



**PARCEL INFORMATION**

- SITE AREA:** 0.98± ACRES  
SITE AREA TAKEN FROM CITY TAX ASSESSOR'S INFORMATION MAP 33, BLOCK D, LOTS 4 THRU 11, 15, & 22 THRU 26
- OWNER/APPLICANT:** THE SALVATION ARMY  
30 WARREN AVE  
PORTLAND, MAINE 04103
- ZONING DISTRICTS:** B-2b COMMUNITY BUSINESS ZONE
- SPACE AND BULK STANDARDS**

	REQUIRED	EXISTING
MINIMUM LOT SIZE	NONE	0.98± AC
MINIMUM LOT WIDTH	NONE	57.8±
MINIMUM STREET FRONTAGE	20'	475±
FRONT YARD SETBACK	NONE	0'
REAR YARD SETBACK	10'	0'
SIDE YARD SETBACK	NONE	0'
SIDE YARD ON SIDE STREET	NONE	63'
MAXIMUM IMPERVIOUS SURFACE RATIO*	90%	SEE NOTE*
MAXIMUM HEIGHT OF STRUCTURES	45'	UNKNOWN

\*THE ENTIRE SITE WAS NOT SURVEYED THEREFORE, THE TOTAL SITE EXISTING IMPERVIOUS SURFACE RATIO HAS NOT BEEN CALCULATED.

- PLAN REFERENCES:**
- ONSITE TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
    - A PLAN TITLED "PARTIAL BOUNDARY SURVEY OF THE SALVATION ARMY", PREPARED BY JONES ASSOCIATES, INC. OF AUBURN, MAINE, DATED DECEMBER 14, 2015.
    - FIELD OBSERVATION BY WALSH ENGINEERING ASSOCIATES, INC. IN NOVEMBER 2015.
  - PLAN IS REFERENCED TO CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.
  - BASIS OF PROPERTY LINE BEARINGS IS CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.
  - ELEVATIONS SHOWN ARE TIED TO THE CITY OF PORTLAND DATUM (NGVD29) PER CITY OF PORTLAND OFFSET MONUMENT M142 AT THE SOUTHWESTERLY CORNER OF ALDER STREET AND KENNEBEC STREET, DRILL HOLE ELEVATION 10.145.

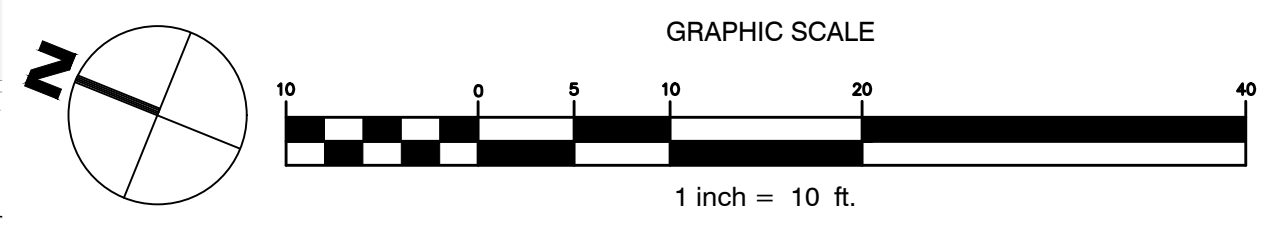
- EXISTING UTILITY NOTES:**
- THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
  - ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
  - ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
  - ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND REQUIREMENTS.
  - THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAPS.
  - ALL WATER MAIN AND WATER SERVICE WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.
  - ALL PROPOSED WORK WITHIN THE ALDER STREET AND LANCASTER RIGHT-OF-WAYS SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
  - INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADIENT CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.
  - CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY STREET AND/OR SIDEWALK CLOSURES.
  - ALL STREET CLOSURES SHALL BE PERFORMED DURING OFF-PEAK HOURS OR DURING THE NIGHT.

DRAFT - 7/8/16  
NOT FOR CONSTRUCTION

**LEGEND**

EXISTING	
	PROPERTY LINE
	ABUTTER LOT LINE
	PROPERTY CORNER
	SANITARY SEWER LINE
	SANITARY SEWER CLEANOUT
	STORM/RAIN LINE
	WATERLINE
	WATER SHUTOFF
	GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND COMMUNICATIONS
	UTILITY POLE
	BUILDING
	METAL FENCE
	WOOD FENCE
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	GRANITE CURB
	BRICK SIDEWALK
	PARKING METER



**Bild Architecture**  
 PO Box 8235  
 Portland, ME  
 04104  
 207.740.0168  
 evan@bildarchitecture.com

**WALSH**  
 ENGINEERING ASSOCIATES, INC.  
 207.583.8808 | www.walsheng.com  
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PROJECT NO. **15031**  
 PROJECT NAME **SALVATION ARMY PORTLAND, MAINE**

