



August 2, 2016

City of Portland Fire Department
380 Congress Street
Portland, ME 04101

**RE: Level II Site Plan Application
Salvation Army Building Addition
88 Preble Street
Portland, Maine**

To Whom It May Concern,

In accordance with the requirements of the City's Site Plan review application, we have provided the enclosed drawing necessary for your review of the Salvation Army Building Addition located at 88 Preble Street in Portland. We have also provided the necessary information in the narrative below.

1. Name, address and telephone number of applicant
*Salvation Army
30 Warren Avenue
Portland, Maine 04103
207-878-8555*
2. Name address and telephone number of architect.
*Audra Wrigley, Bild Architecture
PO Box 8235
Portland, Maine 04104
207-408-0168*
3. Proposed use of any structures.
The project consists of the construction of a 4,217± square foot addition to the existing building at 88 Preble Street. The new addition will house a replacement kitchen and dining hall for use by the residents of the Adult Rehabilitation Center.
4. Square footage of all structures
The new building will be one story and have a footprint of approximately 4,217± square feet.
5. Elevations of all structures
The building finish floor elevation will be set slightly higher than the sidewalk grade at the corner of Preble Street and Lancaster Street. The building will be one story and the roof height will be approximately 18.75' above the Preble Street sidewalk. Grade drops along Lancaster Street putting the roof elevation approximately 21.75' above grade facing Alder Street.

6. Proposed fire protection of all structures.
A sprinkler system will be installed in the building.
7. Hydrant locations
An existing fire hydrant is located on Preble Street across from the proposed addition. The hydrant is approximately 49' from the face of the proposed building addition.
8. Water mains and sizes
A 16" cast iron water main exists in the Preble Street ROW. A new 1" domestic water service line and a separate 4" fire suppression line are proposed to be constructed to the building.
9. Access to structures (min. 2 sides)
The structure can be accessed along the north and east sides along Lancaster and Preble Street.
10. Code summary shall be included referencing NFPA and all fire department technical standards.
The architectural design is not yet completed. The design will conform to all NFPA code requirements. A code summary will be provided by the architect during the building permit process.

We trust that we have provided sufficient information for your review. Please contact us if you have any comments or questions.

Respectfully,



Silas Canavan, PE
Walsh Engineering Associates, Inc.



PARCEL INFORMATION

- SITE AREA: 0.99± ACRES
SITE AREA TAKEN FROM CITY TAX ASSESSOR'S INFORMATION MAP 33, BLOCK D, LOTS 4 THRU 11, 15, & 22 THRU 26
- OWNER/APPLICANT: THE SALVATION ARMY
30 WARREN AVE
PORTLAND, MAINE 04103
- ZONING DISTRICTS:
B-2b COMMUNITY BUSINESS ZONE
- SPACE AND BULK STANDARDS

	REQUIRED	EXISTING
MINIMUM LOT SIZE*	NONE	0.99± AC*
MINIMUM LOT WIDTH	NONE	57.8±
MINIMUM STREET FRONTAGE	20'	475±
FRONT YARD SETBACK	NONE	0'
REAR YARD SETBACK	10'	94'
SIDE YARD SETBACK	NONE	0'
SIDE YARD ON SIDE STREET	NONE	63'
MAXIMUM IMPERVIOUS SURFACE RATIO*	90%	84%
MAXIMUM HEIGHT OF STRUCTURES	45'	UNKNOWN

- *THE ENTIRE SITE WAS NOT SURVEYED THEREFORE, THE TOTAL EXISTING SITE AREA AND IMPERVIOUS SURFACE AREA WAS APPROXIMATED USING AERIAL PHOTOS AND GIS TAX MAP LINES IN AREAS THAT WERE NOT SURVEYED.
- EXISTING UTILITY NOTES:**
- THE UNDERGROUND UTILITIES HEREOFN SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
 - CONTRACTOR SHALL COORDINATE WITH THE PORTLAND WATER DISTRICT, DIGSAFE, AND/OR A PRIVATE UTILITY LOCATOR AS NECESSARY TO DETERMINE THE LOCATION OF THE EXISTING SERVICE CONNECTION TO BE RETIRED IN PREBLE STREET.

PLAN REFERENCES:

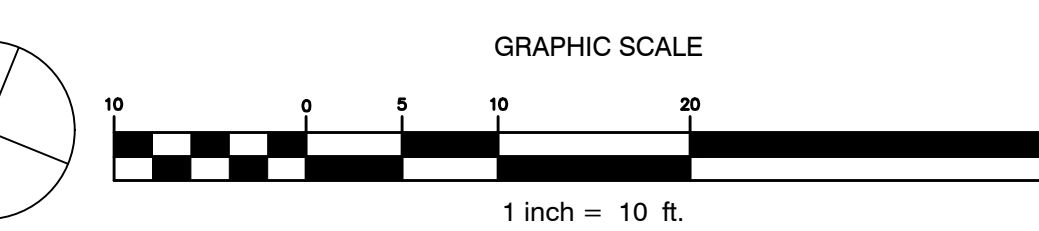
- ONSITE TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM THE FOLLOWING:
 - A PLAN TITLED "PARTIAL BOUNDARY SURVEY OF THE SALVATION ARMY", PREPARED BY JONES ASSOCIATES, INC. OF AUBURN, MAINE, DATED JULY 6, 2016.
- FIELD OBSERVATIONS BY WALSH ENGINEERING ASSOCIATES, INC. ON MULTIPLE SITE VISITS IN 2015 AND 2016.
- PLAN IS REFERENCED TO CITY OF PORTLAND HORIZONTAL DATUM, MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83.
- ELEVATIONS SHOWN ARE TIED TO THE CITY OF PORTLAND DATUM (NGVD29) PER CITY OF PORTLAND OFFSET MONUMENT MF142 AT THE SOUTHWESTERLY CORNER OF ALDER STREET AND KENNEBEC STREET, DRILL HOLE ELEVATION 110.145.

