

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BU ILDING INSPECTION

## PERMIT

## PERMIT ISSUED

Please Read Application And Notes, if Any, Attached

This is to certify that Salvation Army The/Benchmark  
has permission to Renovations to 2nd and 3rd floor bathroom  
AT 88 Preble St City of Portland 033 D011001

SEP 22 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. Capt. R. Howard  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*James Burke* 9/20/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1055	Issue Date:	CBL: 033 D011001
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Location of Construction: 88 Preble St	Owner Name: Salvation Army The	Owner Address: 88 Preble St	Phone: 508-758-4088
Business Name: Salvation Army Adult Rehab Center	Contractor Name: Benchmark	Contractor Address: 34 Thomas Dr. Westbrook	Phone: 2075917600
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	Zone: B-2b

Past Use: Comeercial / Salvation Army Adult Rehab Center	Proposed Use: Commecial / Renovations to 2nd and 3rd floor bathrooms.	Permit Fee: \$1,120.00	Cost of Work: \$110,000.00	CEO District: 1
Proposed Project Description: Renovations to 2nd and 3rd floor bathrooms.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: R-2 Type: 3B IBL-2003 Signature: AMB 9/20/10	
		Signature: <i>(Signature)</i>	Signature: <i>(Signature)</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 08/26/2010	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED**

SEP 22 2010

City of Portland

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/30/10</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1055	Date Applied For: 08/26/2010	CBL: 033 D011001
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Location of Construction: 88 Preble St	Owner Name: Salvation Army The	Owner Address: 88 Preble St	Phone: 508-758-4088
Business Name: Salvation Army Adult Rehab Center	Contractor Name: Benchmark	Contractor Address: 34 Thomas Dr. Westbrook	Phone: (207) 591-7600
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Commercial	

Proposed Use: Commeccial / Renovations to 2nd and 3rd floor bathrooms.	Proposed Project Description: Renovations to 2nd and 3rd floor bathrooms.
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Marge Schmuckal      Approval Date: 08/30/2010  
 Note: Ok to Issue:

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a Men's Social Service Center: 1st floor is for storage, retail store and offices; 2nd floor is a men's dormitory; 3rd floor is a workshop. Any change of use shall require a separate permit application for review and approval.

Dept: Building      Status: Approved with Conditions      Reviewer: Jeanine Bourke      Approval Date: 09/20/2010  
 Note: Ok to Issue:

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire      Status: Approved with Conditions      Reviewer: Capt Keith Gautreau      Approval Date: 09/09/2010  
 Note: Ok to Issue:

- 1) Any construction on other parts of the building (i.e. Egress, common rooms, etc.) would require separate permits.
- 2) This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require ammendments and approval.

**Comments:**

8/27/2010-gg: pdf file entered in the system. /gg

**PERMIT ISSUED**

SEP 22 2010

City of Portland

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY)**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

Check 06 2910

Received from Ben of Rick

Location of Work 11 Maple St

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: \_\_\_\_\_

Building (B)  Plumbing (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (127) \_\_\_\_\_

Other off

CSI: 033 0

Check #: 56539 Total Collected: 1,120.00

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

10 1055



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>88 Preble Street Portland ME 04101</u>		
Total Square Footage of Proposed Structure <u>Existing</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>033      D      011</u>	Owner: <u>Salvation Army</u>	Telephone: <u>1-508-758-4088</u>
Lessee/Buyer's Name (If Applicable) <u>Same as Owner</u>	Applicant name, address & telephone: <u>Benchmark      207-591-7600</u> <u>34 Thomas Drive</u> <u>Westbrook ME 04092</u>	Cost Of Work: \$ <u>110,000.</u> Fee: \$ <u>1,200.00</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Salvation Army Adult Rehab Center</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Same</u>		
Is property part of a subdivision? <u>Not known</u> If yes, please name _____		
Project description: <u>Renovations to 2nd &amp; 3d Floor bathrooms</u>		
Contractor's name, address & telephone: <u>Benchmark 34 Thomas Dr. Westbrook ME 04092</u>		
Who should we contact when the permit is ready: <u>Richard Egan xx call</u>		
Mailing address: _____ Phone: <u>207-591-7600</u>		
<p><b>RECEIVED</b></p> <p>AUG 26 2010</p> <p>Dept. of Building Inspections City of Portland, Maine</p>		

RECEIVED PP 8 66

will pick up

Please submit all of the information mentioned in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8-25-10</u>
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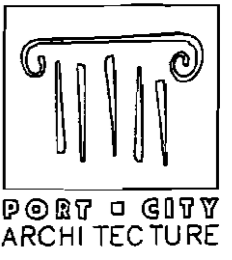
This is not a permit; you may not commence ANY work until the permit is issued.

# SALVATION ARMY BATHROOM RENOVATIONS

88 PREBLE STREET  
PORTLAND MAINE  
JUNE 15, 2010

## TYPICAL ABBREVIATIONS

A	AND	DWG	DRAWING	IBC	INSTALL BY CONTRACTOR	SAT	SUSPENDED ACOUSTICAL TILE
ANG	ANGLE	E	EAST	IN	INCHES	SCHED	SCHEDULE
AT	AT	EA	EACH	INSUL	INSULATION	SD	STORM DRAIN
ADA	AMERICAN DISABILITIES ACT	EJ	EXPANSION JOINT	INT	INTERIOR	SECT	SECTION
ADJ	ADJACENT OR ADJACENT	ELEC	ELECTRIC	JT	JOINT	SF	SQUARE FEET
AF	ABOVE FINISH FLOOR	ELEV	ELEVATION	LAM	LAMINATED	SH	SHIELD
ALUM	ALUMINUM	EMP	EMPLOYEE	LB	POUNDS	SP	SHELL PACKAGE
ARCH	ARCHITECT OR ARCHITECTURAL	ENCL	ENCLOSE	LF	LINEAR FEET	SPEC	SPECIFICATIONS
AVG	AVERAGE	ENT	ENTRY or ENTRANCE	LL	LIVE LOAD	SS	STAINLESS STEEL
BD	BOARD	EQ	EQUAL	LWC	LIGHT WEIGHT CONCRETE	SQ	SQUARE
BLDG	BUILDING	EQUIP	EQUIPMENT	MAX	MAXIMUM	STD	STANDARD
BLKS	BLOCKING	ESC	ELECTRIC WATER COOLER	MCH	MECHANICAL	STL	STEEL
BY	BEAM	EXH	EXHAUST	MFG	MANUFACTURE	STRUC	STRUCTURAL
BO	BOTTOM OF	EXIST	EXISTING	MH	MAN HOLE	SUSP	SUSPENDED
CL	CENTER LINE	EXP	EXPANSION	ML	MILLIMETER	SYM	SYMMETRICAL
CAB	CABINET	EXT	EXTENSION	MM	MILIMETER	T	THERMOSTAT
CLG	CEILING	EXT	EXTERIOR	MBS	MAIN SWITCH BOARD	T/B	TOP AND BOTTOM
CLR	CLEAR	FBO	FURNISHED BY OTHER	MTD	MOUNTED	TEL	TELEPHONE
CMU	CONCRETE MASONRY UNIT	FDN	FOUNDATION	MTL	METAL	TGL	TEMPERED GLASS
CNTR	COUNTER	FF	FINISH FLOOR	MU	MICROMETER	THICK	THICKNESS
COL	COLUMN	FEE	FINISH FLOOR ELEVATION	N	NORTH	T	TREAT IMPROVEMENTS
CONC	CONCRETE	FN	FINISH	N/A	NOT APPLICABLE	T/O	TOP OF
CONT	CONTINUOUS	FXT	FIXTURE	NAT	NATURAL	TOJ	TOP OF JOIST
COORD	COORDINATE	FLS	FLOORING	NC	NOT IN CONTRACT	TOS	TOP OF STEEL
COR	CORNER	FLR	FLOOR	NPSR	NIPSEER	TYP	TYPICAL
CPT	CARPET	FLUR	FLUORESCENT	NBS	NOT TO SCALE	UL	UNDERLIES LABORATORIES, INC
CU	COLD WATER	FT	FOOT or FEET	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
DEL	DOUBLE	GA	GALVE	OH	OVER HEAD	VB	VINYL BASE
DEG	DEGREE	GALV	GALVANIZED	PAR	PARALLEL	VCT	VERTICAL
DHW	DOMESTIC HOT WATER	GC	GENERAL CONTRACTOR	PC	PRECAST CONCRETE	VERT	VERTICAL
DIA	DIAMETER	GL	GLASS	PREP	PREPARED	VP	VERIFY IN FIELD
DM	DIMENSION	GBS	GYPSONUM WALL BOARD	PERP	PERPENDICULAR	W	WIDE or WEST
DN	DOWN	HGT	HEIGHT	FL	FLATE	ED	GOOD
DR	DOOR	HM	HOLLOW METAL	F-LAM	FLASTIC LAMINATE	EC	ELECTRIC COOLER
DS	DOOR SPOUT	HORIZ	HORIZONTAL	FLG	FLASTER	W	WITH
HR	HOUR	HR	HOUR	FLGS	FLASTERING	W/O	WITHOUT
DB	DEB	DB	DEB	S	SOUTH	X	CROSSING
		HVAC	HEAT VENTILATE & AIR CONDITION				



PORT CITY  
ARCHITECTURE  
85 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE

## LEGEND

- DETAIL NUMBER
- SHEET WHERE DETAIL IS DRAWN
- SHEET WHERE DETAIL IS TAKEN
- INDICATES BUILDING SECTION OR BUILDING ELEVATION
- BUILDING SECTION LETTER
- SHEET WHERE BUILDING SECTION IS DRAWN
- SHEET WHERE BUILDING SECTION IS TAKEN
- INTERIOR ELEVATION NUMBER
- SHEET WHERE ELEVATION IS DRAWN
- LEFT OF WORK
- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- WALL
- ELEVATOR LOBBY
- ROOM NAME AND NUMBER
- KEY NOTE
- DOOR NUMBER
- COLUMN GRID LINE
- ELEVATION TARGET
- BALL TYPE
- WINDOW TYPE

## GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL, AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE SALVATION ARMY SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWINGS ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTINGENT UPON FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USER OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COULD LEAD TO MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL DOOR HANDLES TO BE ADA COMPLIANT LEVER HANDLES.
14. COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT WITH ARCHITECTURAL FEATURES.

## RENOVATION GENERAL NOTES

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION JOBS, CRACKS OR OTHER STRUCTURAL REPAIRS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL, ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN.
4. WHERE REPAIRS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED GRID AREAS WHERE WALLS ARE REMOVED, FLOOR FINISH, ETC. TO MATCH EXISTING ADJACENT SURFACES). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SANDS LINES.
5. WHERE NEW WALLS OR PARTS ABOUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
6. ALL KNOWN HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAFE IMPLEMENT OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
8. REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.