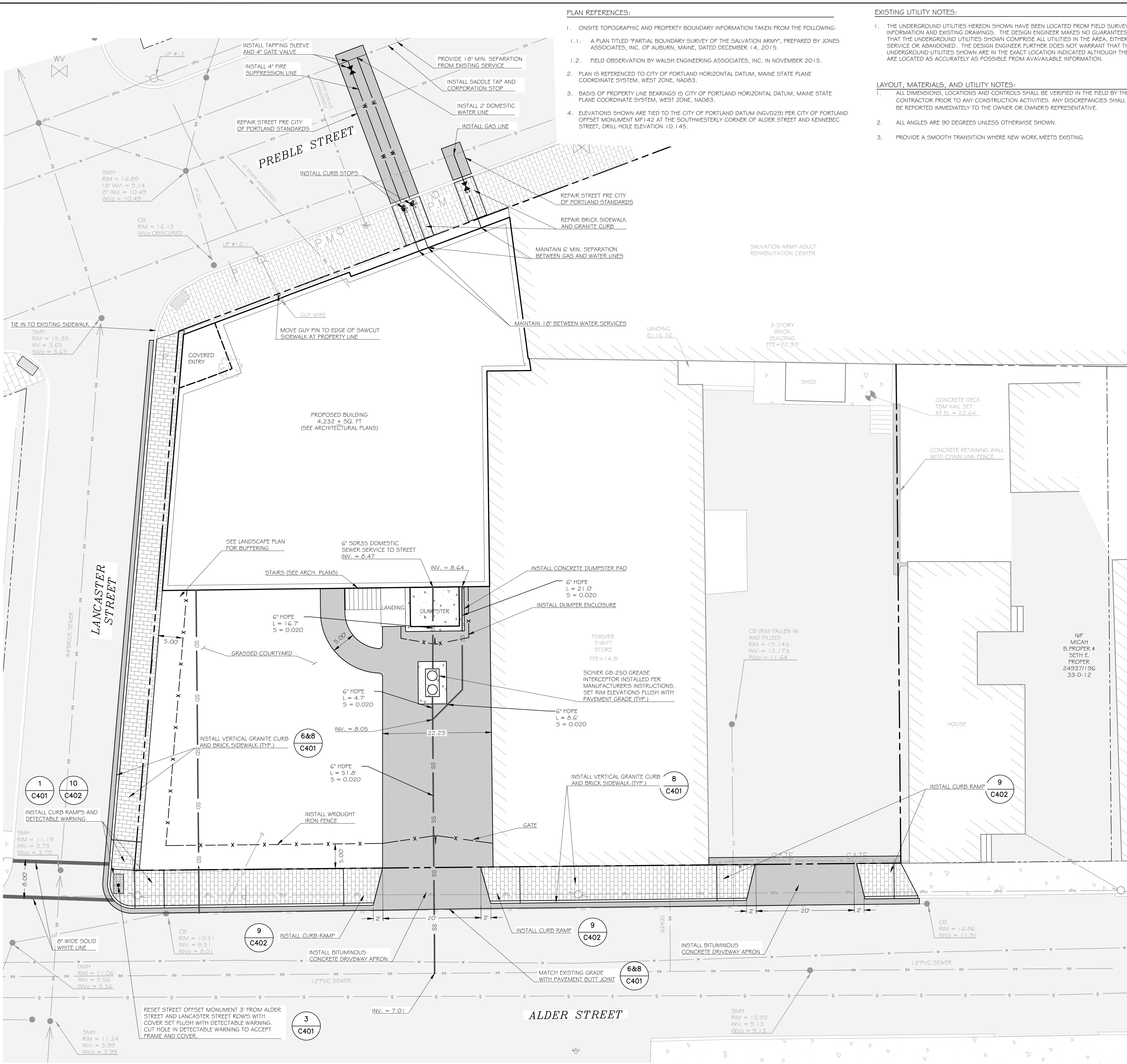
REVISIONS  
 1 -  
 2 -  
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 5 -

**DOCUMENTS NOT FOR CONSTRUCTION**

DRAWN BY  
 SHEET TITLE  
**Existing Conditions & Removals Plan**

ISSUE DATE  
 SHEET SCALE  
 1" = 10'

**100**



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- ONSITE TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
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- THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
- LAYOUT, MATERIALS, AND UTILITY NOTES:
- ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
  - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.

- GENERAL NOTES:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-800-344-7233.
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  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.
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  - ALL PROPOSED WORK WITHIN THE CONGRESS STREET RIGHT-OF-WAY SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
  - INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADIENT CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.
  - CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY STREET AND/OR SIDEWALK CLOSURES.
  - ALL STREET CLOSURES SHALL BE PERFORMED DURING OFF-PEAK HOURS OR DURING THE NIGHT.

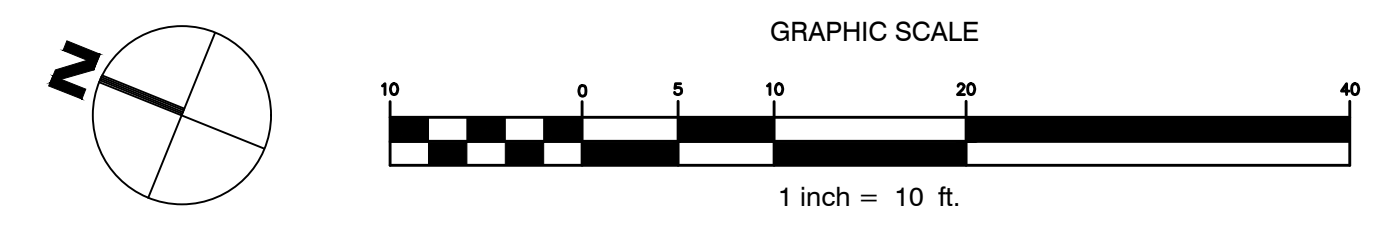
PARCEL INFORMATION

- SITE AREA: 0.98 ± ACRES  
SITE AREA TAKEN FROM CITY TAX ASSESSORS INFORMATION MAP 33, BLOCK D, LOTS 4 THRU 11, 15, & 22 THRU 26
  - OWNER/APPLICANT: THE SALVATION ARMY  
30 WARREN AVE  
PORTLAND, MAINE 04103
  - ZONING DISTRICTS: B-2b COMMUNITY BUSINESS ZONE
  - SPACE AND BULK STANDARDS
- |                                   | REQUIRED | EXISTING  | PROPOSED  |
|-----------------------------------|----------|-----------|-----------|
| MINIMUM LOT SIZE                  | NONE     | 0.98 ± AC | NO CHANGE |
| MINIMUM LOT WIDTH                 | NONE     | 57.8 ±    | NO CHANGE |
| MINIMUM STREET FRONTAGE           | 20'      | 475 ±     | NO CHANGE |
| FRONT YARD SETBACK                | NONE     | 0'        | 57 ±      |
| REAR YARD SETBACK                 | 10'      | 94 ±      | 57 ±      |
| SIDE YARD SETBACK                 | NONE     | 0'        | 11'       |
| SIDE YARD ON SIDE STREET          | NONE     | 63 ±      | 11'       |
| MAXIMUM IMPERVIOUS SURFACE RATIO* | 90%      | SEE NOTE* | SEE NOTE* |
| MAXIMUM HEIGHT OF STRUCTURES      | 45'      | UNKNOWN   | 17'       |
- \*THE ENTIRE SITE WAS NOT SURVEYED THEREFORE, THE TOTAL SITE EXISTING IMPERVIOUS SURFACE RATIO HAS NOT BEEN CALCULATED. HOWEVER, THE TOTAL IMPERVIOUS AREA WITHIN THE PROPOSED DEVELOPMENT AREA OF THE SITE WILL BE DECREASED FROM THE EXISTING CONDITION BY 836 SQUARE FEET. THEREFORE, THE TOTAL IMPERVIOUS SURFACE AREA RATIO OF THE SITE WILL BE REDUCED.
- SEE SHEET C201 FOR OFF-STREET PARKING AND BICYCLE PARKING REQUIREMENTS.
  - SNOW STORAGE WILL BE PROVIDED IN THE GRASSED COURTYARD AREA.

