

33-C-9

2002-0040

49 Hanover Street

Multi-Family

PROP

add to Spreadsheet

**PLANNING BOARD REPORT #17-02**

**PROP MULTI-FAMILY DEVELOPMENT  
49 HANOVER STREET  
SITE PLAN AND SUBDIVISION REVIEW**

Submitted to:

Portland Planning Board  
Portland, Maine

March 12, 2002

## **I. INTRODUCTION**

A public hearing has been scheduled to consider a proposal by Peoples Regional Opportunity Program (PROP) for a 3 unit residential building in the vicinity of 49 Hanover Street. The plan is subject to site plan and subdivision review.

149 notices were sent to area property owners.

## **II. FINDINGS**

Zoning: R-7 Compact Urban Residential Overlay Zone

Land Area: 3,802 sq. ft.

Dwellings: 3

Parking Spaces: 3

Building Height: 36 feet

Building Footprint: 1,364 sq. ft.

After Planning Board recommendation, the City Council voted to approve an R-7 designation for this site on March 4, 2002. Since the Council included an emergency enactment date, the zone change became effective immediately.

A dilapidated single-family house on the site was recently removed to accommodate this development.

The neighboring area is characterized by a mix of residential, commercial and institutional uses. The Public Works central maintenance facility is across the street. A Public Works heavy equipment parking lot is next to the site (northerly). Residential uses are found on the southerly and easterly sides of the site. Most of the lots in the Hanover-Lancaster-Alder-Portland Street block are residential. On Portland Street (along this block) there is a variety store, parking lot and a sign shop. Portland Street between Preble Street and Forest Avenue has a mix of commercial and residential uses.

## **III. STAFF REVIEW**

This plan has been reviewed by staff for conformance with the applicable review standards of the site plan and subdivision ordinances.

### **SITE PLAN REVIEW**

1/2. Traffic

Access into the site is from a driveway off Hanover Street. Three parking spaces are shown off the driveway and behind the building. Like many other peninsula parking areas, the layout is tight but workable.

3. Bulk, location, height of building and proposed uses will not cause health or safety problems

There are no known health or safety issues associated with the plan. The proposal replaces a blighted residential building that was recently removed from the site.

4. Bulk, location, height of buildings minimizes the diminution in value or utility to surrounding structures

The proposed building is 3 stories high well below the 50 foot R-7 height limit. Given that this proposal replaces a substandard building and has a strong residential design, this development should increase the value and utility of surrounding properties.

5. Sewers, water, solid waste disposal

A 6-inch water main in Hanover Street will serve the development. A letter from the Portland Water District indicates there is "an adequate supply of clean and healthful water" to serve the project. See Attachment D. The District also states "there should be adequate capacity of water" to serve the project.

A letter from Public Works that the 15 inch sewer line in Hanover Street has adequate capacity to transport anticipated flows from the development and the Portland Water District sewage treatment facilities also has adequate capacity to treat the anticipated wastewater flows of the development. See Attachment E.

Solid waste disposal will be by street side collection by the City. A fenced in area on site will provide storage for trash cans.

#### 6/7. Landscaping

Two Imperial Thornless Honeylocust are proposed along the rear property line. Four bushes are shown along the southerly edge of the building.

Jeff Tarling, City Arborist, has reviewed the plan and recommends the following:

- One street tree should be planted in the public sidewalk in front of the building. A Honeylocust (2 1/2 inch caliper) may be planted in a 3 ft. by 5 ft. tree well in the sidewalk.
- The number of bushes along the southerly side of the building should be increased from 4 to 7 bushes. Replace the Red Twig Dogwood; Mr. Tarling suggests planting Bay Berry or Miss Kim Lilac.

#### 8. Soil and Drainage

Given the compact size of the lot and the urban character of the neighborhood, it is not practical to detain stormwater on the site. Stormwater will sheetflow off site primarily to the rear. The site plan shows sheetflow arrows. The plan notes that stone drip strips with foundation drains will be placed along most sides of the building foundation.

E. Parking

Landscaping is proposed along the edge of the parking lot. The parking lot is efficient in size and layout minimizing the amount of blacktop.

13. Natural Resources

This site is a small vacant lot in a densely developed neighborhood. There are no known adverse impacts on groundwater quantity and quality, surface water quantity and quality, wetlands, unusual natural areas, wildlife and fisheries habitat. Public water and sewer serve the site.

**R-7 Design Standards**

1. Porches and bays

Each new building has an architecturally integrated front porch that faces the street.

2. Entryways

The main entryways to the buildings are visible and oriented to the street.

3. Visible and permanent expression of the character of the neighborhood

The building design is successful in reflecting the architectural character of the neighborhood. This can be seen in the porches, the gable to the street, the configuration and pitch of the roofline façade trim, corner boards, as well as spacing and sizing of the windows.

4. Articulated facade

The porches help provide a visually interesting façade to pedestrians as well as the design elements discussed in section #3 above.

5. Reinforce the public realm of open space

The overall design of the building including the first floor façade elements reinforces the public realm of open space. See above comments.

6. Visual and acoustical privacy

Visual and acoustical privacy is addressed by the floor layout plan.

7. Natural light and ventilation

The large number of windows and porches shown on the façade drawings maximizes the opportunity for natural light and ventilation.

## SUBDIVISION REVIEW

### 1. Water or Air Pollution

There are no known water or air pollution issues. Public water and sewer serve the development. It is not in a flood plain.

### 2./3. Water Supply

See Site Plan Review, section #5.

### 4. Soil Erosion

See Site Plan Review, section #8.

### 5. Traffic

The small number of dwellings proposed will have a minimal impact on the surrounding roadway system. No traffic related concerns were identified in the review. See also Site Plan Review, section #1.

### 6/7. Sanitary Waste and Storm Water

Existing sanitary waste lines in Monroe Street and Greenleaf Street will be used. There is adequate capacity in the sewer system to accommodate this development. See Attachment E.

### 8. Scenic, Natural Beauty, Aesthetics

This site is a vacant lot in an urban neighborhood. The project will improve the aesthetic quality of the neighborhood. There are no known natural or manmade resources that will be adversely affected by this proposal.

### 9. Land Development Plan

The proposal is in conformance with the Comprehensive Plan.

### 10. Financial and Technical Capacity

Financial and technical capacity information has been submitted. See Attachment C.