## CONTACTS

**ARCHITECT:**  
PORT CITY ARCHITECTURE  
JOAN CHARITTE  
88 NEWBURY STREET  
PORTLAND, ME 04101  
207-761-9000

**OWNER:**  
MARK EITER  
HCE CONSULTING  
10 PARSON ROAD, PO BOX 363  
MATTAPAN, MA 02726  
508-756-4888

**OWNER:**  
THE SALVATION ARMY ARC COMMAND  
489 WEST NYACK ROAD  
WEST NYACK, NY 10994

## LIST OF DRAWINGS

T-1	TITLE SHEET
D11	SECOND FLOOR DEMO PLAN
D12	THIRD FLOOR BATH DEMO PLAN
D21	SECOND FLOOR DEMO ELEV.
D22	THIRD FLOOR DEMO ELEV.
A11	SECOND FLOOR PLAN
A12	THIRD FLOOR PLAN
A21	SECOND FLOOR ELEVATIONS
A22	SECOND FLOOR ELEVATIONS
A31	THIRD FLOOR ELEVATIONS
A32	THIRD FLOOR ELEVATIONS
A41	DETAILS
A42	DETAILS

## CODE INFORMATION

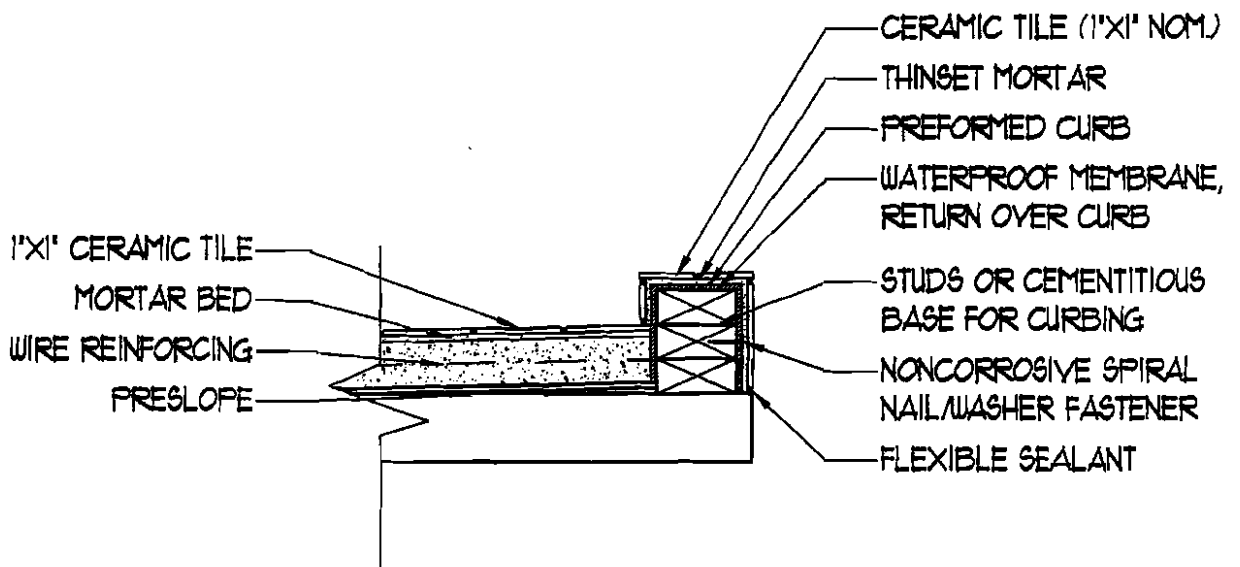
SECOND FLOOR BATH - ASSUMED 60 PPL. ALL MALE			
	IDENTIFIED	NEBADA	CODE
TOILETS	5/0	5/0	3
URINALS	5/0	5/0	1
LAVATORY	5/0	5/0	1
SHOWERS	6/0	6/0	5

THIRD FLOOR BATH - ASSUMED 60 PPL. ALL MALE			
	IDENTIFIED	NEBADA	CODE
TOILETS	5/0	5/0	3
URINALS	5/0	5/0	1
LAVATORY	5/0	5/0	1
SHOWERS	5/0	4/1	4

NOTE: CODE CALCULATIONS BASED ON MAINE PLUMBING CODE FOR 'DOMESTIC'. WILL NEED APPROVAL FOR ALL MALE OCCUPANCY.

NOT FOR CONSTRUCTION

Date Issued	6-15-10
Project Number	10107
Drawing Scale	N/A
SHEET NAME	
TITLE SHEET	
Drawn By	JAP
Checked By	JCC
T-11	



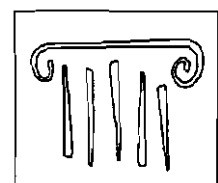
20

## TYPICAL PREFORMED CURB

0 8'

SCALE: 1 1/2" = 1'-0"





PORT CITY ARCHITECTURE

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE

Date Issued 6-5-10

Project Number 10071

Drawing Scale 1/2"=1'

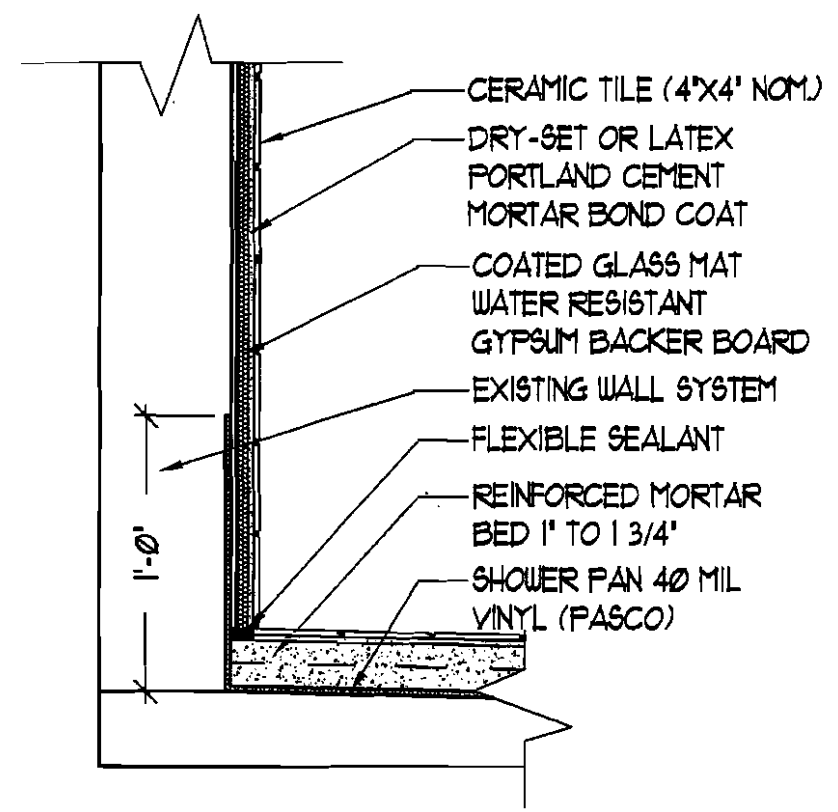
SHEET NAME  
DETAILS

Drawn By  
JAP

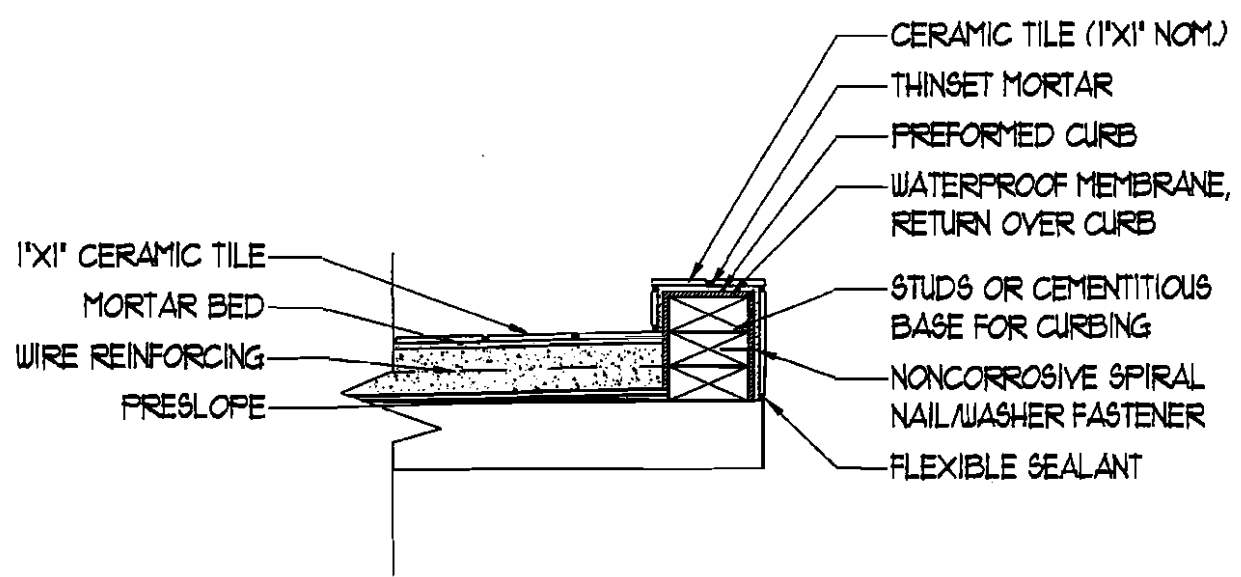
Checked By  
JCC

A-4.2

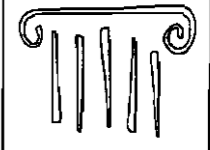
NOT FOR CONSTRUCTION



10 SHOWER BASE B420  
SCALE: 1/2" = 1'-0"



20 TYPICAL PREFORMED CURB  
SCALE: 1/2" = 1'-0"



PORT CITY ARCHITECTURE

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fax: 207.761.2010  
info@portcityarch.com

SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE

Date Issued 6-8-10

Project Number 10071

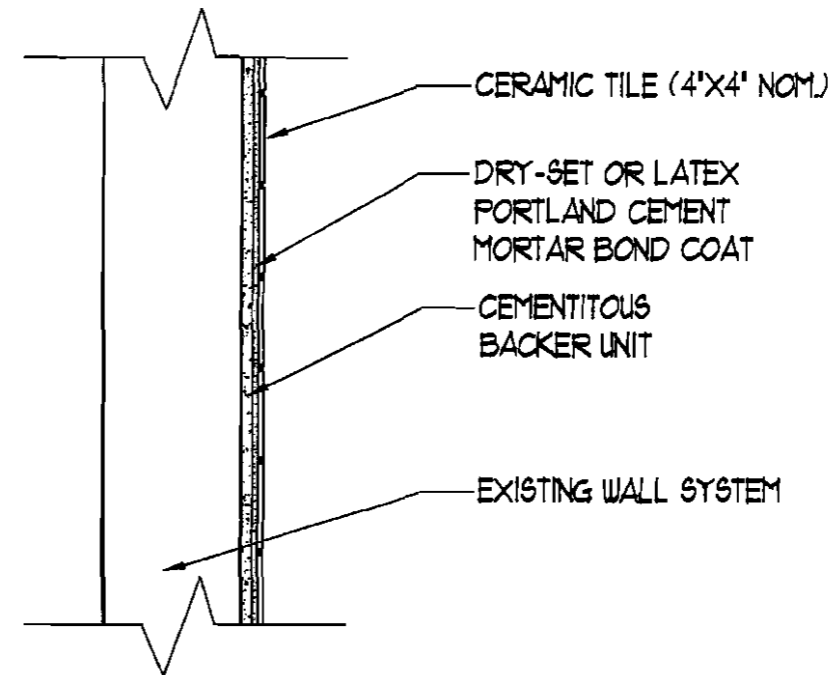
Drawing Scale 1/2" = 1'-0"