DRAFT - 7/8/16  
NOT FOR CONSTRUCTION

LEGEND

EXISTING	PROPOSED
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**Bild Architecture**  
PO Box 8235  
Portland, ME  
04104  
Tel: 207.408.0168  
evan@bildarchitecture.com

**WALSH ENGINEERING ASSOCIATES, INC.**  
207.583.9808 | www.walsh-eng.com

**PROJECT NO. 15031**  
PROJECT NAME **SALVATION ARMY PORTLAND, MAINE**

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

**DOCUMENTS NOT FOR CONSTRUCTION**

DRAWN BY  
SHEET TITLE **Site Layout and Utility Plan**

ISSUE DATE  
SHEET SCALE **1" = 10'**

**200**

LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	ABUTTER LOT LINE
	BUILDING
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	GRANITE CURB
	BRICK SIDEWALK

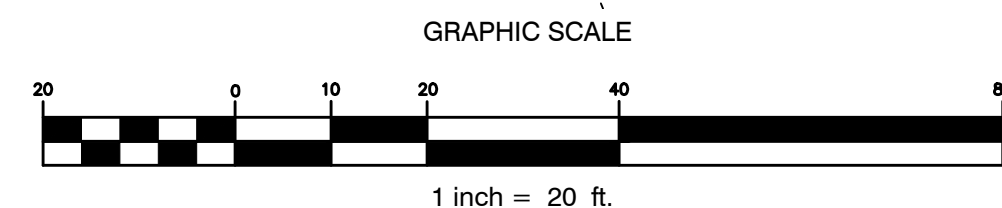
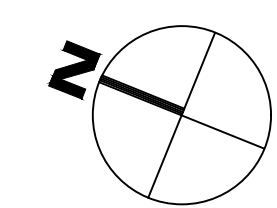
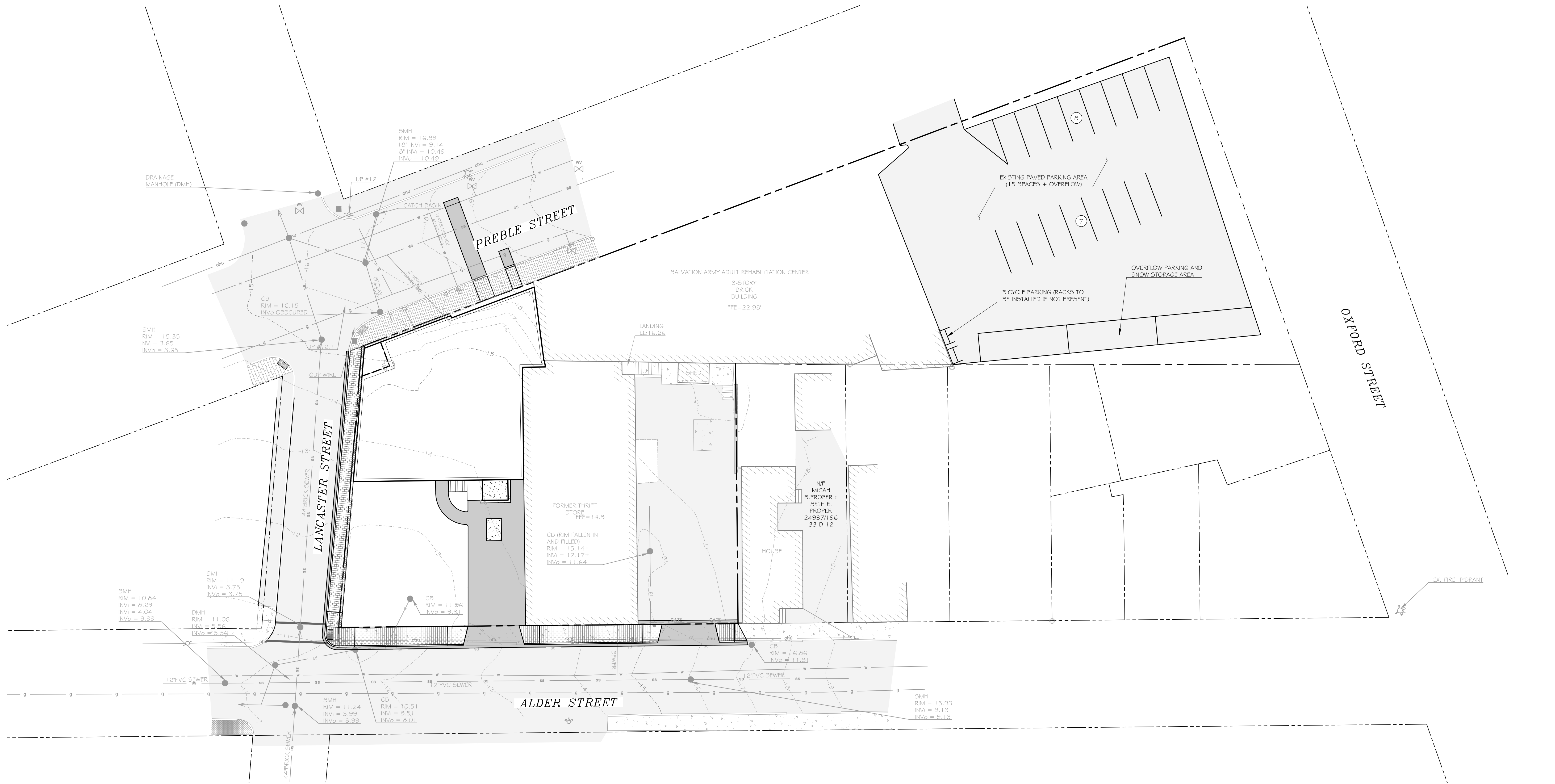
GENERAL NOTES:

- SEE SHEET C100 FOR GENERAL NOTES AND PLAN REFERENCES.

PARKING INFORMATION

- OFF-STREET PARKING CALCULATIONS:  
THE PROPOSED PROJECT INVOLVES THE CONSTRUCTION OF A KITCHEN AND DINING HALL FOR EXISTING RESIDENTS. THEREFORE, NO ADDITIONAL PARKING DEMAND WILL BE GENERATED BY THIS PROJECT.  
CURRENT SITE USE: LODGING HOUSE W/ MAX. 35 ROOMING UNITS  
PARKING REQUIREMENTS: 1 SPACE FOR EVERY 5 ROOMING UNITS  
REQUIRED PARKING: 35 ROOMING UNITS / 5 SPACES/ROOMING UNIT = 7 SPACES  
FUTURE 1-BEDROOM APARTMENT = 1 SPACE  
TOTAL SPACES REQUIRED = 8 SPACES  
EXISTING PARKING SPACES: 15 SPACES + OVERFLOW
- BICYCLE PARKING: BICYCLE HITCHES WILL BE PROVIDED IN THE EXISTING PARKING LOT AT THE CORNER OF OXFORD STREET AND PREBLE STREET.