## DEVELOPMENT REVIEW ISSUES

There have been a number of issues identified by Staff. These comments are highlighted primarily on Attachments F and H. A revised set of plans arrived Friday morning. We will endeavor to review the updated plans for Tuesday's meeting. Staff comments and condition of approval are therefore likely to change.

#### IV. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #17-02, the Planning Board finds:

- A. That the plan is in conformance with the site plan ordinance of the land use code.

Potential conditions of approval:

1. That the plan be revised for review and approval reflecting the comments of the City Arborist.
2. That the plan be revised for review and approval reflecting the comments of the City of Portland Engineering Consultant (Attachment F).
3. That a stamped boundary survey be submitted for Planning Staff review and approval.
4. That a revised exterior light fixture catalog cut be submitted for Planning Staff review and approval.
5. That the site plan be revised reflecting the comments in Attachment H for Planning Staff review and approval.

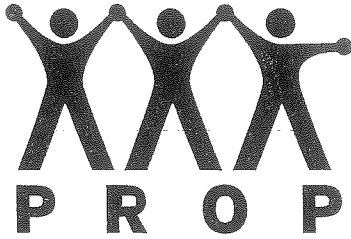
- B. That the plan is in conformance with the subdivision ordinance of the land use code.

Potential conditions of approval:

1. That a revised recording plat be submitted for Planning Staff review and approval.

#### Attachments

- A. Site Plan (updated 3-8-02)
- B. Building Elevations (updated 3-8-02)
- C. Background Info
- D. Portland Water District Letter
- E. Public Works Sewer Capacity Letter
- F. City of Portland Engineering Consultant Comments
- G. Lighting
- H. Planning Staff Comments
- I. Updated Submission Received 3-8-02



**People's Regional  
Opportunity Program**

510 Cumberland Avenue  
Portland, Maine 04101  
(800) 698-4959  
or (207) 874-1140  
fax (207) 874-1155  
tty (207) 874-1013  
www.propeople.org

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PROP FAMILY

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PROP HOME

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PROP SENIORS

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PROP YOUTH

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PROP COMMUNITY

February 19, 2002

City of Portland Planning Department  
Rick Knowland  
389 Congress St  
Portland, ME 04103

Dear Mr. Knowland;

We are pleased to submit the attached City of Portland Site Plan Application. This application is being made on behalf of the Peoples Regional Opportunity Program (PROP) for a housing development located at 49 Hanover Street.

PROP, with the assistance of a local architect, has designed an in-fill module that reflects the mass, scale, and character of a number of residential districts in Portland. We have created a versatile design consisting of 3-bedroom units, each 1364 SF, to be constructed as a 3-unit triplex. The units will be modular in construction and the configuration, which consists of a fully accessible flat on the ground floor with duplex units above, creates a compact, efficient organization of space contained within an architectural vernacular.

The units themselves are designed with three bedrooms over 100SF, 1 1/2 bathrooms, living room, kitchen, and dining area. Notable features of our design include: Energy efficient housing with insulation R values greater than those recommended by the Department of Energy; each unit will have direct access to grade; washer dryer hookups; recessed porches, units above the first floor will have open air porches; compact energy efficient hydronic heating; State of Maine sprinkler system; construction atop a full foundation.

This proposed development will consist of placement of one module at 49 Hanover Street. PROP feels that this proposal meets the need for providing quality, affordable Housing for the City of Portland.



If you have any questions or would like any further information  
I can be reached at 842-2988 extension 22 or you may contact  
Carla Peterson at extension 26..

Sincerely,



Robert E. Cain  
Director of Housing

Encl.

# City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 49 Hanover Street Portland		
Total Square Footage of Proposed Structure 4092	Square Footage of Lot 3802.74sf	
Tax Assessor's Chart, Block & Lot Chart# 33 Block# C Lot# 009	Property owner, mailing address: PROP 510 Cumberland Ave. Portland, Me. 04101	Telephone: 842-2988
Consultant/Agent, mailing address, phone & contact person Bob Cain 842-2988 PROP 510 Cumberland Ave. Portland, Me 04101	Applicant name, mailing address & telephone: Same As Above	Project name: PROP Family Housing
Proposed Development (check all that applies) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input checked="" type="checkbox"/> Subdivision, amount of lots 1 <input type="checkbox"/> Other: _____		
Major Development <input checked="" type="checkbox"/> \$575.00 <del>\$500.00</del> Minor Development _____ \$400.00		
Who billing will be sent to: PROP Housing Mailing address: 510 Cumberland Ave. Portland Me. 04101 Contact person: Bob Cain Phone: 842-2988 State and Zip: x22		


Nine (9) separate packets must include the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

All plans must be folded neatly and in packet form

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .25 per page, you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 2/19/02
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This application is for site review ONLY, a building Permit application and associated fees will be required prior to construct

Title: Written Statement  
Sec. 14-525(c)

**1. Description of proposed uses to be located on site.**

The project site located at 49 Hanover St. will be used for the development of 3-units of rental housing. Refer to Pinkham and Greer Drawing CI.

**2. Quantity and type of Residential.**

The housing units will consist of modular construction in a versatile design of a three bedroom triplex. The configuration consists of a full basement with a flat on the ground floor with duplex units above, creating a compact efficient organization of space. This project will have one building consisting of three 3-bedroom residential units.

**3. Total land area of site.**

The site is a total of 3,802.74 SF.

**4. Total floor area and Ground Coverage.**

Total floor area and ground coverage is 1364 SF.

**5. General summary of existing and proposed easements or other burdens.**

There are no existing or proposed easements or other burdens.

**6. Method of handling solid waste disposal.**

We will construct a 5' X 8' area with a concrete floor and 6' high wooden fence for 3-50 gallon trash receptacles. Each receptacle will be labeled for the designated unit. The tenants will be responsible for putting the receptacles out at the curb on trash day.

**7. Applicants evaluation of availability of off-site public facilities, including sewer, water and streets.**

See enclosed letter from PWD and requests from Northern Utilities, and Public Works.

**8. Description of any problems of drainage or topography, or a representation that there are none.**

There are no problems with drainage or topography see Pinkham and Greer Drawing CI.

**9. An estimate of the time period required for completion of the development.**

We anticipate development completion end of May 2002 pending City approvals.