SHEET NAME  
DETAILS

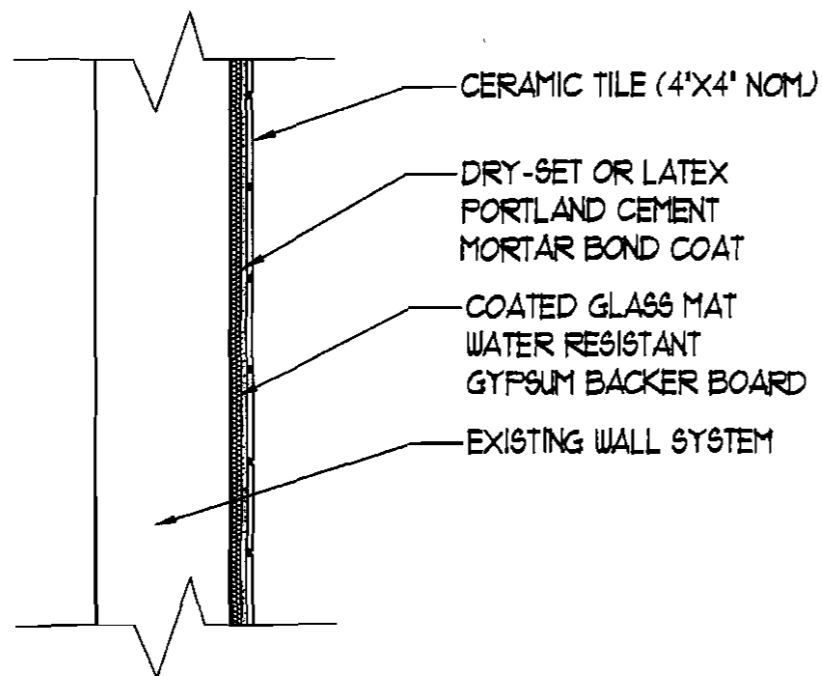
Drawn By  
JAP  
Checked By  
JCC

A-4.1

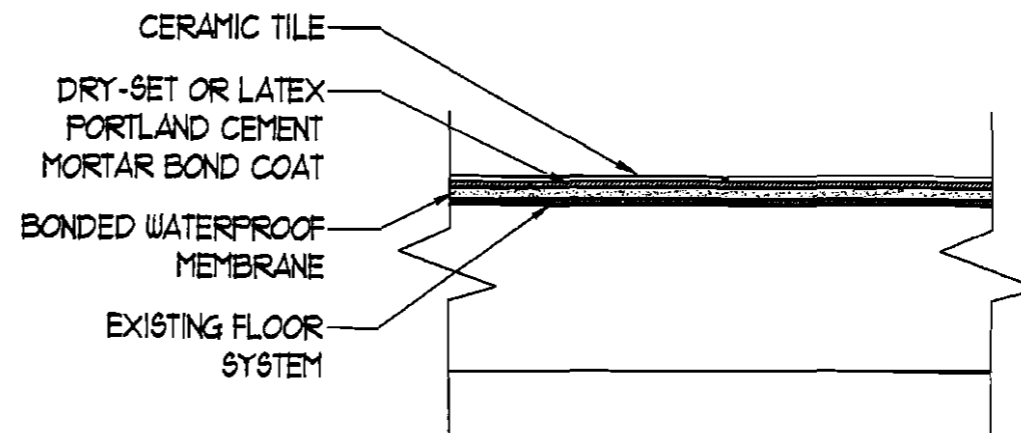
NOT FOR CONSTRUCTION



11 TYPICAL WALL W244  
SCALE: 1/2" = 1'-0"



20 SHOWER WALL W245  
SCALE: 1/2" = 1'-0"



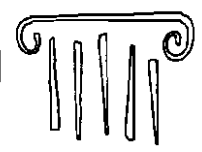
10 TYPICAL FLOOR F102-07  
SCALE: 1/2" = 1'-0"

# SALVATION ARMY BATHROOM RENOVATIONS

88 PREBLE STREET  
PORTLAND MAINE  
JUNE 15, 2010

## TYPICAL ABBREVIATIONS















A	AND	DWG	DRAWING	EC	METAL BY CONTRACTOR	SAT	SUSPENDED ACoustICAL TILE
ANG	ANGLE	E	EAST	IN	INCHES	SCHED	SCHEDULE
AT	AT	EA	EACH	INT	INTERIOR	SD	STORM DRAIN
ADA	AMERICAN DISABLED ACT	EJ	EXPANSION JOINT	JT	JOINT	SECT	SECTION
ADJ	ADJACENT OR ADJACENT	ELEC	ELECTRIC	LAM	LAMINATED	SF	SQUARE FEET
AF	ABOVE FINISH FLOOR	ELEV	ELEVATION	LB	POUNDS	SM	SHIMLAR
ALUM	ALUMINUM	EMP	EMPLOYEE	LF	LINEAR FEET	SP	SHELL PACKAGE
ARCH	ARCHITECT OR ARCHITECTURAL	ENCL	ENCLOSE	LE	LIVE LOAD	SPEC	SPECIFICATIONS
AVG	AVERAGE	ENT	ENTRY or ENTRANCE	LL	LIGHT WEIGHT CONCRETE	SS	STAINLESS STEEL
BD	BOARD	EQ	EQUAL	LRC	LIGHT WEIGHT CONCRETE	SQ	SQUARE
BLDG	BUILDING	EQUIP	EQUIPMENT	MAX	MAXIMUM	STD	STANDARD
BLKS	BLOCKING	EW	ELECTRIC WATER COOLER	MECH	MECHANICAL	STL	STEEL
BT	BEAM	EXH	EXHAUST	MFG	MANUFACTURE	STRUC	STRUCTURAL
BO	BOTTOM OF	EXST	EXISTING	HL	HILLMASTER	STYP	STYPED
C	CENTER LINE	EX X	or X	FIN	FINISH	SYM	SYMMETRICAL
CAB	CABINET	EXP	EXPANSION	HSB	HIGH SWITCH BOARD	T	THERMOSTAT
CLS	CEILING	EXT	EXTERIOR	HTD	HEATED	T + B	TOP AND BOTTOM
CLR	CLEAR	FBO	FURNISHED BY OWNER	HTL	HUNG	TEL	TELEPHONE
CMU	CONCRETE MASONRY UNIT	FDN	FOUNDATION	MIL	METAL	TBL	TEMPERED GLASS
CNTN	COUNTER	FF	FINISH FLOOR	MS	MICROWAVE	THCK	THICKNESS
COL	COLUMN	FEE	FINISH FLOOR ELEVATION	N	NORTH	TI	TILE IMPROVEMENTS
CONC	CONCRETE	FIN	FINISH	NA	NOT APPLICABLE	T.O.	TOP OF
CONT	CONTINUOUS	FOOT	FOOT or FEET	NAT	NATURAL	TOJ	TOP OF JOINT
COORD	COORDINATE	FLG	FLOORING	NC	NOT IN CONTRACT	TOS	TOP OF STEEL
COR	CORNER	FLR	FLOOR	N	NUMBER	TYP	TYPICAL
CPT	CARPET	FLUOR	FLUORESCENT	NTS	NOT TO SCALE	UL	UNDERWRITERS LABORATORIES, INC
CH	COLD WATER	FT	FOOT or FEET	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
DBL	DOUBLE	GA	GALVE	OH	OVER HEAD	VS	VINYL SHEET
DBS	DESIRE	GALV	GALVANIZED	PAR	PARALLEL	VCT	VERTICAL
DHS	DOMESTIC HOT WATER	GC	GENERAL CONTRACTOR	PC	PREFABRICATION CONCRETE	VERT	VERTICAL
DA	DIAMETER	GL	GLASS	PERF	PREFABRICATION	VP	VEED IN FIELD
DHT	DIMENSION	GWB	GYPSONUM WALL BOARD	PERP	PERPENDICULAR	W	WIDE or WEST
DN	DOWN	HST	HEIGHT	PL	PLATE	W	WOOD
DR	DOOR	HM	HOLLOW METAL	P-LAM	PLASTIC LAMINATE	WC	WATER COOLER
DS	DOWN SPOUT	HORIZ	HORIZONTAL	PLAS	PLASTER	W	WITH
DW	DRAIN SINKER	HR	HOUR	PLBS	PLUMBING	W	WITH
		HVAC	HEAT VENTILATE & AIR CONDITION	S	SOUTH	X	EXISTING



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**SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE**

## LEGEND

-  DETAIL NUMBER
-  SHEET WHERE DETAIL IS DRAWN
-  SHEET WHERE DETAIL IS TAKEN
-  INDICATES BUILDING SECTION OR BUILDING ELEVATION
-  BUILDING SECTION LETTER
-  SHEET WHERE BUILDING SECTION IS DRAWN
-  SHEET WHERE BUILDING SECTION IS TAKEN
-  INTERIOR ELEVATION NUMBER
-  SHEET WHERE ELEVATION IS DRAWN
-  LIMIT OF WORK
-  EXISTING WALL TO BE REMOVED
-  WALL
-  ROOM NAME AND NUMBER
-  KEY NOTE
-  DOOR NUMBER
-  COLUMN GRID LINE
-  ELEVATION TARGET
-  WALL TYPE
-  WINDOW TYPE

## GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE SALVATION ARMY SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWINGS ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDINGS AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
13. ALL DOOR HANDLES TO BE ADA COMPLIANT LEVER HANDLES.
14. COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT WITH ARCHITECTURAL FEATURES.

## RENOVATION GENERAL NOTES

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED BRD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISH, ETC.) TO MATCH EXISTING ADJACENT SURFACES. PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR PARTS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOISTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
6. ALL KNOWN HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAFE IMPLEMENT OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
8. REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.

## CONTACTS

**ARCHITECT:**  
PORT CITY ARCHITECTURE  
JOHN CHARNETT  
65 NEWBURY STREET  
PORTLAND, ME 04101  
207-761-9000

**GENERAL PERM:**  
MARK ESTES  
FIDE CONSULTING  
19 MARION ROAD, PO BOX 363  
MATTAPANET, MA 01905  
508-268-4888

**OWNER:**  
THE SALVATION ARMY ARC COMMAND  
449 WEST WYACK ROAD  
WEST WYACK, NY 10994

## LIST OF DRAWINGS

T-1	TITLE SHEET
D11	SECOND FLOOR DEMO PLAN
D12	THIRD FLOOR BATH DEMO PLAN
D21	SECOND FLOOR DEMO ELEV.
D22	THIRD FLOOR DEMO ELEV.
A1	SECOND FLOOR PLAN
A2	THIRD FLOOR PLAN
A3	SECOND FLOOR ELEVATIONS
A4	THIRD FLOOR ELEVATIONS
A5	SECOND FLOOR RCP
A6	THIRD FLOOR RCP
A7	DETAILS

## CODE INFORMATION

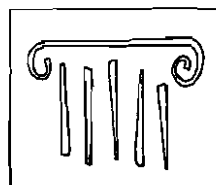
SECOND FLOOR BATH - ASSUMED 60 PPL, ALL MALE			
	EXISTING/ADA	NEBRADA	CODE
TOILETS	0/0	0/0	3
URINALS	0/0	0/0	1
LAVATORY	0/0	0/0	2
SHOWERS	0/0	0/0	3

THIRD FLOOR BATH - ASSUMED 60 PPL, ALL MALE			
	EXISTING/ADA	NEBRADA	CODE
TOILETS	0/0	0/1	3
URINALS	0/0	0/0	1
LAVATORY	0/0	0/0	2
SHOWERS	0/0	0/1	4

NOTE: CODE CALCULATIONS BASED ON MAINE PLUMBING CODE FOR 'DORMITORY'. WILL NEED APPROVAL FOR ALL MALE OCCUPANCY.