**DRAFT - 7/8/16**  
**NOT FOR CONSTRUCTION**



**Bild Architecture**  
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Portland, ME  
04104  
207.748.0168  
evan@bildarchitecture.com



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PROJECT NO. **15031**  
PROJECT NAME **SALVATION ARMY**  
**PORTLAND, MAINE**

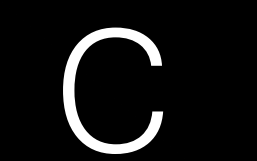
REVISIONS

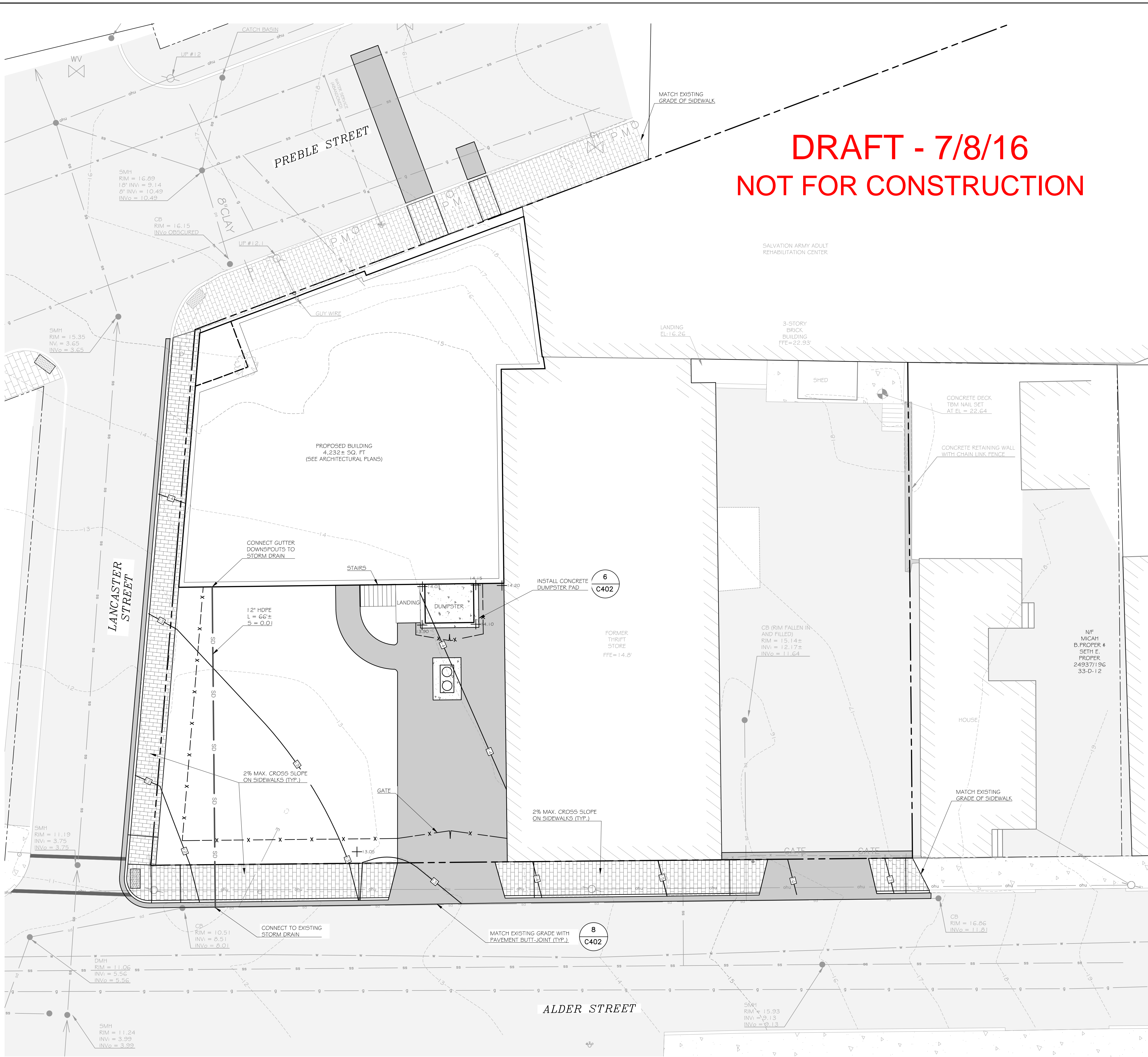
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**DOCUMENTS NOT FOR CONSTRUCTION**

DRAWN BY SHEET TITLE  
**Off-Street Parking Plan**

ISSUE DATE SHEET SCALE  
1" = 20'





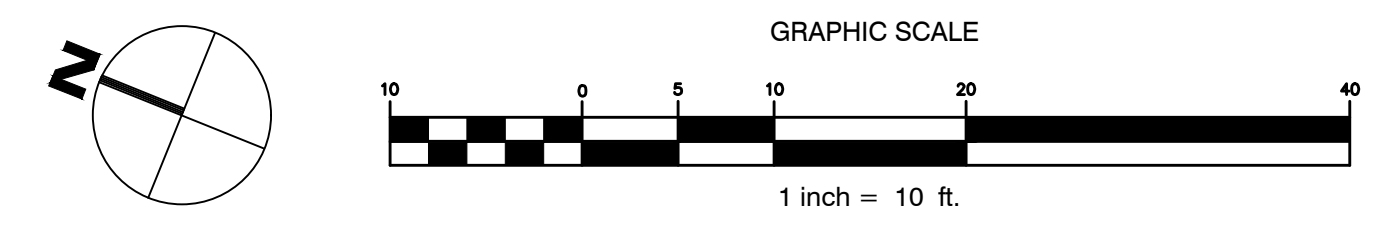
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LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	ABUTTER LOT LINE
	PROPERTY CORNER
	SANITARY SEWER LINE
	SANITARY SEWER CLEANOUT
	STORMDRAIN LINE
	STORMDRAIN CLEANOUT
	WATERLINE
	WATER SHUTOFF
	WATER LINE METER PIT
	GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND COMMUNICATIONS
	UTILITY POLE
	BUILDING
	METAL FENCING
	WOOD FENCE
	EDGE OF PAVEMENT
	EDGE OF CONCRETE
	GRANITE CURB
	BRICK SIDEWALK
	SHRUBS



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PO Box 8235  
Portland, ME  
04104  
207.770.0168  
evan@bildarchitecture.com

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PROJECT NO.  
**15031**

PROJECT NAME  
**SALVATION ARMY  
PORTLAND, MAINE**

ISSUE DATE

REVISIONS

1	
2	
3	
4	
5	

DRAWN BY

**DOCUMENTS NOT FOR CONSTRUCTION**

SHEET SCALE

Grading and Drainage Plan

1" = 10'