**10. Construction Plan outlining the anticipated sequence of construction of the major features of the project including without limitation, roads, retention basins, sewer lines, seeding and other pollution abatement control measures and also setting forth the approximate dates for commencement and completion of the project.**

Assuming an April 15, 2002 building permit we would begin foundation work on April 16, 2002. Silt fences will be installed as required. The foundation work, which will include tie in to existing sewer and water lines, will be complete by April 30,2002. Units will be set on May 1-2, 2002 and "B work" (tie together of units, attached) will completed by the end of May.

**11. A list of all state and federal regulatory approvals to which the development may be subject.**

N/A

**12. The status of any pending applications.**

N/A

**13. Anticipated time frame for obtaining such permits.**

N/A

**14. A letter of non-jurisdiction.**

N/A

**15. Price range of houses that will be built in the subdivision**

Each unit will be constructed for a price of \$100,000.00-\$110,000.00 making the total development cost \$300,000.00-330,000.00.

**16. Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it.**

The Development team consists of the PROP Housing Department and Scott Teas of TFH architect (architectural consultant) and Tom MacDonald of MacDonald Associates (financial consultant for Tax Credit purposes).

The PROP Housing Department consists of 10 employees and 3 maintenance staff. Our experience includes over 60+/- years of construction and development experience. We currently own and manage 27 units of rental housing, that we have purchased and rehabbed in the past 15 years. We are in the process of renovating of five multi-units in the City of Westbrook. In conjunction with the Maine State Housing Authority (MSHA) we oversaw the financial and construction aspects of 500 Fix Me loans and are currently one of only 3 non-profit Agencies administering a Maine Home Repair Pilot. Along with the above we have also run a variety of programs from various sources that include, weatherization, central heating improvements, oil tank replacement, water and energy conservation, homeownership, home purchase, home rehab and resale and others with an annual budget of over 1 million dollars.

Financing will be from an array of sources. Attached is a commitment letter from Key Bank for construction financing and line of credit for property purchase. Also included is a letter from Key Bank indicating the possibility of commitment for Low Income Housing Tax Credits. We have applied for Federal Home Loan Bank Affordable Housing Grant for \$125,000.00 for 34 units (grant awards will be made sometime in March). We are in the process of applying for Low Income Housing Tax Credit funding for the March round (reservations awarded at the beginning of April). The City of Portland reserved \$200,000.00 of CDBG/HOME funds for development of 15-18 units in August 2001. We approached the City for additional funding and the request of \$414,000.00 was unanimously approved by the Housing Council and expected to go to for full Council approval in March. (letter and Housing Council meeting minutes attached).

C-7

EXHIBIT X

Mark B. Adelson, Director  
Division of Housing &  
Neighborhood Services



Department of Planning and  
Urban Development

CITY OF PORTLAND

August 27, 2001

Grant Lee, Executive Director  
People's Regional Opportunity Program  
510 Cumberland Avenue  
Portland, ME 04101

Dear Grant,

At its August 20<sup>th</sup> meeting the Housing Sub-Committee of the City Council endorsed PROP's preliminary application for funding under the April 30<sup>th</sup> RFP. We ask that you now complete a final application for your "Scattered Site" Affordable Rental Housing Project.

- Elements of the final application include:
- Site control for development
  - Financing package - plan and commitments
  - Building and site design
  - Permit approvals
  - List of development team members - particularly changes from initial application

It is hoped you can assemble the final application as rapidly as possible, within 90 days if possible. I'd ask that you remain in contact during this period as the develop proposal is finalized. Your application requested \$340,000 in funding for 30 units. Given the potential to phase the project over a number of years we are reserving \$200,000 from the current budget allocation to develop between 15 and 18 units. If we are successful with these initial developments funds will be made available to assist in financing all 30 units.

I'll serve as your contact here at the Division of Housing & Neighborhood Services, tel. 874-3711, e-mail [ais@ci.portland.me.us](mailto:ais@ci.portland.me.us). I suggest we schedule a meeting shortly to move the project forward. Keep in mind that neighborhood inclusion is a critical factor as these developments unfold and sites are proposed. Call with any questions and to set up a meeting.

Sincerely,

Aaron Shapiro  
Housing Program Manager

• 389 Congress Street • Portland, Maine 04101 • (207) 756-8249 • FAX 874-8949 • TTY 874-8936

included:  
Donation of Land from the City  
Sale of the Health Center  
\$960,000.00 Secured from HUD

EXHIBIT X.

C-8

Payback Requirement if the Sponsor is Default on Service  
No Mortgage, this is a Grant  
This will be called the Peaks Island Elder Housing Complex: this will be its own entity with no owner and run by a Board.  
The Subsidy covers 75% of operating costs  
Section 8 will cover 25% of operating costs

Public Comment:

Steve Scharf asked if the current site of the Health center pays taxes. Wendy Cherubini responded, no, it does not, this was a single family home that was converted for the Health Center. This is City owned.

Jerry Garman commented that people are applying to live in the new housing now. They cannot apply until 90 days before the opening.

Councilor Smith made a motion to recommend to the City Council a change to the Option and Purchase Agreement: Delete Condition # 15. He would like to add a clause to execute a Use Agreement. Councilor Cloutier made the motion, Councilor Dawson gave the second, All in favor of recommendation. He also made a motion to recommend they authorize the sale of 26 Sterling Street. Councilor Cloutier made the motion, with Councilor Dawson giving the second, all in favor. These will go before the Council in February.

3) PROP Scattered Site Housing:

This item was reviewed by Mark and turned over to representatives from PROP.

Betsy Sawyer-Manter gave a brief explanation for new Housing Committee Members. There will be three units in each building consisting of three bedrooms and 1 1/2 baths in each unit. They will be of modular construction. The performa has changed to \$112,000 per unit/each apartment, this amount includes all construction, inside and out. Councilor Smith asked if these buildings will look traditional to the neighborhoods? Betsy responded that yes, they will, they blend very well within the neighborhood. Councilor Smith asked how many sites PROP has located in the City and with a 40'x 80' site being the smallest, would PROP consider doing two unit buildings. Betsy replied that numerous sites throughout the City were located. Bob Cain from PROP replied that no, at this time they would not consider 2 unit projects, it would be considered in the future but that would depend on the Planning process. Councilor Smith also asked if these would be tax paying projects. Bob Cain responded that yes, we redid the performa at the Committee's suggestion and they will be fully taxpaying now, they will be units for family housing. PROP will own and manage the properties. The project on Grant Street has the full support of the Parkside Neighborhood Association. Councilor Smith asked Charlie Lane if the City can lock in the tax-paying concept somehow. Charlie responded that he can't think of a way to do so under Maine Law. Recently during a discussion, the topic was on how to put a Covenant covering this in an agreement.