**NOT FOR CONSTRUCTION**

Date Issued: 6-8-10  
Project Number: 10101  
Drawing Scale: NTS  
SHEET NAME: TITLE SHEET  
Drawn By: JAP  
Checked By: JCC  
**T-1.1**



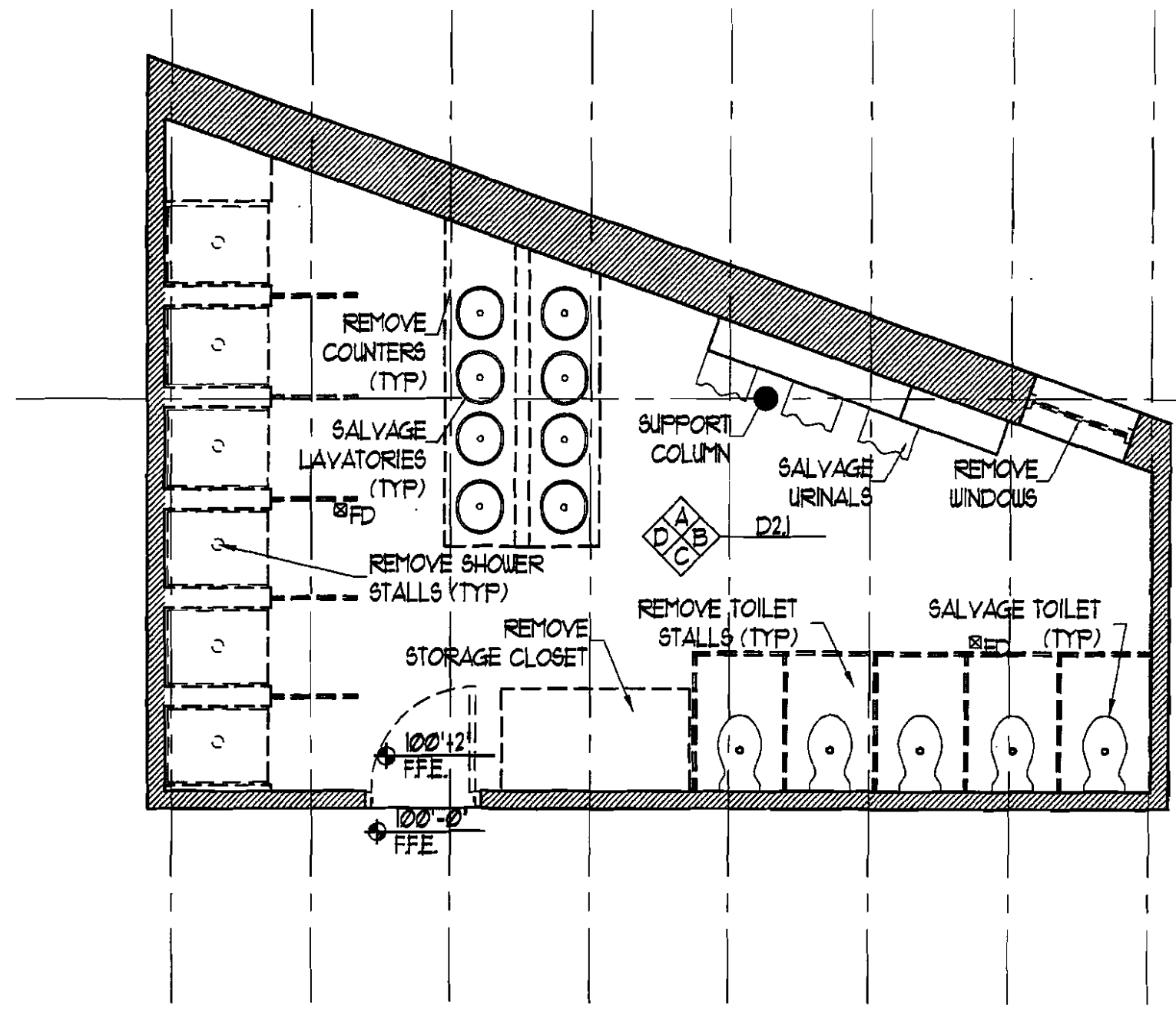
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**SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE**

**TYPICAL DEMOLITION NOTES:**

- 1) DEMO. GUBS TO STUDS.
- 2) DEMO. FLOOR & WALL TILE FINISHES.
- 3) DEMO WASTE & SUPPLY PIPING AS REQUIRED.
- 4) DEMOLISH ELECTRICAL AS REQUIRED.
- 5) SALVAGE FIRE ALARM DEVICES FOR RE-USE.
- 6) UPON COMPLETION OF DEMIOLITION, REVIEW EXTENT OF MOISTURE DAMAGE WITH OWNER AND ARCHITECT.



Date Issued 6-5-10

Project Number 101071

Drawing Scale 1/4"=1'

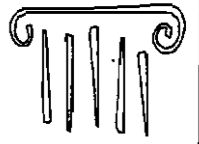
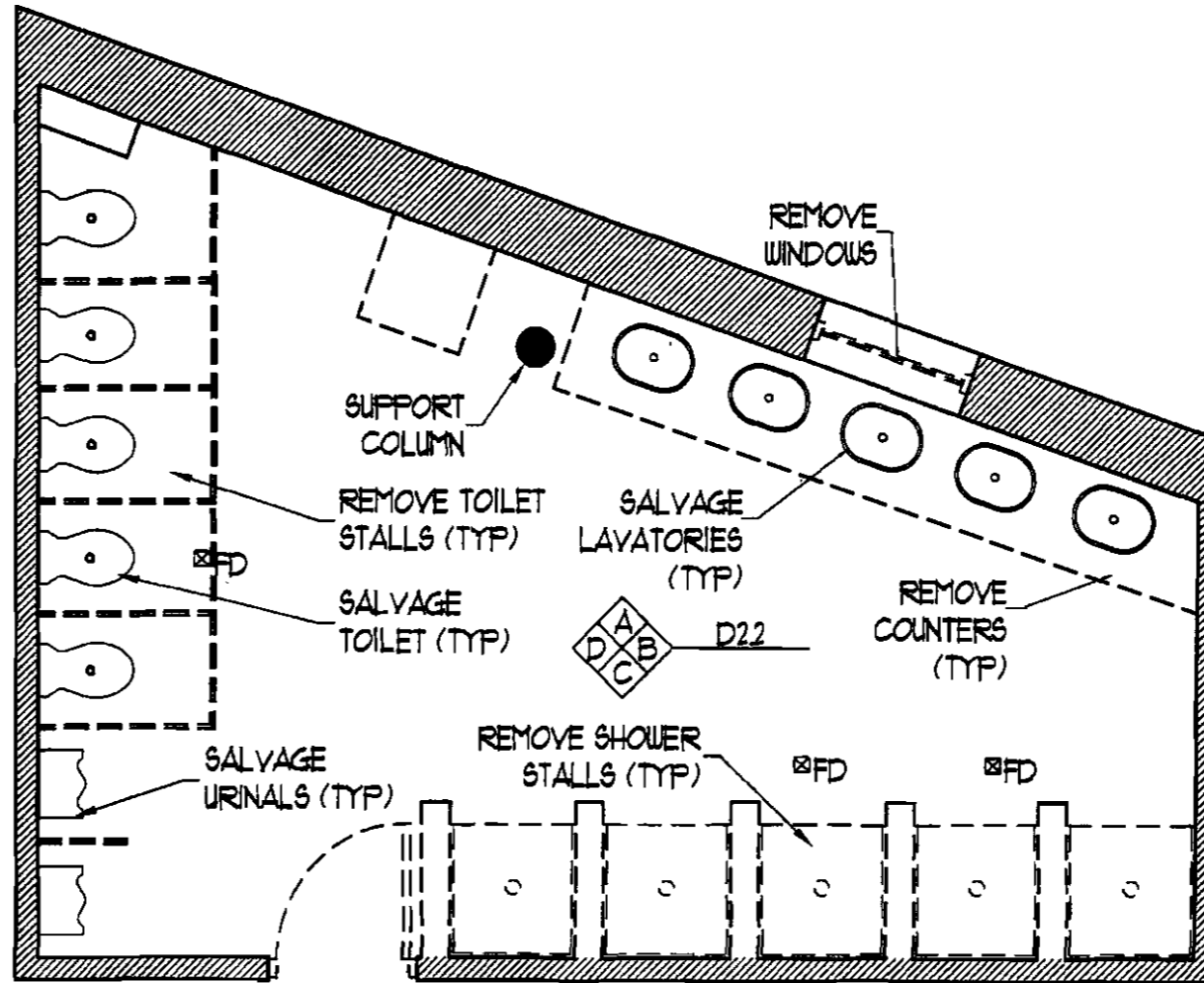
SHEET NAME  
**SECOND FLOOR  
DEMO PLAN**

Drawn By  
JAP  
Checked By  
JCC

**D-1.1**

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TYPICAL DEMOLITION NOTES:  
SEE D.II FOR NOTES



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SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE

Date Issued 6-8-10

Project Number 10071

Drawing Scale 1/4"=1'

SHEET NAME

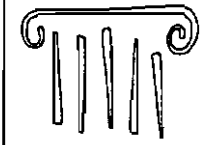
THIRD FLOOR  
DEMO PLAN

Drawn By  
JAP

Checked By  
JCC

D-12

NOT FOR CONSTRUCTION



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SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE

Date Issued 6-25-10

Project Number 10101

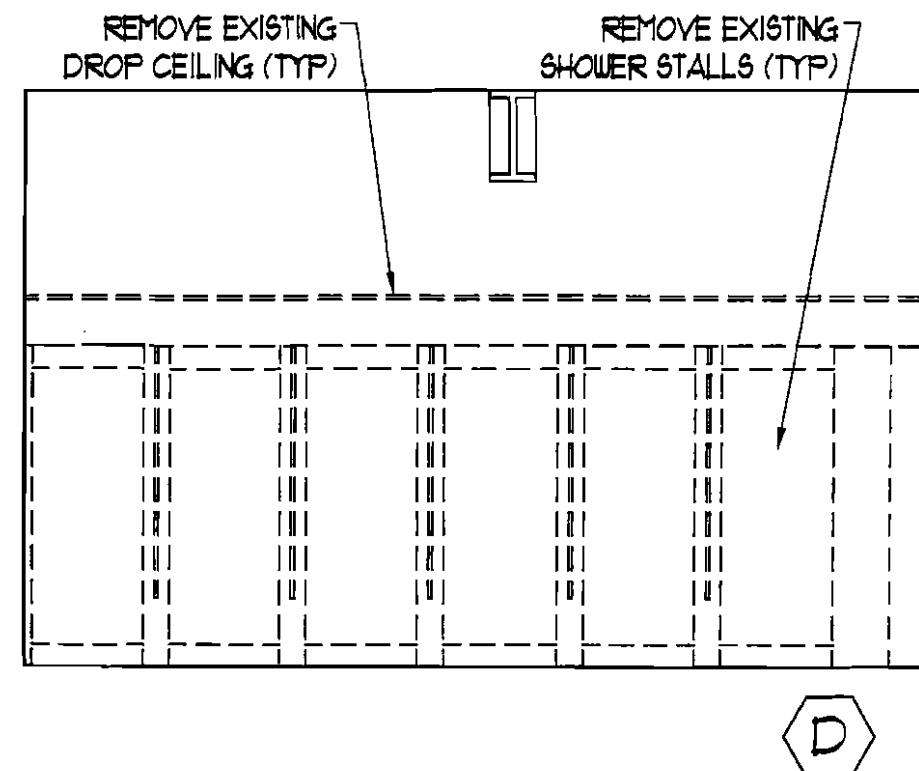
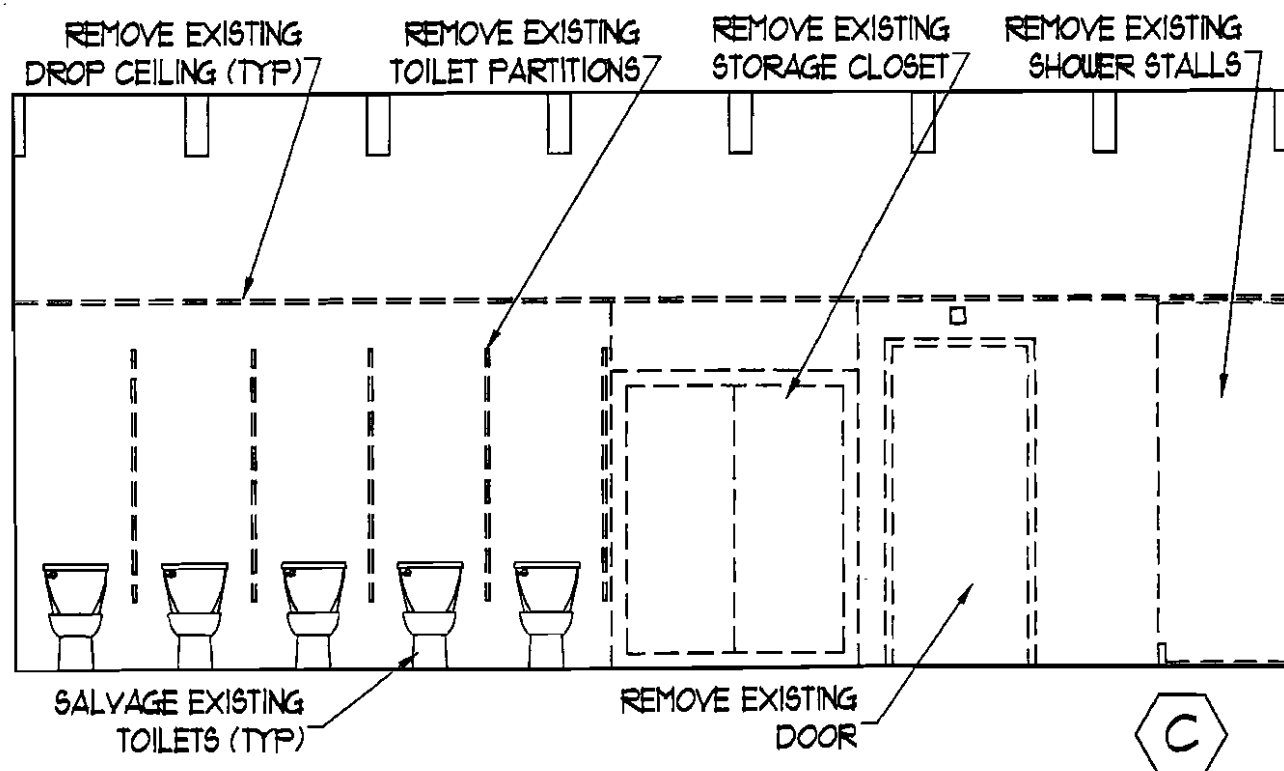
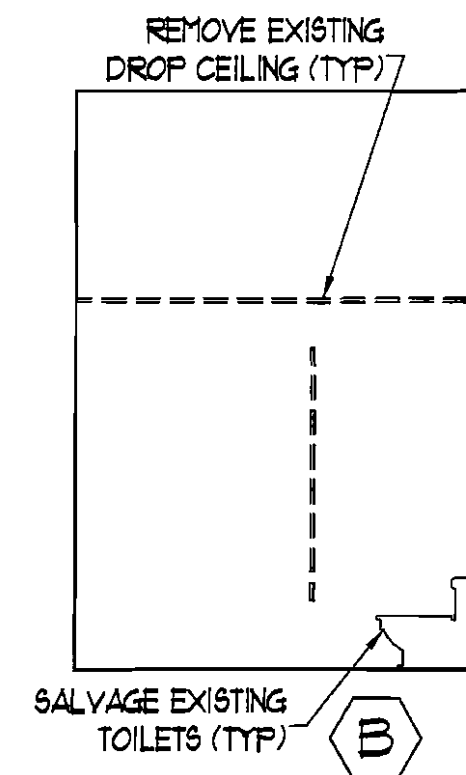
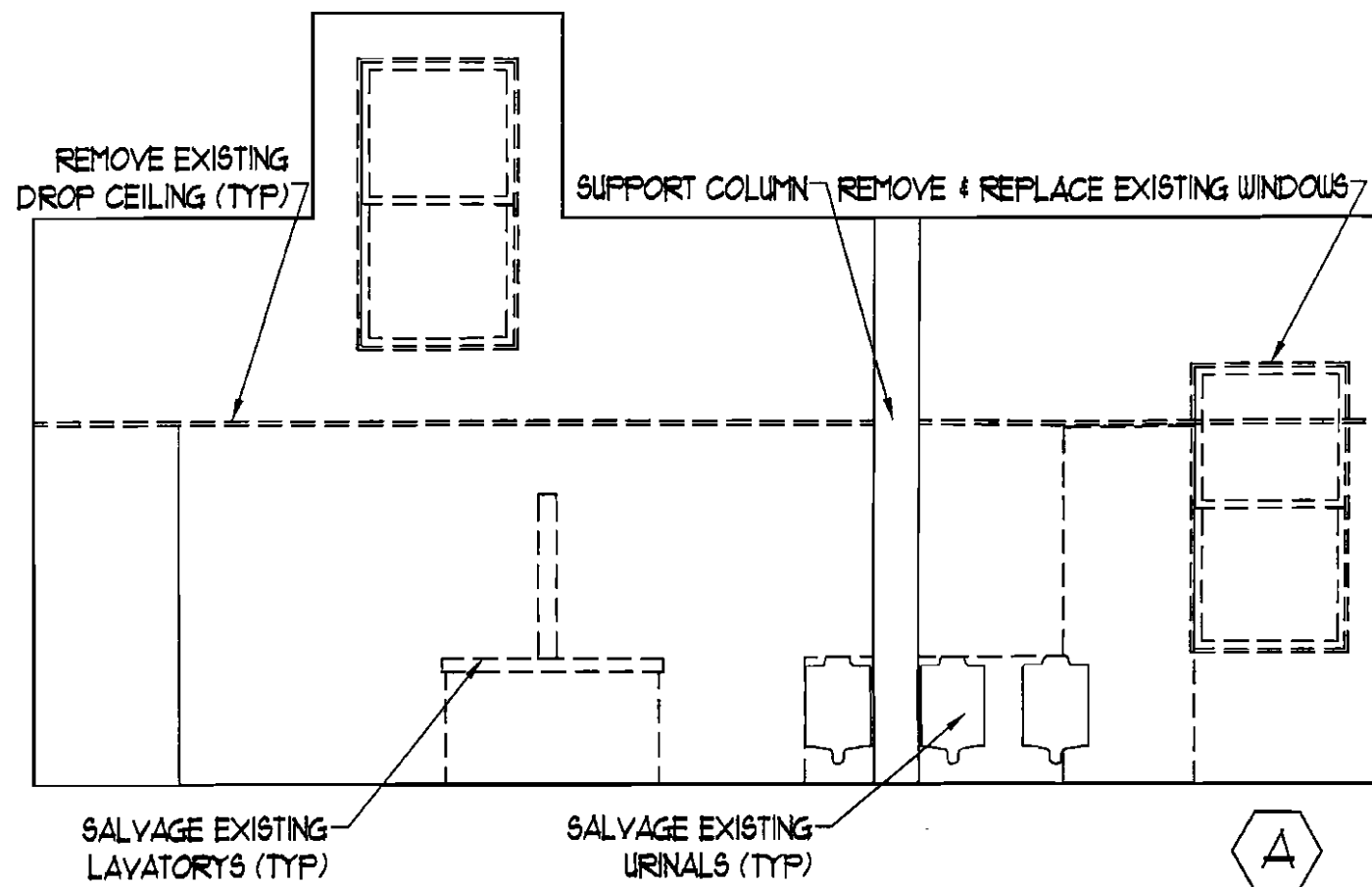
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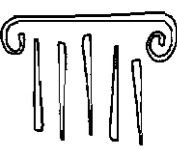
SHEET NAME  
SECOND FLOOR  
DEMO ELEVATIONS