300

**LAND DESIGN SOLUTIONS**

LAND PLANNING, SITE PLANNING & LANDSCAPE ARCHITECTURE

P.O. BOX 316, 160 LONGWOODS ROAD,  
CUMBERLAND, MAINE 04021  
TEL: (207) 434-1717

CLIENT:  
**WALSH ENGINEERING ASSOCIATES, INC.**  
ONE KAREN DR. SUITE 2A,  
WESTBROOK, ME 04092

PROJECT:  
**SALVATION ARMY KITCHEN AND DINING HALL ADDITION**  
88 PREBLE STREET, PORTLAND, ME

REV.	DATE	STATUS
A	7-07-16	ISSUED FOR REVIEW

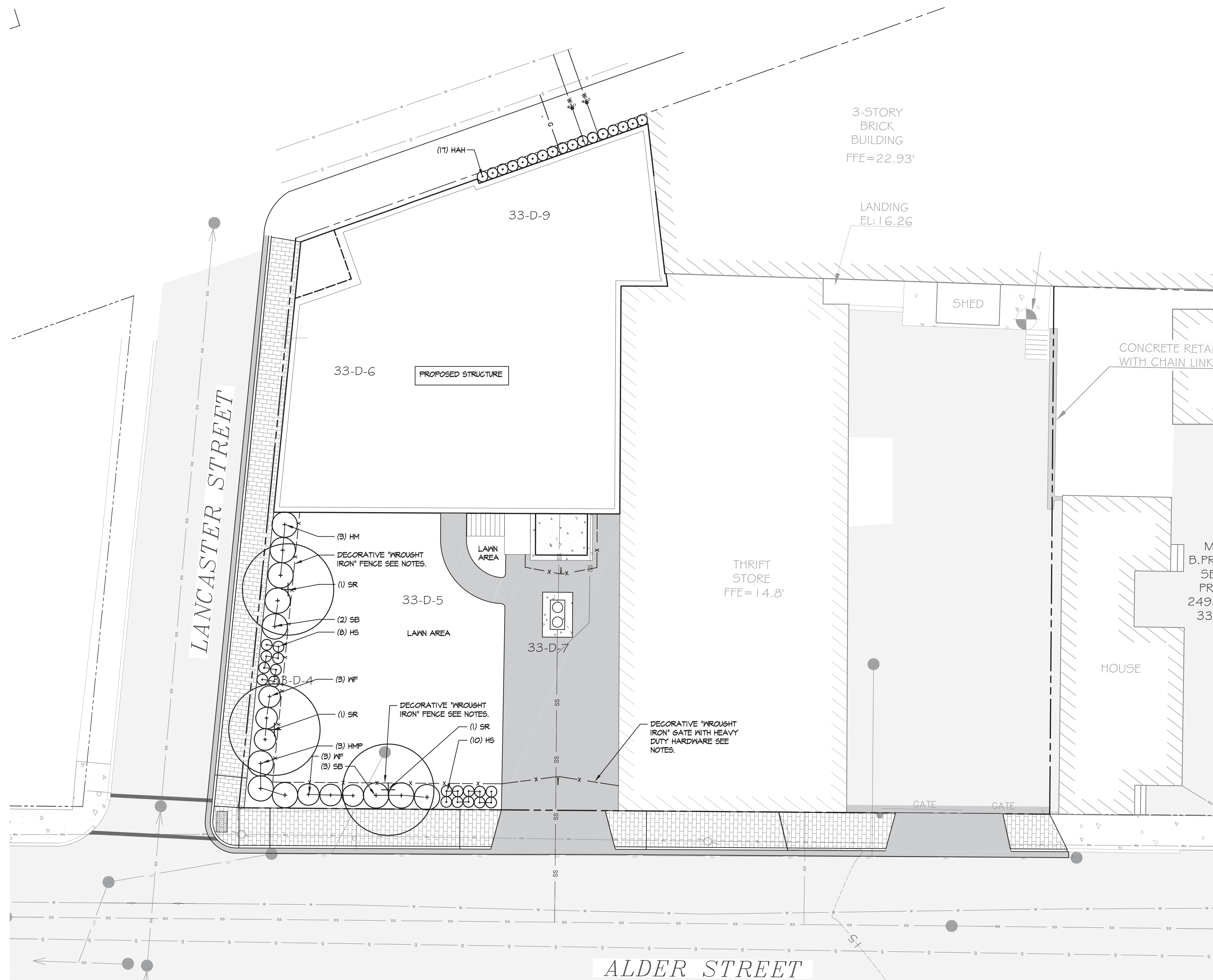
SEAL:

**PROGRESS PRINT  
ONLY NOT FOR  
CONSTRUCTION**

**LANDSCAPE PLAN**

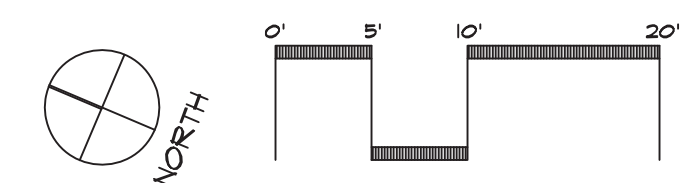
SCALE:	10'-0"	DATE:	JULY 2016
JOB:	16-126		
FILE:	-		
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CHECKED:	PBB		