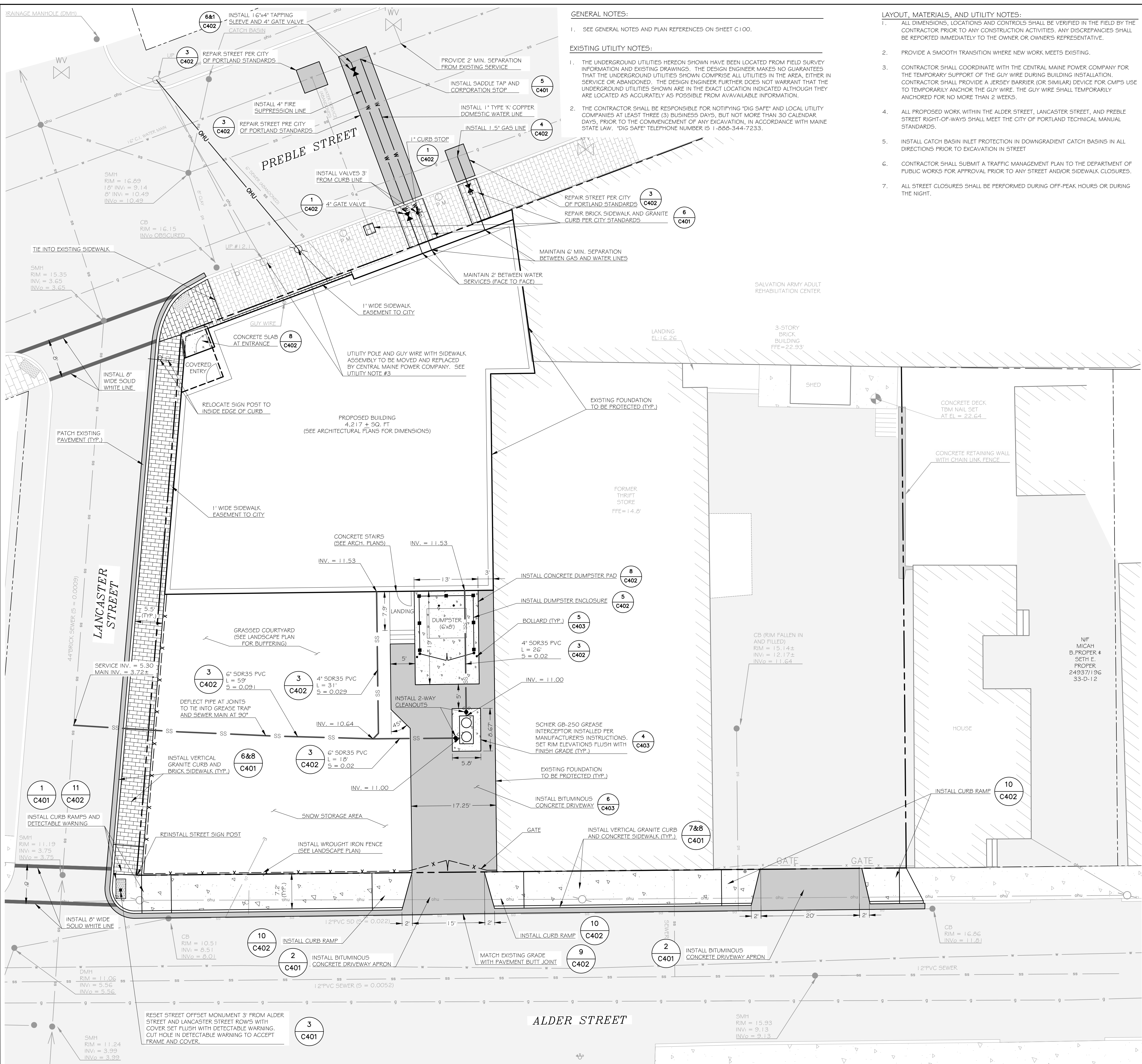
GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
- ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
- ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAPS.
- ALL WATER MAIN AND WATER SERVICE WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.
- ALL PROPOSED WORK WITHIN THE ALDER STREET AND LANCASTER RIGHT-OF-WAYS SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
- INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADIENT CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.
- CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY STREET AND/OR SIDEWALK CLOSURES.
- ALL STREET CLOSURES SHALL BE PERFORMED DURING OFF-PEAK HOURS OR DURING THE NIGHT.