Drawn By  
JAP  
Checked By  
JCC

D-21

NOT FOR CONSTRUCTION

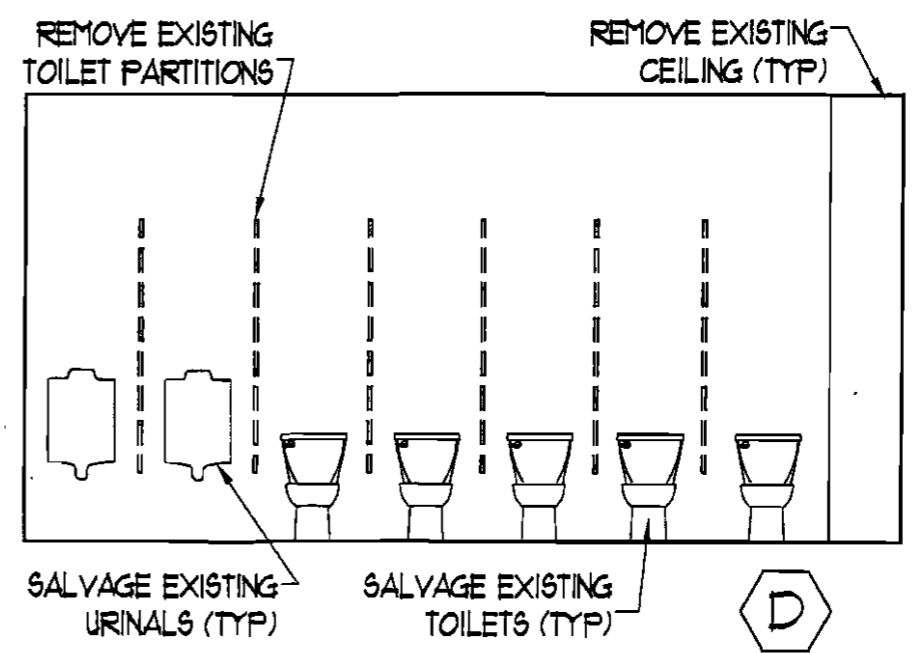
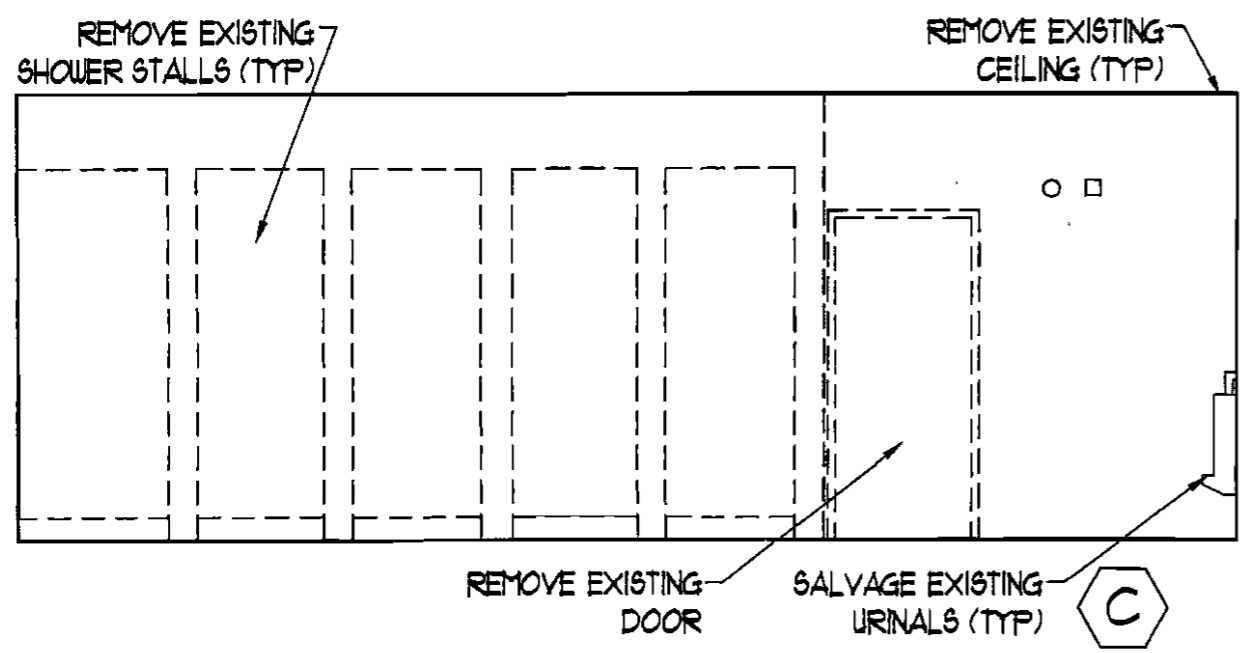
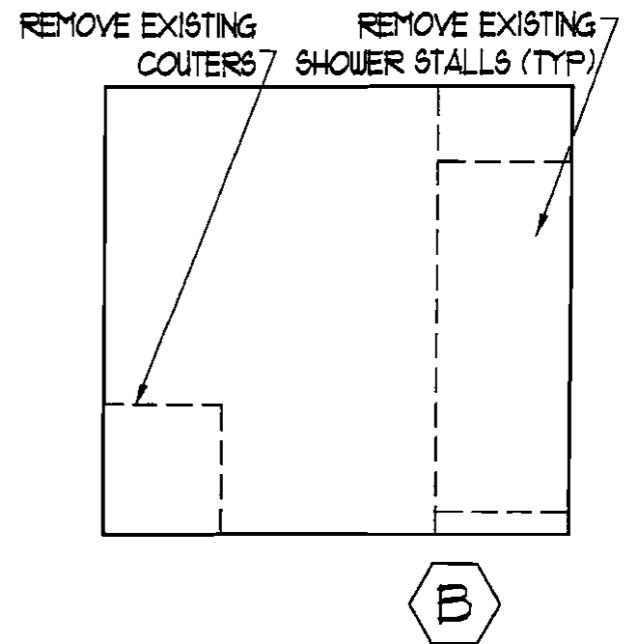
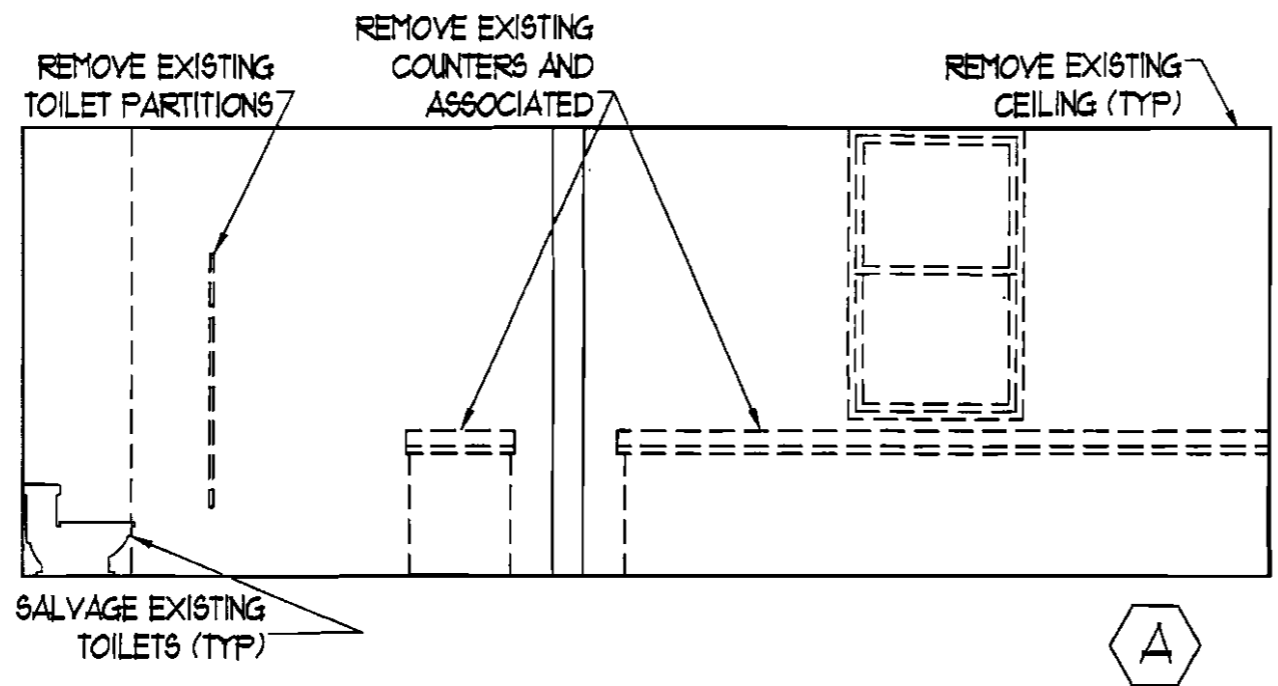




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**SALVATION ARMY  
 BATHROOM RENOVATIONS  
 88 PREBLE STREET PORTLAND, MAINE**

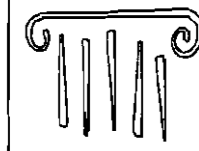
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 Project Number 10101  
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**THIRD FLOOR  
 DEMO ELEVATIONS**  
 Drawn By JAP  
 Checked By JCC  
**D-22**



**NOT FOR CONSTRUCTION**



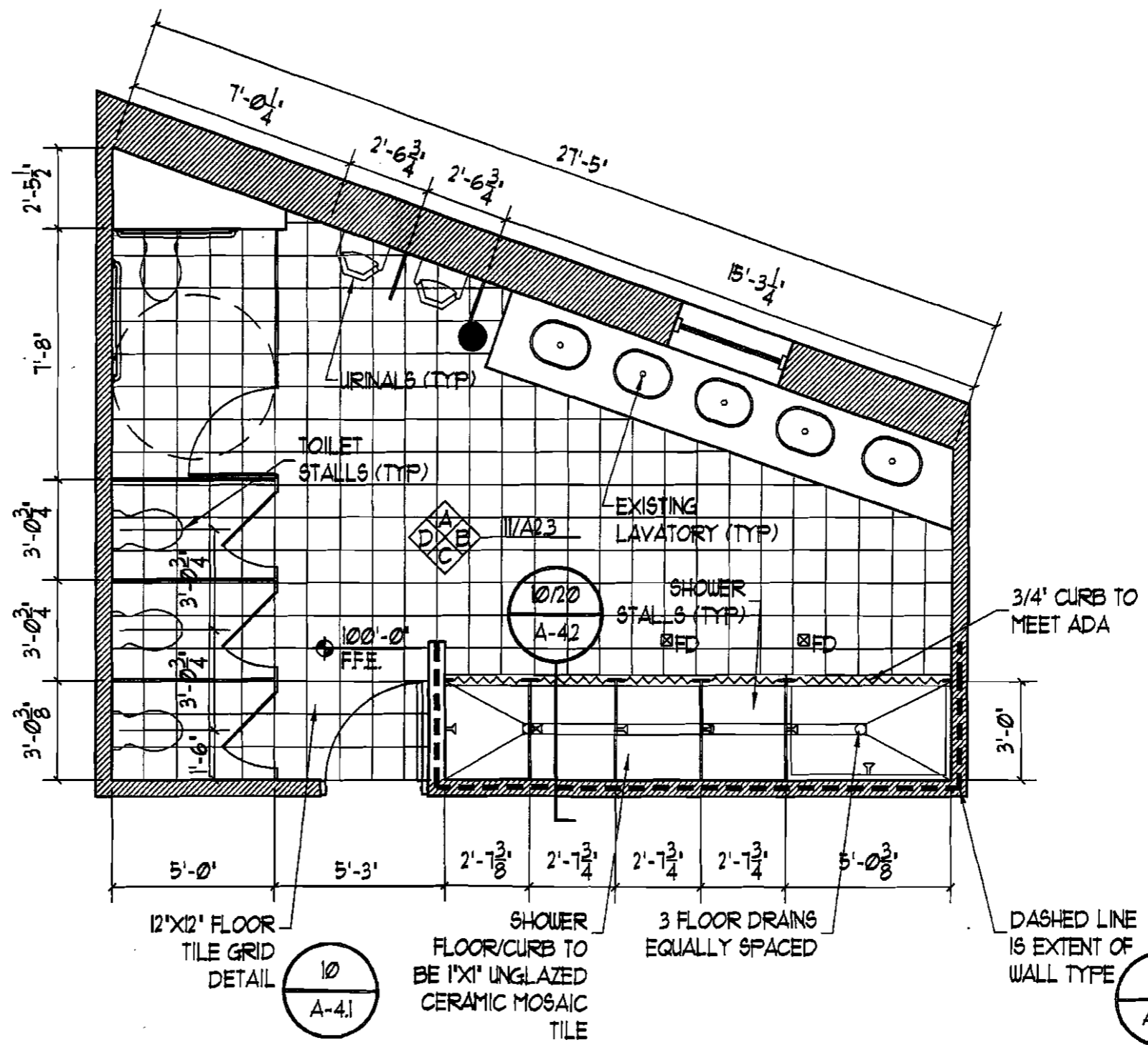




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**SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE**



Date Issued 6-5-10

Project Number 10001

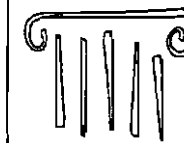
Drawing Scale 1/4"=1'

SHEET NAME  
**PROPOSED  
THIRD FLOOR  
BATH**

Drawn By  
JAP  
Checked By  
JCC

**A-12**

**NOT FOR CONSTRUCTION**



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**SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE**

Date Issued 6-5-10

Project Number 101071

Drawing Scale 1/4"=1'

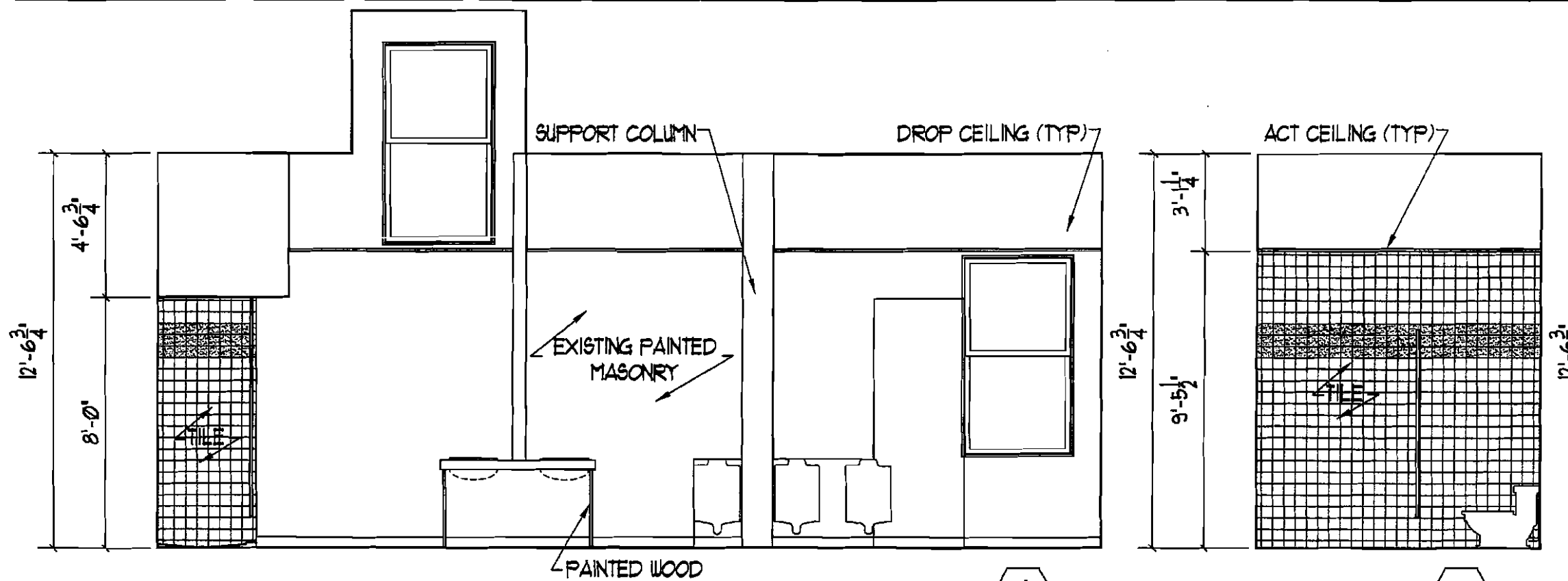
SHEET NAME  
**SECOND FLOOR  
ELEVATIONS**