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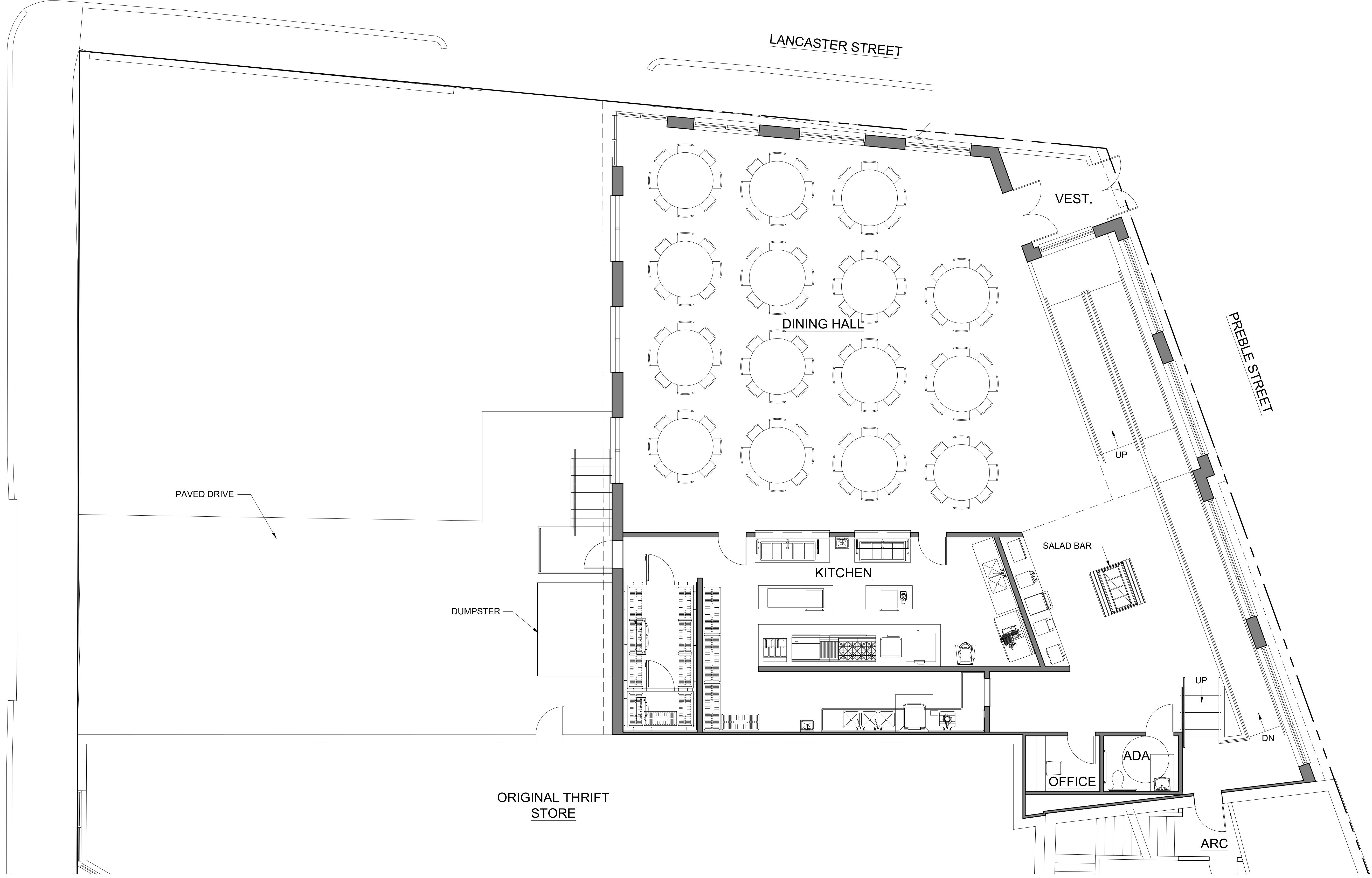


**LANDSCAPE NOTES:**

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE ARCHITECT WITH CONCERNS AND/OR SUGGESTIONS WITH REGARDS TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN GRAPHICALLY ON THIS DRAWING. CLARIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT PRIOR TO PRICING ANY PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S 'AMERICAN STANDARD OF NURSERY STOCK'.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE SITE. PLANTS WHICH ARE REJECTED SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL TREES AND SHRUBS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED SPRUCE AND FIR BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING AND BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO BEDS, WHERE MULCHED PLANT BED ADJUTS LAWN, CONTRACTOR SHALL PROVIDE A TURF CUT EDGE.
- ALL TREES SHALL BEGIN BRANCHING AT 6' HT. MIN.
- ALL PLANT MATERIAL OR REPRESENTATIVE SAMPLES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON THE PLANTS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL LOAMED DISTURBED AREAS AS FOLLOWS:  
- NATURAL SEEDING AREAS 4" DEPTH OF TOPSOIL  
- LAWN AREAS 6" DEPTH OF TOPSOIL  
- PLANTING STRIP 24" DEPTH OF TOPSOIL
- SEED MIXTURE FOR LAWN AREA SHALL BE SEEDED WITH: (SEED TYPE & BY WEIGHT)  
CREEPING RED FESCUE (MIN. 2 VARIETIES) 55%, KENTUCKY BLUEGRASS (MIN. 2 VARIETIES) 30%, PERENNIAL RYE GRASS 15%. SEEDING RATE PER 1000 SQ.FT. TO BE 3 LBS. MIN.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE. THE CONTRACTOR SHALL PURCHASE AND INSTALL A TREEGATOR WATERING BAG ON EACH OF THE THREE PROPOSED TREES.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF FINAL ACCEPTANCE.
- 'WROUGHT IRON' FENCE TO BE THE EP-3 (STYLE III) INDUSTRIAL GRADE, 12' HEIGHT, BLACK IN COLOR, ALIGNED PICKETS WITH FINALS AS MANUFACTURED BY JERITH ALUMINUM FENCES.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND OR CAPPED OR DEMOLISHED AS REQUIRED.



ALDER STREET



PAVED DRIVE

DUMPSTER

ORIGINAL THRIFT STORE

LANCASTER STREET

DINING HALL

VEST.

KITCHEN

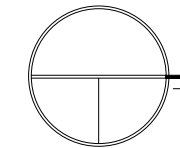
SALAD BAR

OFFICE

ADA

ARC

PREBLE STREET



FLOOR PLAN

SCALE: 3/16" = 1'-0"