Public Comment:

Bob Hains asked if these units would have two means of egress with staircases inside and out. Mark responded that yes they would. These units will meet all Zoning and Code Regulations.

Councilor Smith asked for a Motion to accept the \$ 414,000.00 with a minimum of 23 units. Councilor Dawson made the Motion, Councilor Cloutier gave the second, All in favor.



KeyBank National Association  
One Canal Plaza  
Portland, ME 04101-4035

December 12, 2001

Tel: 800 452-8762

Mr. Grant Lee  
Executive Director  
People's Regional Opportunity Program  
510 Cumberland Ave.  
Portland, Maine 04101

RE: Scattered Site Construction Financing

Dear Grant,

We are pleased to inform you that KeyBank National Association (the "Bank") has approved a Two Million Dollar (\$2,000,000.00) Revolving Construction Loan facility for the purpose of constructing affordable housing rental units. The Bank has also approved a Five Hundred Thousand Dollar (\$500,000.00) Line of Credit for the purpose of acquiring property to be used to construct said units prior to Construction Loan funding.

This loan commitment is based on representations made by you in your proposal, the information and assumptions for income and expenses provided, and the costs and estimated time for completion of construction.

The Bank's obligation to honor this commitment is subject to the following terms and conditions.

#### TERMS

Lender: KeyBank National Association

Facility: 1) Revolving Construction Loan up to \$2,000,000.00

2) Acquisition Line of Credit up to \$500,000.00

Borrower: People's Regional Opportunity Program (PROP)

Interest Rate: 1 & 2) A variable interest rate will be charged equal to the daily published Wall Street Journal Prime Rate (currently 4.75%). The Rate will change contemporaneously with any change in the published rate.

Term: 1) Availability under the Revolver will be subject to annual review and renewal. Individual construction loans will be established for each project being developed. The term of each construction loan will be the earlier of completion of the specific project or 12 Months from first draw down.

2) Availability under the line will be subject to annual review and renewal. Individual notes will be established for each acquisition that will have maturities of 6 months. Principal will be due on conversion to Construction Loan under the Revolver.



## People's Regional Opportunity Program

- Interest Payments: 1 & 2) Monthly payments of interest only on the disbursed principal balance.
- Late Charges: 1 & 2) 3% of monthly payment, for payments not received within 15 days of the due date.
- Commitment Fee: 1 & 2) A one time commitment fee of \$6,250.00 (\$5,000.00 for Revolver, \$1,250.00 for Line) is due of which \$2,250.00 (the "Commitment Deposit") shall be payable upon your acceptance of this letter and the balance at the closing. The Commitment Fee is consideration for the issuance of this commitment by Lender and the substantial services that Lender has rendered and will render in preparation for the closing of the Loan. The Commitment Fee is non-refundable under any circumstances, whether or not the Loan closes.

## CONDITIONS (for each project submitted):

- Each loan shall be evidenced by a promissory note of the Borrower which shall be secured by:
- Collateral: 1 & 2). A First mortgage and security interest in all land and buildings to be acquired plus improvements to be constructed, materials, plans and specifications, plus an assignment of all rents and leases if applicable.
- 1) Assignment of all permanent sources of funding.
- 1) Assignment of Contractor, Architect and/or Engineer's Contract and Plans.
- Environmental Site Assessment: 1 & 2) An acceptable Phase I Environmental Site Assessment report prepared for and certified to the Bank as a co-client will be required.
- Appraisal: 1) Funding under this commitment is made subject to the receipt of appraisals on any proposed projects where Construction Revolver funds will be used. The appraisals are further subject to acceptance satisfactory to the Bank in all respects including, but not limited to, an as completed market valuation that indicates a maximum loan to value of 80% of requested construction funds. Cost appraisals will be borne by the Borrower.
- 2) Acquisition funding under the Line will be limited to a 50% loan to value as established using market comparables or 70% of cost, whichever is lower.
- Financial Statements: Borrower and related entities will be required to furnish current financial information and annual Audited Financial Statements within 120 days of Fiscal Year End.
- Builder Risk & Hazard Insurance: Evidence of general liability insurance with minimum limits of \$1,000,000.00 per occurrence and \$1,000,000.00 in aggregate, converting upon completion of construction to all risk hazard insurance covering the improvements in the amount of the loan balance or greater will be required. The insurance company must be acceptable to the Bank and "KeyBank National Association, its successors and assigns" shall be named in the mortgage loss payable clause with the address of "KeyBank National Association, ATTN: OH-01-55-0203BSC, 55 Public Square, Cleveland, OH 44114."

## People's Regional Opportunity Program

Modular Home  
Supplier:

1) The Borrower will enter into a fixed price contract from a modular home supplier that includes delivery, and "bolt and secure" setup. The contract will correspond to the information as to the costs and timing of each Project submitted to the Bank. This information is to be supplied to and reviewed and accepted by an independent construction inspector that will be engaged by the Bank. Both the supplier and the terms and conditions of the contract must be acceptable to the Bank.

## Covenants:

1 & 2). For usage under both facilities Borrower shall maintain a ratio of Total Senior Liabilities to Adjusted Tangible Capital of not more than 5.00 to 1.00; tested at the end of each fiscal Year. (Actual as of June 30, 2001 = 4.95 to 1). "Total Senior Liabilities" means total liabilities less Subordinated Debt. "Adjusted Tangible Capital" means Tangible Capital less investments in, advances to, promissory notes and any receivables from, any affiliate or other related entity of Borrower. "Tangible Capital" means Tangible Net Worth plus Subordinated Debt. "Tangible Net Worth" means Borrower's total assets excluding all intangible assets (i.e., goodwill, trademarks, patents, copyrights, organizational expenses, and similar intangible items, but including leaseholds and leasehold improvements) less Total Debt. "Total Debt" means all of Borrower's liabilities including Subordinated Debt. "Subordinated Debt" means indebtedness and liabilities of Borrower, which have been subordinated by written agreement to indebtedness owed by Borrower to Lender in form and substance acceptable to Lender.

