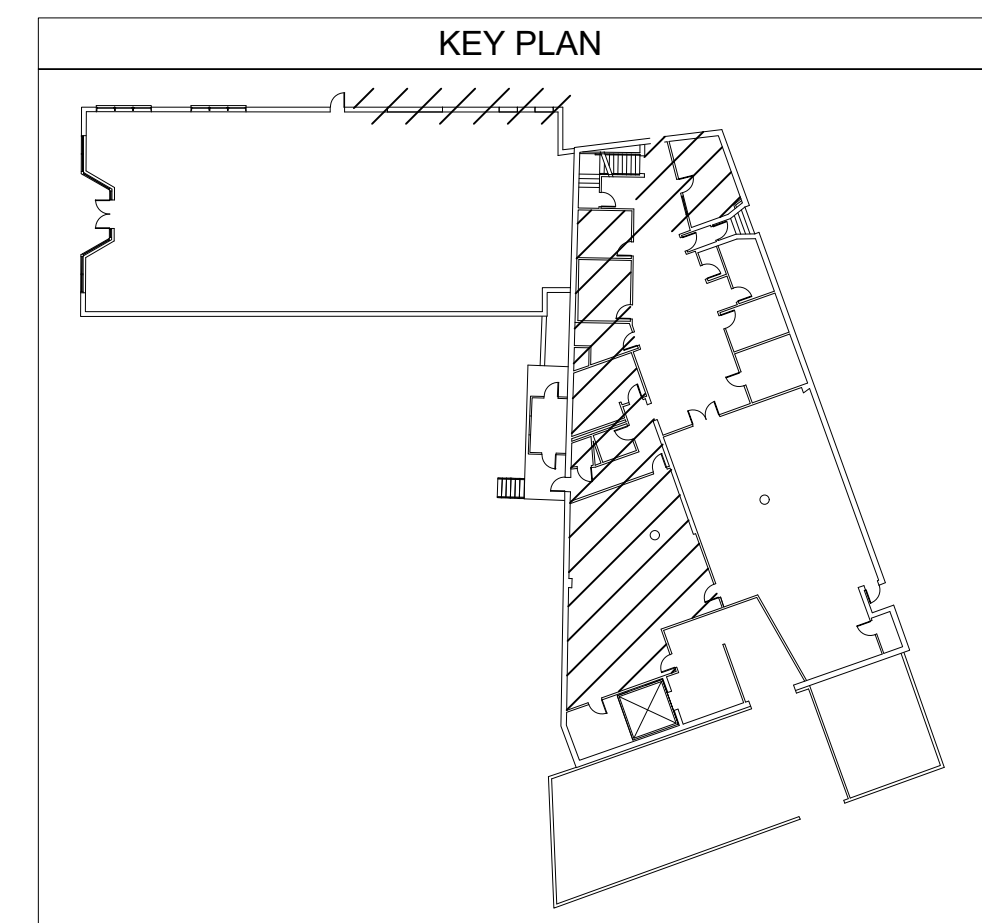
FIRST FLOOR DEMO PLAN
 SCALE: 1/8" = 1'-0"
 0 8'-0"

DEMOLITION GENERAL NOTES:

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
6. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
8. TEMPORARILY REMOVE EXISTING ACOUSTICAL CEILING TILES AND GRIDS AT LOCATIONS OF DUCTWORK AND PIPING RE-ROUTING. COORDINATE WITH MECHANICAL AND PLUMBING DRAWINGS FOR LOCATIONS.
9. REFER TO MECHANICAL, ELECTRICAL, AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.

DEMOLITION KEY NOTES

1. REMOVE EXISTING WINDOW, FLASHINGS, BOND BEAM/CONCRETE LINTEL, AND CONCRETE SILL AT THRIFT STORE. PREP WALL OPENING FOR NEW CMU INFILL.
2. DEMO WALL ASSEMBLY TO ACCOMMODATE NEW CONSTRUCTION.
3. SELECTIVELY REMOVE FASCIA AND COPING AT THRIFT STORE ROOF EDGE TO ACCOMMODATE NEW CONSTRUCTION.
4. REMOVE EXISTING FIRE ESCAPE TO ACCOMMODATE NEW CONSTRUCTION.
5. NOT USED.
6. COMPLETELY REMOVE STORAGE CLOSET INCLUDING BUT NOT LIMITED TO DOORS, HARDWARE, PANELING, SHELVING, ROOF.
7. REMOVE EXISTING LOUVER AND RE-ROUTE DUCTWORK. REFER TO MECHANICAL DWGS FOR FULL SCOPE.
8. RELOCATE EXISTING HOT WATER HEATER VENT LINES. REFER TO MECHANICAL DWGS FOR FULL SCOPE.
9. REMOVE ALL ACOUSTICAL CEILING TILES IN ROOMS/SPACES REQUIRING FACILITATED ACCESS TO OVERHEAD PIPING. CEILING TILES ARE TO BE REPLACED IN THESE AREAS. EXISTING SUSPENDED GRID, LIGHTING, DIFFUSERS, AND CEILING MOUNTED DEVICES TO REMAIN. COORDINATE LOCATIONS WITH MECHANICAL SCOPE.



REVISIONS	NO.	DESCRIPTION
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2	-	-
3	-	-
4	-	-
5	-	-