REVISIONS
1
2
3
4
5

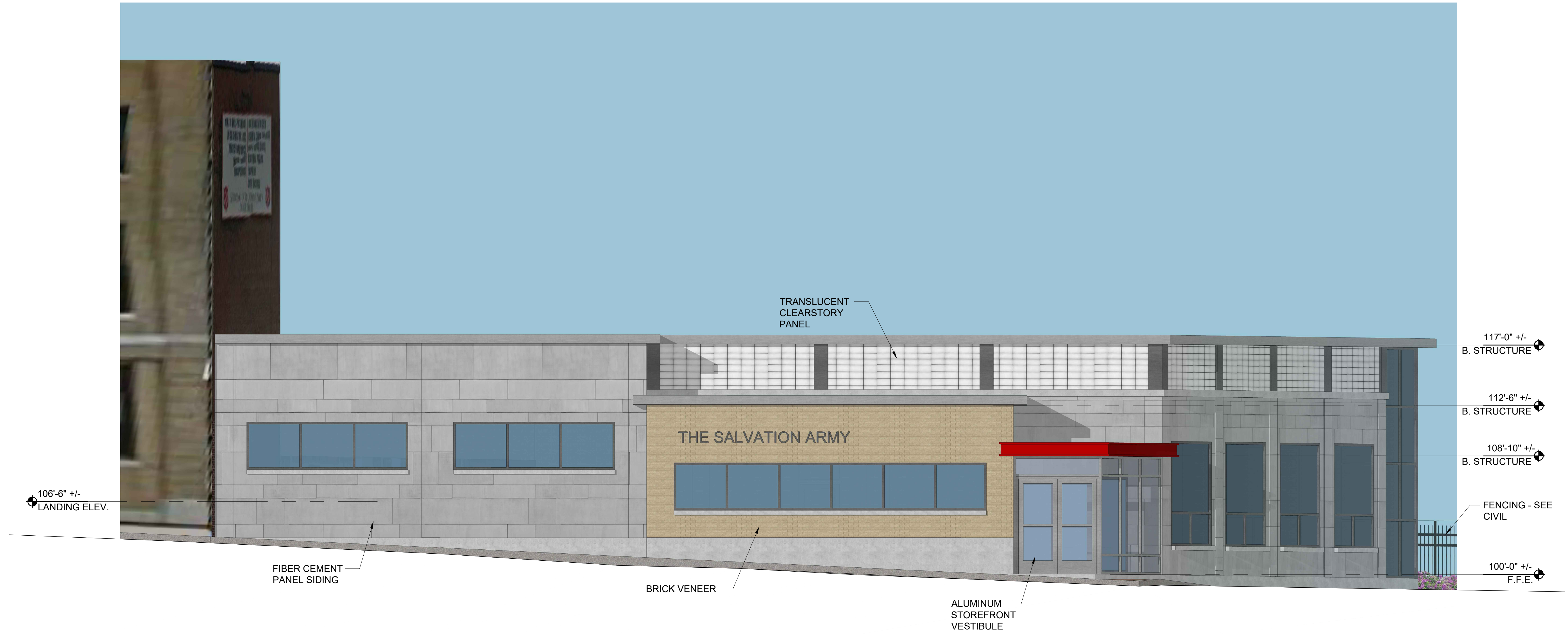
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 NOT FOR CONSTRUCTION**

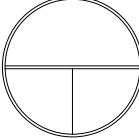
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**AEW**  
 SHEET TITLE  
**FLOOR PLAN**

ISSUE DATE  
**7/8/16**  
 SHEET SCALE  
**3/16" = 1'-0"**

**A**

**A100**



 EAST ELEVATION  
 0 4'-0" SCALE: 1/4" = 1'-0"

ISSUE DATE  
**7/8/16**  
 SHEET SCALE  
 3/16" = 1'-0"

DRAWN BY  
**AEW**  
 SHEET TITLE

**CONCEPT DRAWINGS  
 NOT FOR CONSTRUCTION**  
**EAST ELEVATION**

REVISIONS

1	-
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5	-

PROJECT NO.  
**15031**  
 PROJECT NAME  
**SALVATION ARMY ARC  
 PORTLAND, ME**



**Bild Architecture**  
 PO Box 8235  
 Portland, ME  
 04104  
 207.408.0168  
 evan@bildarchitecture.com

**A**  
**A101**



ISSUE DATE  
**7/8/16**  
SHEET SCALE  
3/16" = 1'-0"

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SHEET TITLE

**CONCEPT DRAWINGS  
NOT FOR CONSTRUCTION**  
**NORTH ELEVATION**

REVISIONS

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PROJECT NO.  
**15031**  
PROJECT NAME  
**SALVATION ARMY ARC  
PORTLAND, ME**

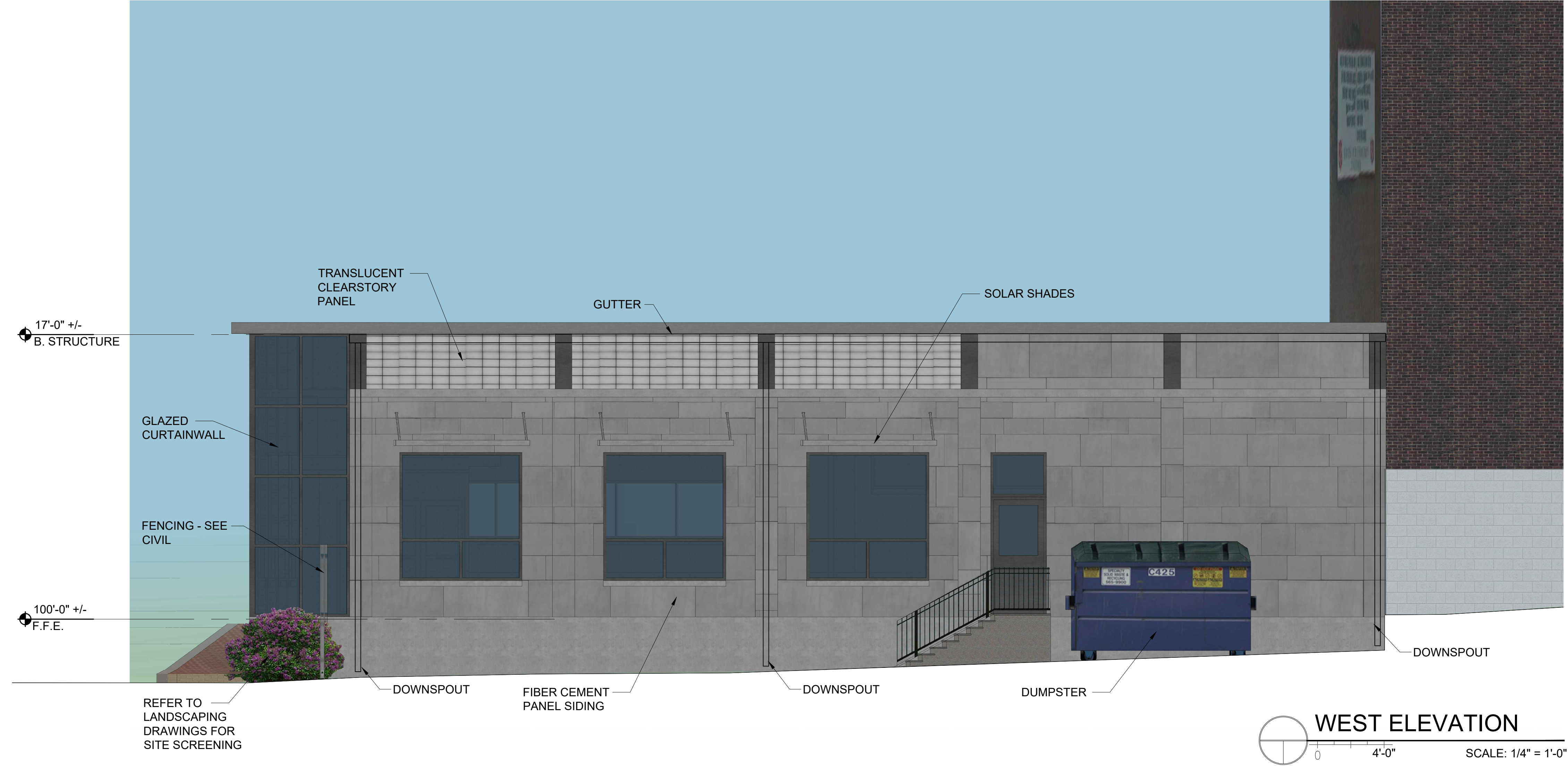


**Bild Architecture**  
PO Box 8235  
Portland, ME  
04104  
207.408.0168  
evan@bildarchitecture.com

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**A102**





ISSUE DATE  
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SHEET SCALE  
3/16" = 1'-0"