Pre-Closing  
Requirements for  
Each project:

The following will be submitted to the Bank prior to any advances under the Construction Loan Revolver.

Binding commitments for long-term permanent financing, grants, bridge financing, subsidy and/or tax credit equity in amounts sufficient to satisfy 100% of the construction loan balance and total project costs to be in hand prior to construction loan start. Such commitments shall be subject only to construction completion and a certificate of occupancy. Acceptable inter-creditor agreement(s) shall be executed between the Bank, the Borrower and all sources of permanent funds related to the above.

Review and approval by Bank engaged construction loan inspector of final construction loan budget, all sub-contractors that have contracts over \$20,000.00, and the modular home supplier and contract, prior to construction loan start.

Final plans and specifications and based on these plans and specifications, Borrower shall submit to the Bank a detailed estimate of costs. The Bank's approval of the above is for lending purposes only.

Copy of any and all construction contracts. Including commitments from modular home manufacturers.

Copy of current deed to subject property. If on leased property a long-term lease acceptable to all parties including but not limited to all funding sources.

Evidence in the form of a building permit that the premises and proposed improvements comply with all zoning laws, ordinances, and rules and regulations of all governmental authorities having jurisdiction.

A borrowing resolution which identifies those individuals by name and title who have the proper legal capacity and authority to enter into the loan transaction and execute the loan documents.

People's Regional Opportunity Program

Confirmation of builder risk, liability and hazard insurance with the Bank properly named as a mortgagee loss payee.

Other documents which may be reasonably required by the Bank of Borrower to assure compliance with this commitment.

Obligation to Disburse:

The Bank's obligation to disburse pursuant to a construction loan agreement is further contingent upon the following:

Each condition of this loan commitment and the loan documents have been satisfied in a manner acceptable to the Bank.

Borrower will furnish up-to-date financial information and certification that no adverse condition has occurred that would affect the credit or security the Bank relied upon in the granting of this loan.

The Bank shall disburse the loan funds pursuant to the revolving construction loan agreement to be executed as part of the loan documents.

For funds under the Construction Loan Revolver the Borrower will submit draw requests with each request using the American Institute of Architects (AIA) forms G702 and G703. Prior to each disbursement the Bank appointed inspector shall inspect the property to verify that the request for disbursement accurately indicates the amount of construction completed to said date. Disbursement will be limited to one per month and the costs for the title insurance update and property inspection for each disbursement will be charged to the Borrower.

Upon completion, Borrower shall furnish the Bank a certification from a licensed architect or engineer certifying that all of the improvements are fully completed and are in accordance with the Bank's approved plans and specifications. The architect or engineers shall also furnish a certification that all improvements comply with the current building code requirements and that there are no known violations. The Bank shall also receive a Certificate of Occupancy satisfactory to the Bank.

Closing Costs:

Borrower agrees to pay all loan expenses including, but not limited to, title company premiums and charges, fees of the Bank's counsel, appraisal, environmental site assessment, recording fees and taxes, property inspection fees, and all other reasonable expenses in connection with the preparation, closing and disbursement of the loan. To the extent incurred, the foregoing expenses shall be paid by Borrower whether or not the loan shall close or be funded.

Law:

The rights and obligations of the parties with respect to this commitment shall be governed by the laws of the State of Maine. Under Maine law, no promise, contract or agreement to lend money, extend credit, forbear from collection of a debt or make any other accommodation for the repayment of a debt for more than \$250,000 may be enforced in court against the Bank unless the promise, contract or agreement is in writing and signed by the Bank. Accordingly, the Borrower cannot enforce any oral promise unless it is contained in a loan document signed by the Bank. Borrower cannot enforce any oral or other accommodation relating to the loan, this agreement or any other loan document be enforced, unless it is in writing signed by the Bank. Borrower also understands that all future promises, contracts or agreements of the Bank relating to any other transaction between Borrower and Bank cannot be enforced in court unless they are in writing signed by the Bank. Borrower further agrees that the requirement of a writing described in this paragraph shall apply to this commitment, the loans or credit described herein, any extension, modification, renewal, forbearance or other accommodation relating to the transactions contemplated by this commitment, and to any other credit relationship between

People's Regional Opportunity Program

Borrower and Bank, (whether existing now or created in the future) whether or not the amount involved exceeds \$250,000

Legal Counsel: Satisfaction of requirements of the Bank's legal counsel and approval by counsel of all documents in connection with this loan will be required. The foregoing terms and conditions are predicated upon lender's present understanding of the proposed transaction, and are subject to such additional requirements as may be determined by lender's legal counsel. The loan documents shall also contain provisions regarding late fees, default rate interest, waiving trial by jury, providing for venue in the State of Maine for any litigation and restricting the types and the amount of damages which may be recovered.

Commitment Acceptance & Expiration:

This letter and commitment has been issued in response to Borrower's request and shall not become effective until such time as the Bank has received Borrower's unconditional written acceptance of the terms and conditions of this letter. This commitment expires sixty (90) days from the date on which the Borrower accepts and returns this letter along with the required Commitment Deposit. The loan must close by the end of this time of this commitment shall be no further force and effect.

This commitment is made to the Borrower and is not assignable or transferable to any other party or entity. The Terms and conditions of this commitment may not be modified, changed, waived, or extended unless agreed to in writing and executed by all parties.

If this commitment is acceptable, please date and sign below. If this commitment letter is not returned by December 28, 2001 this commitment shall be of no further force or effect.

We are pleased to offer this financing and thank you for favoring KeyBank National Association with this loan and relationship opportunity.

Sincerely,

W. Scott Fox  
Senior Vice President  
Community Development Lending

THE TERMS AND CONDITIONS OF THIS COMMITMENT ARE ACCEPTED AND AGREED TO ON THIS 20th DAY OF December, 2001.