Drawn By  
JAP

Checked By  
JCC

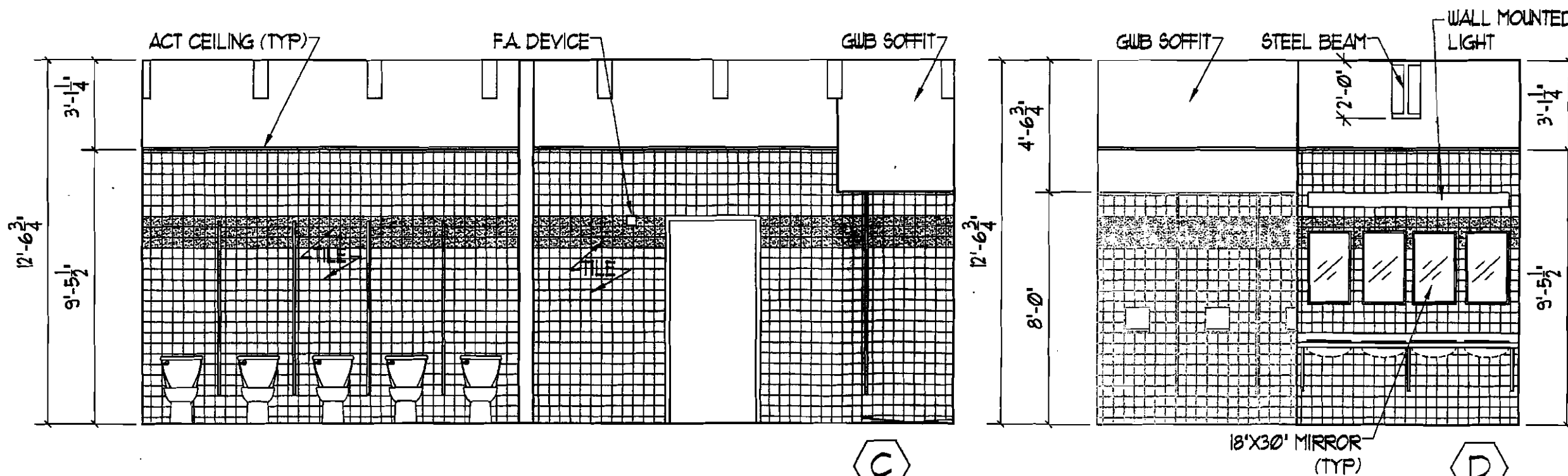
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**NOT FOR CONSTRUCTION**



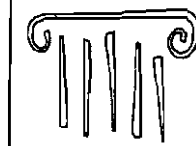
A

B



C

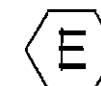
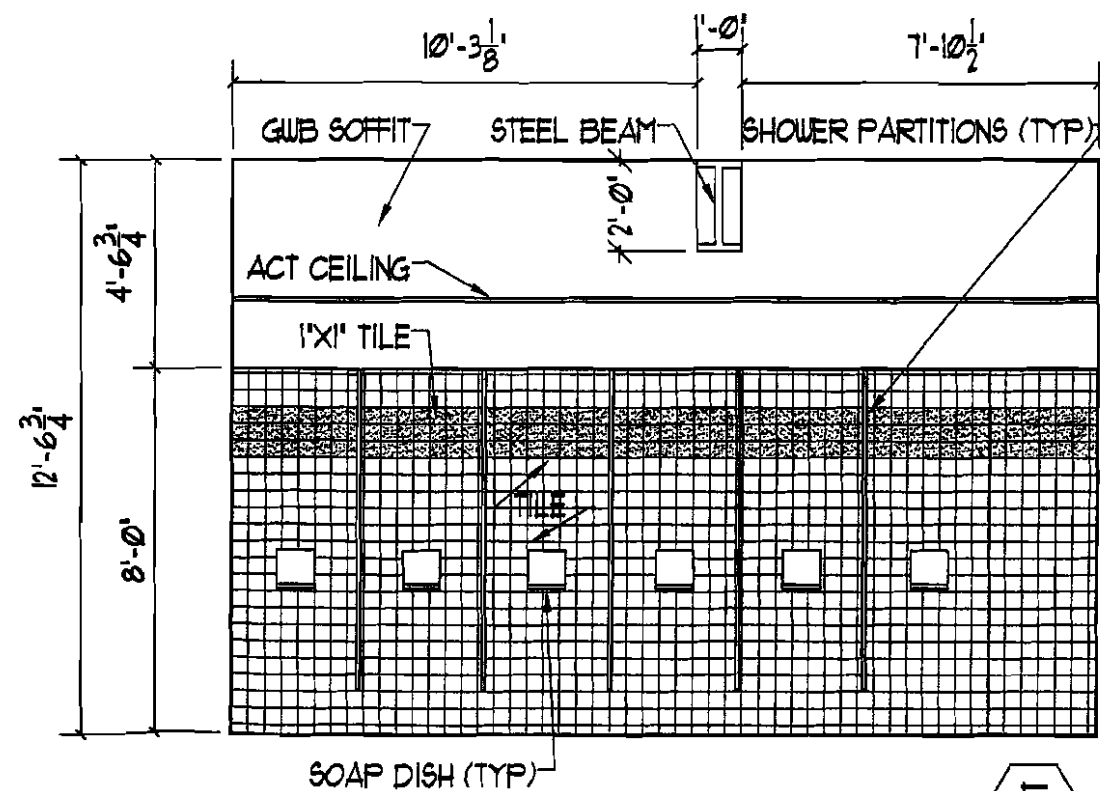
D



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**SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE**



**NOT FOR CONSTRUCTION**

Date Issued 6-5-10

Project Number 10071

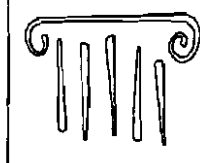
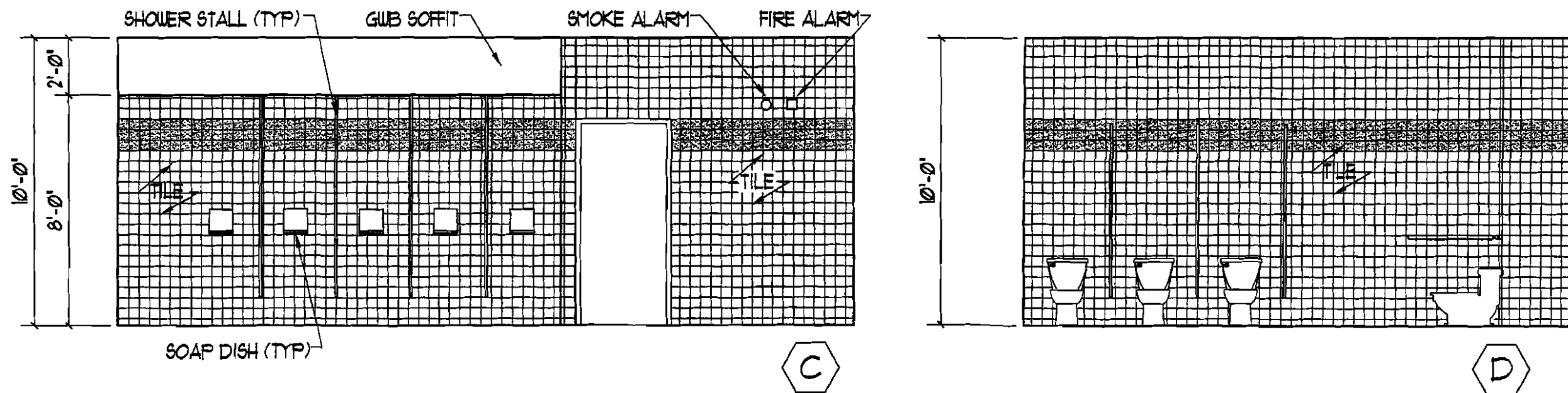
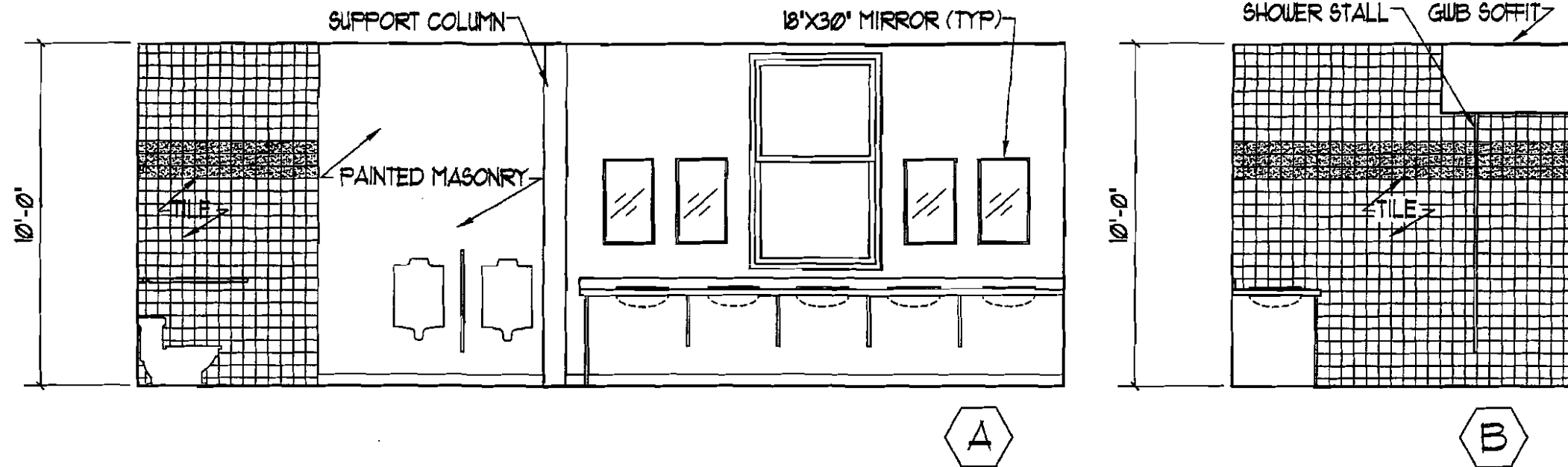
Drawing Scale 1/4"=1'

SHEET NAME  
**SECOND FLOOR  
ELEVATIONS**

Drawn By  
JAP

Checked By  
JCC

**A-22**



PORT CITY ARCHITECTURE

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1/4" = 1'