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SHEET TITLE

**CONCEPT DRAWINGS  
NOT FOR CONSTRUCTION**  
**WEST ELEVATION**

REVISIONS  
1 -  
2 -  
3 -  
4 -  
5 -

PROJECT NO.  
**15031**  
PROJECT NAME  
**SALVATION ARMY ARC  
PORTLAND, ME**



**Bild Architecture**  
PO Box 8235  
Portland, ME  
04104  
207.408.0168  
evan@bildarchitecture.com

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**A103**



VIEW #1  
0 N.T.S. SCALE: N.T.S.

ISSUE DATE  
**7/8/16**  
SHEET SCALE  
3/16" = 1'-0"

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SHEET TITLE  
**VIEW #1**

**CONCEPT DRAWINGS**  
**NOT FOR CONSTRUCTION**

REVISIONS
1
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**SALVATION ARMY ARC  
PORTLAND, ME**



**Bild Architecture**  
PO Box 8235  
Portland, ME  
04104  
207.408.0168  
evan@bildarchitecture.com

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**A104**



VIEW #2  
0 N.T.S. SCALE: N.T.S.

ISSUE DATE  
**7/8/16**  
SHEET SCALE  
3/16" = 1'-0"

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**AEW**  
SHEET TITLE  
**VIEW #2**

**CONCEPT DRAWINGS**  
**NOT FOR CONSTRUCTION**

REVISIONS
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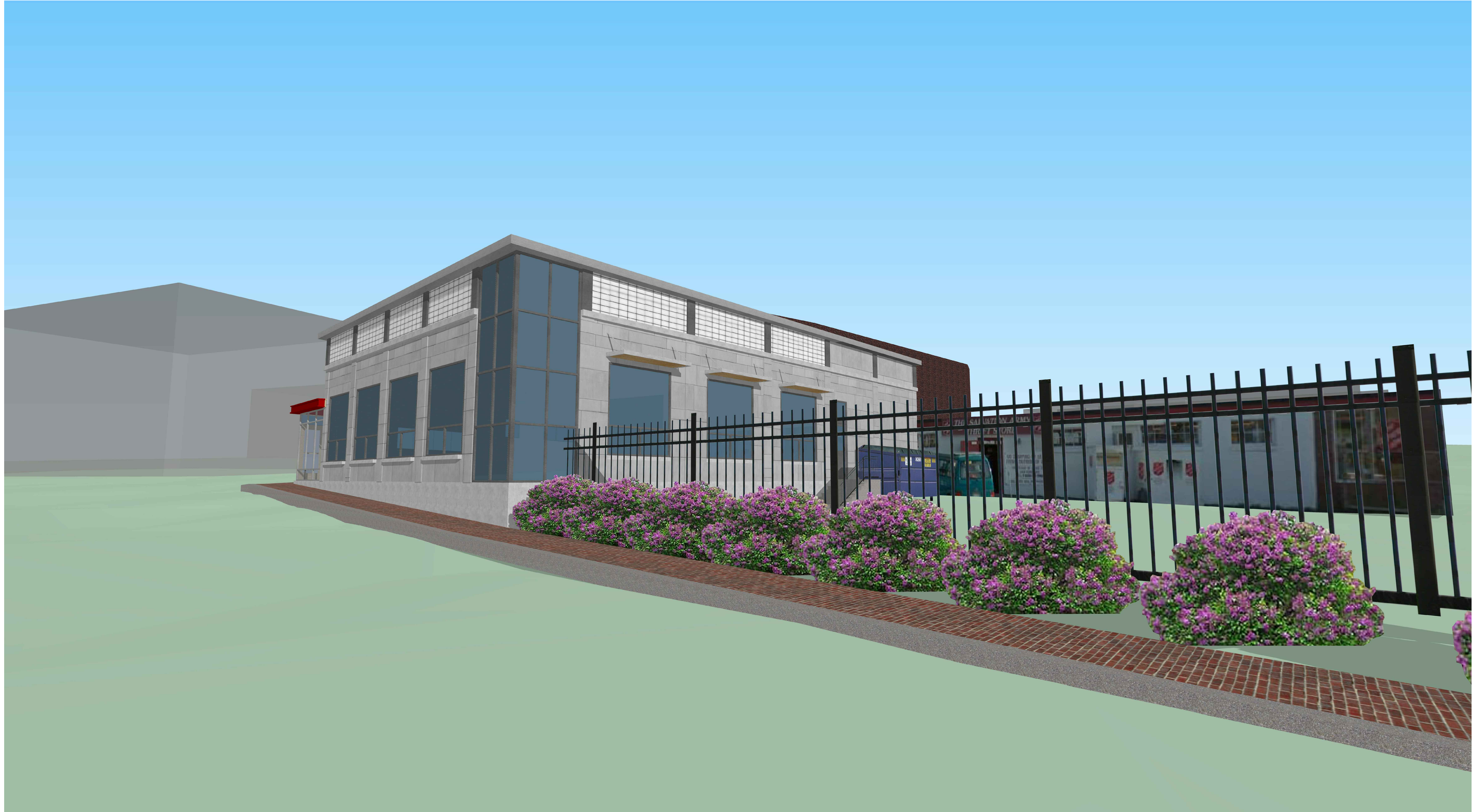
PROJECT NO.  
**15031**  
PROJECT NAME  
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PORTLAND, ME**



**Bild Architecture**  
PO Box 8235  
Portland, ME  
04104  
207.408.0168  
evan@bildarchitecture.com

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**A105**



VIEW #3  
0 N.T.S. SCALE: N.T.S.

ISSUE DATE  
**7/8/16**

DRAWN BY  
**AEW**

SHEET TITLE  
**VIEW #3**

CONCEPT DRAWINGS  
NOT FOR CONSTRUCTION

REVISIONS
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PROJECT NO.  
**15031**

PROJECT NAME  
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PORTLAND, ME**



**Bild Architecture**  
PO Box 8235  
Portland, ME  
04104  
207.408.0168  
evan@bildarchitecture.com

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**A106**