SEEN AND AGREED TO:

People's Regional Opportunity Program

By:   
Grant Lee, Executive Director

Date: 12/20/01

EXHIBIT

C-14



1 Canal Plaza  
Portland, Maine 04101  
W. Scott Fox Vice President  
207-874-7026 / 207-874-7732 fax

January 24, 2002

People's Regional Opportunity Program  
Robert Cain, Director of Finance & Administration  
510 Cumberland Ave  
Portland, Maine 04101

Re: Scattered Site Construction Financing and Low Income Housing Tax Credits

Dear Bob:

The purpose of this letter is to confirm Key Bank National Association, and its wholly owned affiliate Key Community Development Corporation's strong interest and ability in acquiring all Low Income Housing Tax Credits associated with the scattered site development of affordable rental housing in the greater Portland area. It is my understanding that the project will be generating tax credits totaling \$2,103,000.00. Also, this letter is to confirm that we have already committed up to \$2,000,000.00 in construction financing for this project.

We look forward to working with you in developing this exciting project. Please be advised the foregoing does not constitute an offer, agreement or commitment to provide such funding. A formal binding commitment may only be given after more extensive due diligence and completion of our internal approval process, which may impact the terms discussed above. Furthermore, any formal commitment issued by Key Bank National Association must be in writing and would contain more extensive terms and conditions.

Sincerely,

W. Scott Fox  
Senior Vice President  
Community Development Lending



225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-596  
FAX (207) 761-832  
www.pwd.or

February 12, 2002

Thomas S. Greer, P.E.  
Pinkham & Greer  
170 US Route One  
Falmouth, me. 04105

Re: PROP Project- Hanover Street

Dear Tom:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed 3 residential units on Hanover St. near the City's equipment storage lot in Portland. Checking District records, I find there is a 6" cast iron water main in Hanover street that was installed in 1921, map enclosed.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project..

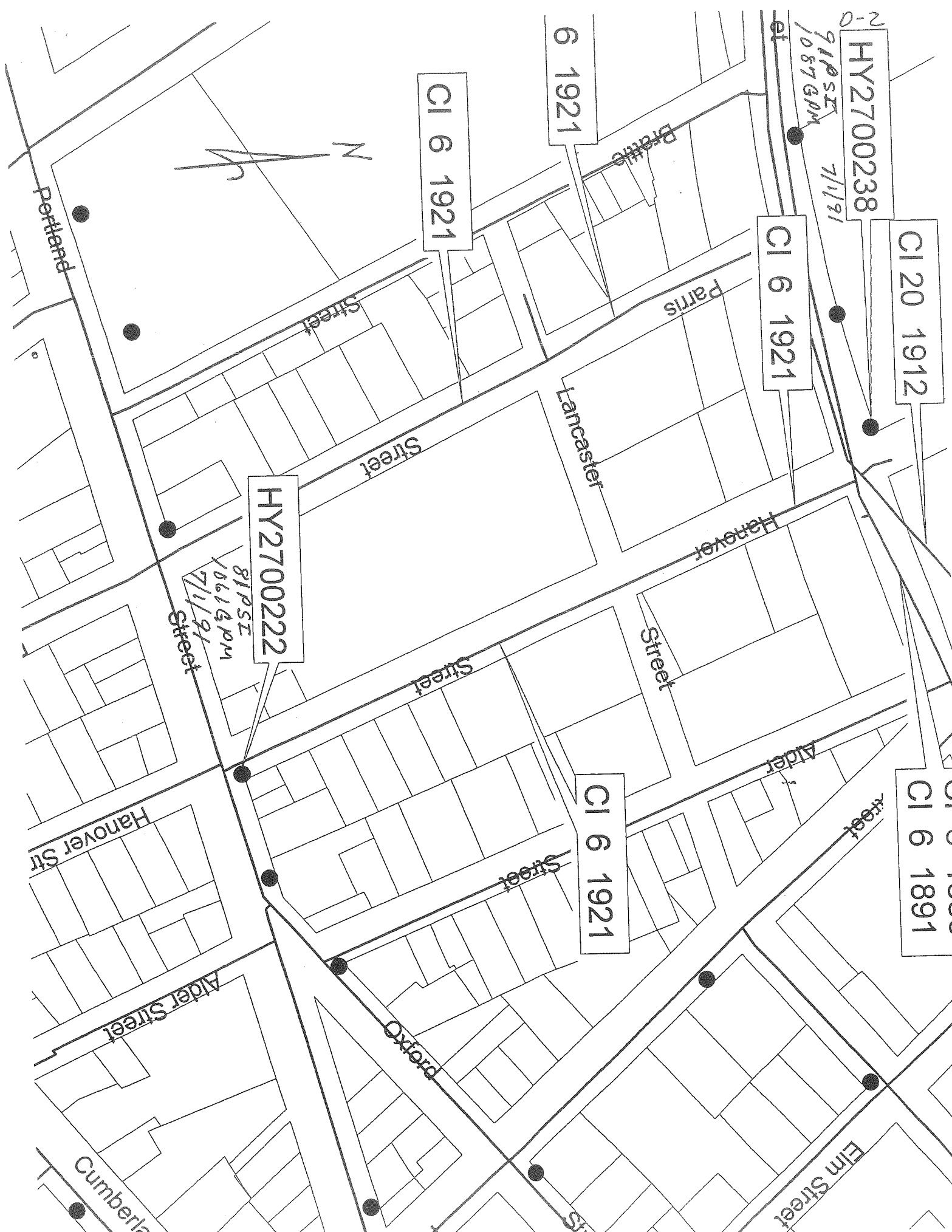
Hydrant Location: Hanover St. @Portland st..  
Hydrant # 222  
Static pressure = 81 PSI  
Flow = 1061 GPM  
Last Tested = 7/1/91

If the district can be of further assistance in this matter, please let us know.

Sincerely,  
Portland Water District

*Jim Pandiscio*  
Jim Pandiscio  
Means Coordinator

*Pinkham & Greer*



2-0  
91PST  
1087GPM  
7/1/91  
HY2700238

C1 20 1912

C1 6 1921

6 1921

C1 6 1921

81PST  
1061GPM  
7/1/91  
HY2700222

C1 6 1921

C1 6 1891



Department of Public Works



## CITY OF PORTLAND

1 March 2002

Mr. Thomas S. Greer, P.E.,  
Pinkham & Greer,  
170 U.S. Route One,  
Falmouth, Maine 04105

**RE: The Capacity to Handle Wastewater Flows, From 49 Hanover Street,  
A Three Unit, Peoples Regional Opportunity Program (P.R.O.P.) Project.**

Dear Mr. Greer:

The existing fifteen-inch diameter vitrified clay sanitary sewer pipe located in Hanover Street, has adequate capacity to transport the anticipated wastewater flows of 549 GPD, from the proposed three units project, at 49 Hanover Street. The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to treat the total anticipated wastewater flows of 549 GPD, from the proposed P.R.O.P. project.