**SALVATION ARMY**  
**BATHROOM RENOVATIONS**  
 88 PREBLE STREET PORTLAND, MAINE

Date Issued 6-8-10

Project Number 10871

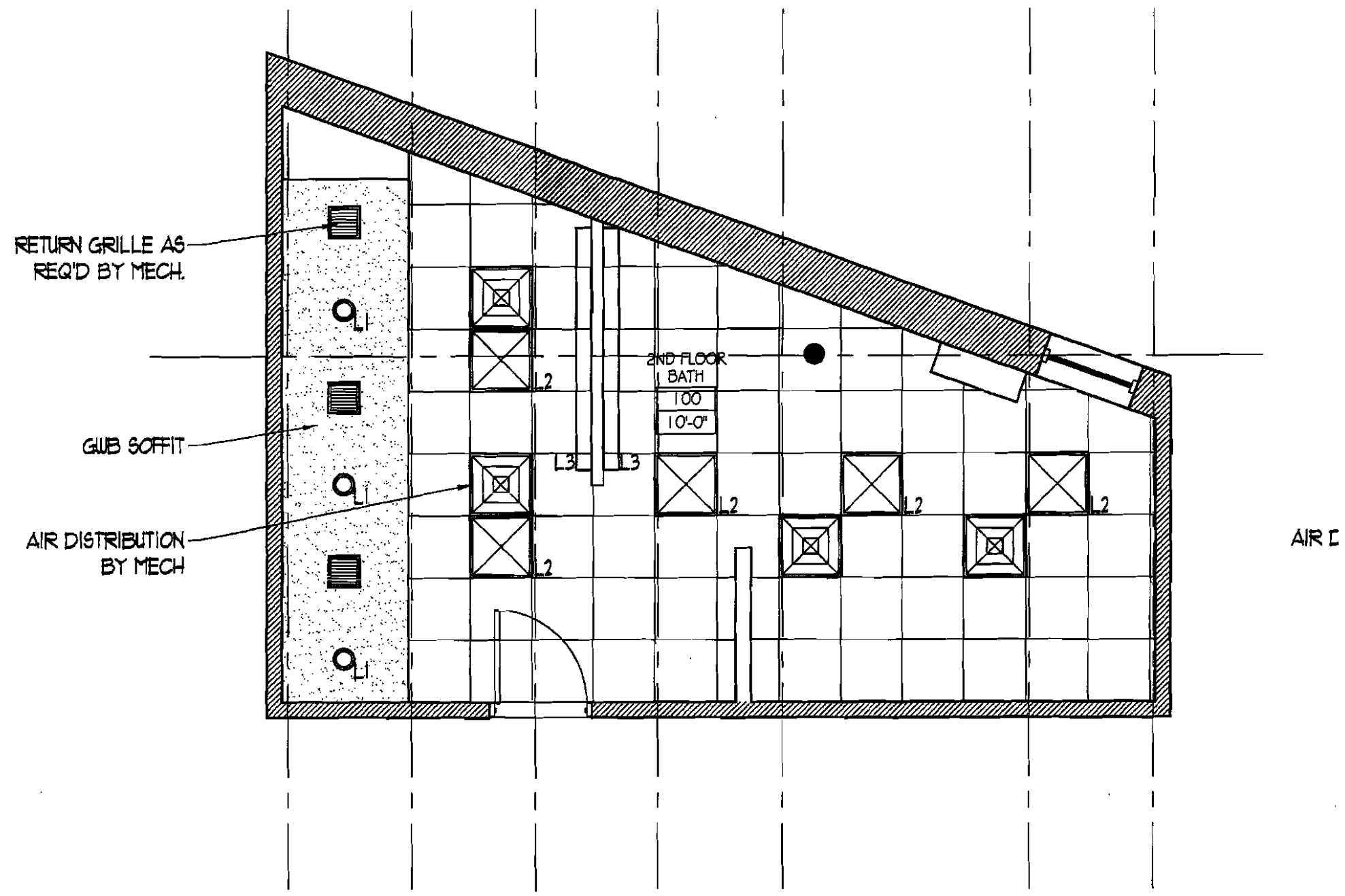
Drawing Scale 1/4" = 1'

SHEET NAME  
 THIRD FLOOR  
 ELEVATIONS

Drawn By  
 JAP  
 Checked By  
 JCC

A-23

NOT FOR CONSTRUCTION






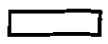
RETURN GRILLE AS  
REQ'D BY MECH.

GUB SOFFIT

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BY MECH

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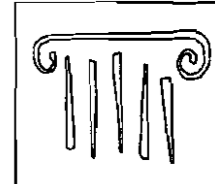
**KEY:**

	1'x1' AIR VENT
L1 	DOWN LIGHT
L2 	2'x2' TROUGH LIGHT
L3 	WALL MOUNT OVER SINKS

**NOT FOR CONSTRUCTION**

**SALVATION ARMY  
 BATHROOM RENOVATIONS  
 88 PREBLE STREET PORTLAND, MAINE**

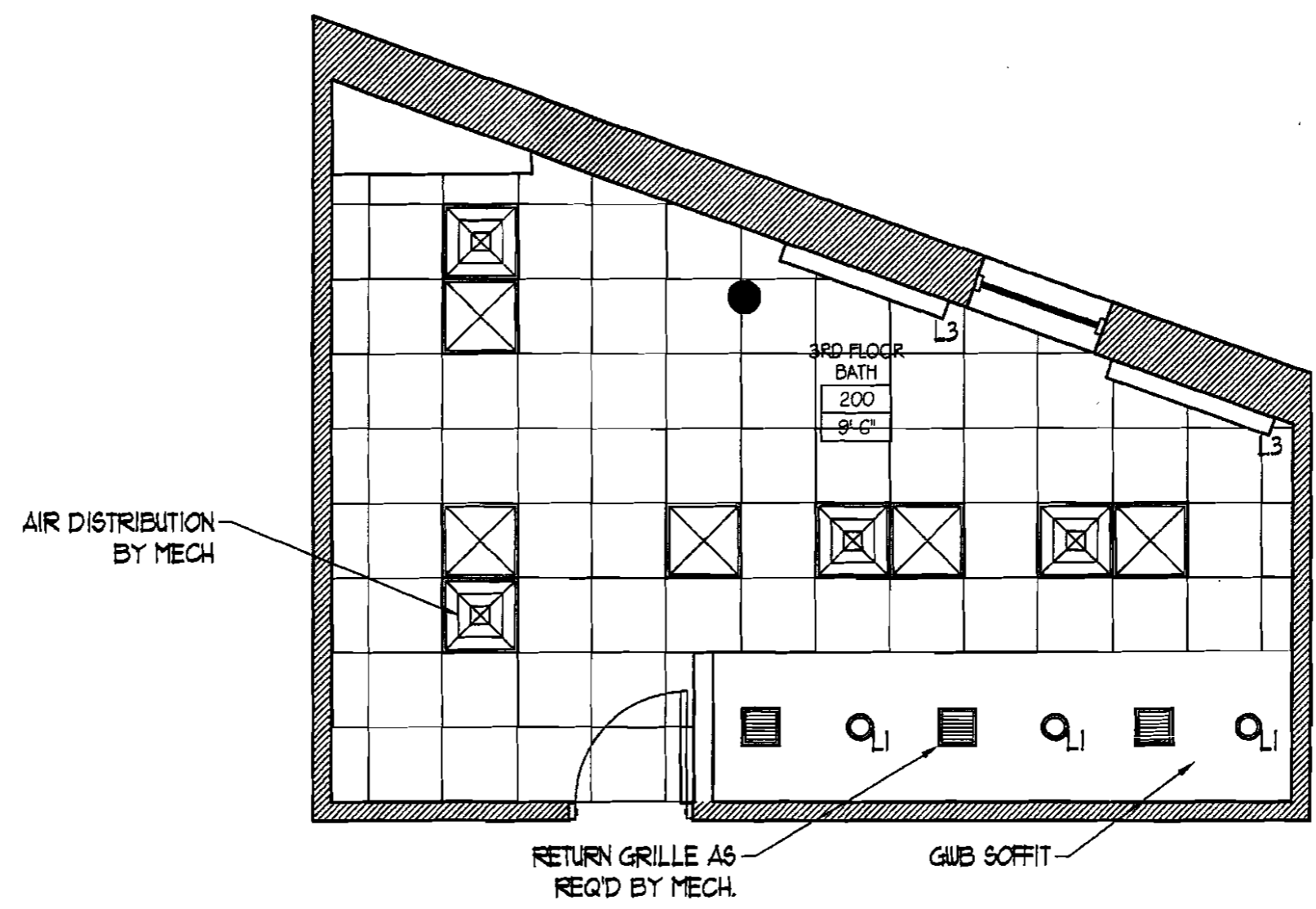
Date Issued	6-8-10
Project Number	10071
Drawing Scale	1/4"=1'
SHEET NAME	
SECOND FLOOR BATH RCP	
Drawn By	JAP
Checked By	JCC
<b>A-3.1</b>	



PORT CITY ARCHITECTURE

85 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

SALVATION ARMY  
BATHROOM RENOVATIONS  
88 PREBLE STREET PORTLAND, MAINE



KEY:

	1'X1' AIR VENT
L1	DOWN LIGHT
L2	2'X2' TROUGH LIGHT
L3	WALL MOUNT OVER SINKS

NOT FOR CONSTRUCTION

Date Issued 6-15-10

Project Number 101071

Drawing Scale 1/4"=1'

SHEET NAME  
THIRD FLOOR  
BATH  
RCP

Drawn By  
JAP

Checked By  
JCC

A-3.2

Dear Jason,

Please allow this letter to serve as confirmation the system located at 88 Preble Street in Portland, ME is in good working order. Successful test signals are being received daily. I can confirm an Elevator Inspection was performed on 12/15/10 with no problems found. I can confirm we are monitoring this account 24/7.

Sincerely,

Angela Stevens  
Online Services  
Customer Service  
Rep III  
Phone: 800-438-  
4357  
Extension 35366  
Hours: Mon-Fri 0600-  
1430 CST  
800 E Waterman  
Wichita, KS 67202  
[www.Protection1.com](http://www.Protection1.com)

 Description: Description:  
cid:3366968963\_1545380

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# EASTERN FIRE PROTECTION

FIRE SPRINKLER CONTRACTORS AND DESIGNERS  
P.O. Box 1390 Auburn, Maine 04211-1390

207-784-1507 Fax: 207.782.0566

DATE: 01/04/11

To: *Benchmark*  
*T. Mayer & R. Eagan*

*SUBJECT: Salvation Army - 88 Preble Street, Fire Sprinkler Letter of Compliance*

*Tim,*

*This letter is to inform you that the sprinkler system that was designed and installed for the newly renovated area at 88 Preble Street in Portland Maine, was done in accordance with NFPA #13, state, and local codes.*

*The newly remolded bathrooms on the 2<sup>nd</sup> & 3<sup>rd</sup> floors are protected with an existing NFPA 13 dry sprinkler system. Sprinkler heads and piping have been removed and or relocated to accommodate the new tenant fit-up layout.*

*Please do not hesitate to call with any questions you may have.*

*Sincerely,*

*Robert A. Taylor*  
*Robert A. Taylor*

*Eastern Fire Protection Co. - Field Superintendent*

*Cc: Keith Gautreau, Portland Fire Department*



10-28-10

Plumbers on. Floor drains  
with Princes. Framing ok +  
Elec okay. Need E-walls  
in Bathroom. NLP

11-18-10 3rd floor

GFI protected outlets on sink counter must be arranged so  
each Basin user can plug in without having cord ~~behind~~  
running behind sink - stack

1-6-11

Need to change out  
Toilet seat cover  
NLP  
ok to close NLP