LEGEND

EXISTING	PROPOSED





- GENERAL NOTES:**
- SEE GENERAL NOTES AND PLAN REFERENCES ON SHEET C100.
- EXISTING UTILITY NOTES:**
- THE UNDERGROUND UTILITIES HEREON SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE DESIGN ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE DESIGN ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.

- LAYOUT, MATERIALS, AND UTILITY NOTES:**
- ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
 - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
 - CONTRACTOR SHALL COORDINATE WITH THE CENTRAL MAINE POWER COMPANY FOR THE TEMPORARY SUPPORT OF A JERSEY BARRIER (OR SIMILAR) DEVICE FOR CMPS USE TO TEMPORARILY ANCHOR THE GUY WIRE. THE GUY WIRE SHALL TEMPORARILY ANCHORED FOR NO MORE THAN 2 WEEKS.
 - ALL PROPOSED WORK WITHIN THE ALDER STREET, LANCASTER STREET, AND PREBLE STREET RIGHT-OF-WAYS SHALL MEET THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
 - INSTALL CATCH BASIN INLET PROTECTION IN DOWNGRADIENT CATCH BASINS IN ALL DIRECTIONS PRIOR TO EXCAVATION IN STREET.
 - CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY STREET AND/OR SIDEWALK CLOSURES.
 - ALL STREET CLOSURES SHALL BE PERFORMED DURING OFF-PEAK HOURS OR DURING THE NIGHT.

PARCEL INFORMATION

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SITE AREA TAKEN FROM CITY TAX ASSESSOR'S INFORMATION MAP 33, BLOCK D, LOTS 1, 11, 4 22 THRU 26
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PORTLAND, MAINE 04103
- ZONING DISTRICTS:** B-2b COMMUNITY BUSINESS ZONE
- SPACE AND BULK STANDARDS**

	REQUIRED	EXISTING	PROPOSED
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MINIMUM STREET FRONTAGE	20'	475±	NO CHANGE
FRONT YARD SETBACK	NONE	0'	1'
REAR YARD SETBACK	10'	94±	57±
SIDE YARD SETBACK	NONE	0'	1'
SIDE YARD ON SIDE STREET	NONE	63±	57±
MAXIMUM IMPERVIOUS SURFACE RATIO*	90%	84%	81%
MAXIMUM HEIGHT OF STRUCTURES	45'	UNKNOWN	21.75'

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- SEE SHEET C201 FOR OFF-STREET PARKING AND BICYCLE PARKING REQUIREMENTS.
- SNOW STORAGE WILL BE PROVIDED IN THE GRASSED COURTYARD AREA.

LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	ABUTTER LOT LINE	
	PROPERTY CORNER	
	SANITARY SEWER LINE	SS
	SANITARY SEWER CLEANOUT	SS
	STORM DRAIN LINE	SD
	WATERLINE	W
	WATER SHUTOFF	
	WATER LINE VALVE	
	GAS LINE	G
	GAS VALVE	
	OVERHEAD UTILITY LINE	
	UNDERGROUND COMMUNICATIONS	
	UTILITY POLE	
	BUILDING	
	METAL FENCING	
	WOOD FENCE	
	EDGE OF PAVEMENT	
	EDGE OF CONCRETE	
	GRANITE CURB	
	BRICK SIDEWALK	

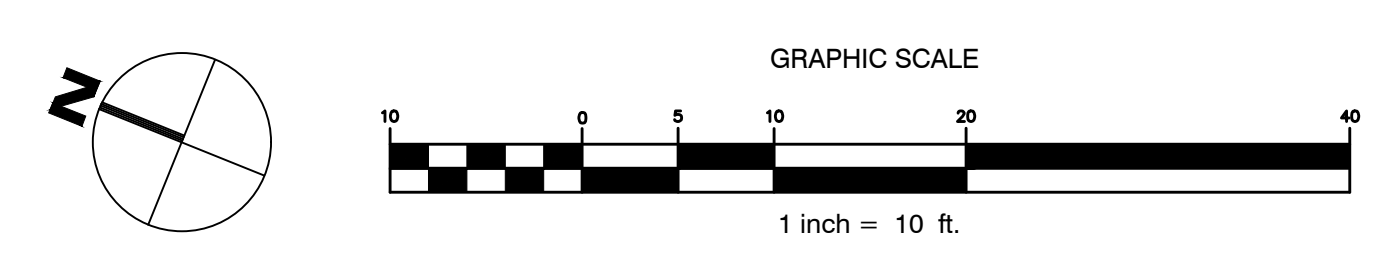


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WALSH ENGINEERING ASSOCIATES, INC.
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PROJECT NO. **15031**
PROJECT NAME **SALVATION ARMY**
PORTLAND, MAINE

DOCUMENTS NOT FOR CONSTRUCTION

REVISIONS

1	-
2	-
3	-
4	-
5	-

DRAWN BY **SWC**
SHEET TITLE **Site Layout and Utility Plan**

ISSUE DATE **8/2/16**
SHEET SCALE **1" = 10'**

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