<u>Anticipated Wastewater Flows from the Proposed P.R.O.P. Units</u>	
Proposed 3 Hanover Street Units @ 264 GPD/Unit	= 792 GPD
Less Existing Sanitary Wastewater Flows at #49 Hanover Street	= (143) GPD
<b>Total Proposed Increase in Wastewater Flows for this Project</b>	<b>= 549 GPD</b>

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as Stormwater mitigation, from all projects, in order to offset any increase in sanitary flows. If I can be of further assistance, please call me at 874-8832.

Sincerely,

CITY OF PORTLAND

*Frank Brancely*  
Frank J Brancely, B.A., and M.A.  
Senior Engineering Technician

FJB

cc:

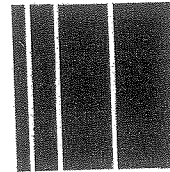
Alexander Q. Jaegerman, Acting Co-Director, Department of Planning, and Urban Development, City of Portland  
 ✓ Rick Knowland, Senior Planner, Department of Planning, and Urban Development, City of Portland  
 Eric Labelle, P.E., City Engineer, City of Portland  
 Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland  
 Anthony W. Lombardo, P.E., Project Engineer, City of Portland  
 Stephen K. Harris, Assistant Engineer, City of Portland  
 Todd Merkle, Field Inspections Coordinator, City of Portland  
 Desk file

O:\Engshare\FJB\Capacity Letters  
 C:\Frank's\Capacity Letters



# Sebago Technics

Engineering Expertise You Can Build On



02P040

**TO:** Rick Knowland - Planner  
**FROM:** Jim Seymour - Development Review Coordinator, Sebago Technics, Inc.  
**RE:** PROP Family Housing - 49 Hanover Street  
**DATE:** March 5, 2002

---

I have reviewed the Site Plan package and supporting documentation for the PROP Family Housing Project located at 49 Hanover Street and provided the following comments in an outline topic scenario:

**1. Stormwater Management**

- A. No stormwater calculations were performed but, given the density of the proposed lot, there is only one recommendation that I can make. The design professional should make every attempt to sheet flow as much driveway and parking lot runoff as possible toward Hanover Street. This may require bringing the grades of the pavement higher to increase the amount of paved surface to slope to Hanover Street

**1. Road Access/Circulation**

- A. Typical parking space size per technical standards is 19 feet x 9 feet, not 18 feet x 9 feet. We have arranged through staff to reduce the space sizing as a design modification/waiver. However the spaces should be dimensioned on the plan along with the width of the aisle.
- A. It appears that the existing curb cut does not properly line up with the proposed entrance. The design should remove one section and reset the tip down, and re-use this section if its in good shape to be added on the opposite side. A tip down should be present at each curb terminus. All curbing resetting and sidewalk repair is under the review of Public Works. Details for the replaced or repaired sections of public streets require City specifications and details to be shown on the plans.

Mr. Knowland

-2-

March 5, 2002 F-2

A. Where grading is now relatively steep along the rear parking area, a guardrail of steel or wood should be added.

A. I also feel that all of the landscape islands around the building adjacent to the pavement should be protected with a Cape Cod style bituminous curbing. Without curbing, the residents may park or drive over these landscape areas and bark mulch will wash away.

A. How is snow removal going to be conducted? It appears there is no space available on site to place snow. Please indicate snow removal methods by means of a note on the plan.

**1. Grading/Erosion Control**

A. Stone riprap should be added along the rear north and eastern side of the parking lot. The area has limited sunlight to support grass growth, and the area is accepting more runoff and has a steeper slope; therefore, riprap protection appears the logical solution for long term maintenance.

**1. Utility Installation/Location**

A. All utility service connections proposed within Hanover Street are to be inspected by the individual utility companies and the City of Portland where applicable. All sewer service connections shall require a detail on the plan as well as a note stating that all work within the street right-of-way shall require a street opening permit from Public Works.

**1. Details**

A. Sidewalk, curbing, and handicap ramp details are needed.

A. A trash can enclosure detail is needed.

A guardrail detail will be needed.

**1. Additional Issues**

A. Building setbacks shall be added to the plans along with dimensions to assist the contractor for layout of the building. Layout dimensions shall be from a known reference point.

Based on the information needed, it may be best if the applicant, designers and engineers plan a brief meeting in person or by phone with Public Works and myself to review all of these comments. As always, please feel free to call me with any questions.

JRS:jrs/jc

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2002-0040**  
Application I. D. Number

**02/22/2002**  
Application Date

**Prop Family Housing**  
Project Name/Description

**49 - 49 Hanover St, Portland, Maine**  
Address of Proposed Site  
**033 C009001**  
Assessor's Reference: Chart-Block-Lot

**People's Regional Opportunity Program**  
Applicant  
**510 Cumberland Ave , Portland , ME 04101**  
Applicant's Mailing Address  
**Bob Cain / PROP**  
Consultant/Agent  
**Applicant Ph: (207) 842-2988     Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**Engineering Comments**





**PUBLIC WORKS ENGINEERING REVIEW.....2/27/02**

The following comments are in response to the application and plans dated 2/22/02:

1. The site on 49 Hanover Street, in its previous state, existed as a single story dwelling with a gravel driveway and a rear lawn along the northeasterly half of the lot. This proposal include covering almost the entire site with impervious cover and directing the resulting runoff onto the abutting property. The applicant's engineer should consider a combination of lowering the buildings first floor elevation and lifting the grades of the rear parking area. The intended result would be to direct as much runoff as possible to the gutters of Hanover Street.
2. The applicant should be aware that any damage to the existing paved sidewalk and granite curb, within the Hanover Street right of way, will be the burden of the applicant and their contractor. Damaged curb and sidewalk will require repair or replacement at a cost to the applicant.
2. The proposal includes several utility connections within Hanover Street. The applicant should be aware that several permits and corresponding fees exist for excavation and construction activity within a public right of way. The applicant should contact Carol Merritt at Public Works for more detail.
3. The proposed utility connections will require disturbance of existing curb and sidewalk. The proposed limits of work should be defined on the plans.
4. The proposed connections into the City sewer requires specifying construction details on the plans.

## FLOOD LIGHTS



CAT. No.	FINISH	LAMP AND LIGHT	DESCRIPTION
P5239-31WB	Black	One 12V 50w halogen bi-pin lamp (included)	Size: 5 1/4" w, 6" ht., 3-1/2" depth Adjustable hinge door for easy relamping. Includes stake. 
P5220-31	Black	One 50w HPS E-17. High pressure sodium	Produces a golden light appropriate for warm colors such as red brick. HPS reduces energy costs. One 50w HPS lamp equals the light output of a 150w incandescent lamp. Same as P5222-31 except high pressure sodium lamp (not shown). 
P5221-31 Shown w/P8610-31 visor	Black	One Q300w T-3, RSC. Quartz halogen	Offers an intense white illumination for strong accent lighting and more faithful color fidelity of floral displays. 
P5222-31	Black	One 50w MV E-17. Mercury vapor	Produces a cool, blue-white color especially appropriate for greenery. Also reduces energy costs. One 50w MV lamp equals the light output of a 100w incandescent lamp. 

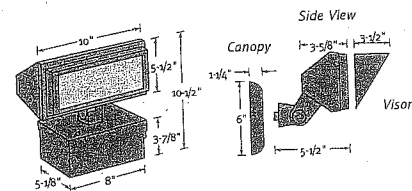
## Flood Lights

For lighting large open areas – for general illumination, safety and security. These 120-volt and 12-volt lights are die cast aluminum, black powder-coat painted to resist chipping and fading. All swivel up or down. Swivel stem has 1/2" IP thread for permanent installation.

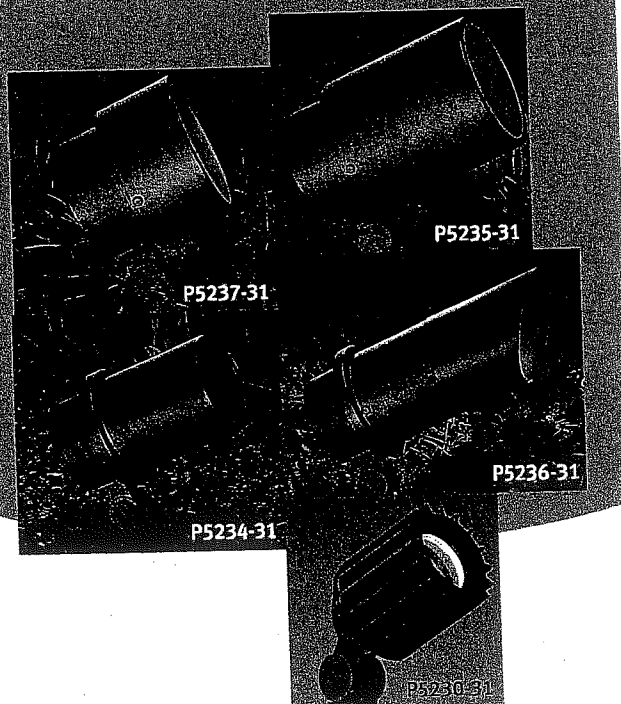
### Accessories

**P8610-31** Black metal visor  
Provides glare and beam control. Fits P5220, P5221 and P5222 flood lights.

**P8615-31** Black canopy  
For mounting P5220 and P5221.





## SPOT LIGHTS




**P5234-31** Black  
120-volt.  
Size: 4-1/2" dia., 6-5/8" long.  
Lamp: One 50w PAR 20.

**P5235-31** Black  
120-volt.  
Size: 5-1/4" dia., 8-1/4" long.  
Lamp: One 150w PAR 38.

**P5236-31** Black  
12-volt.  
Size: 4-1/2" dia., 6-5/8" long.  
Shown with P8612-31 light shield (order separately).  
Lamp: One 50w D.C. bayonet halogen reflector.  


**P5237-31** Black  
12-volt.  
Size: 5-1/4" dia., 5-1/4" length.  
Lamp: One 50w PAR-36.  




**P5230-31** Black  
Miniature low voltage spot light. Black powder coat finish over die cast aluminum.  
Size: 3" dia., 5" length.  
Lamp: One MR 16 halogen lamp, 50w max.  


## Spot Lights

Spots provide controlled lighting to accent objects and delineate plantings. 12-volt and 120-volt installations. Includes integral clear glass lens.

Black powder-coat painted aluminum resists chipping and fading. All swivel up or down. Stem has 1/2" IP thread for permanent installation or, in low voltage installations, with movable P8616-31 accessory ground stake. (See page 324.) Both can be used on landscape posts P8561 and P8562.

### NOTES

-  All fixtures using compact fluorescent lamps are energy efficient.
-  Low Voltage
- SC Bayonet see page 324
- For accessories please see page 324.

ATTACHMENT H

**From:** Rick Knowland  
**To:** internet:tst@tfharchitects.com  
**Date:** Wed, Feb 27, 2002 4:37 PM  
**Subject:** staff comments on prop projects

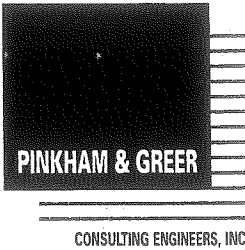
Scott, this e-mail is intended to summarize staff comments received to date on the Hanover St and Monroe/Greenleaf St PROP projects. As other comments become available, I will forward them to you accordingly.

↙ Hanover Street

1. Need a recording plat with a stamped survey.
2. "Site plan notes" were not put on the plan. I will re-fax the notes to you.
3. Engineering comments from Public Works dated 2/27/02 have been received. I will fax them to you.
4. The two porches or overhangs on the southerly side of the building should show a dimension from the new building to the existing building (min. dimension of 10 feet).
5. Within the footprint of the building shown on the plan it says "3 units". Should change to "3 dwelling units".
6. Comments from the City Arborist, Jeff Tarling, I will fax to you.
7. Take out note 16. There is a similar note in the "site plan notes" that can take care of that.
8. The grass areas on the plan should be clearly indicated.
9. The rear 3 parking spaces should have some type of physical encumbrance such as a curb stop to keep the cars off the abutting property (city of portland).
10. Show us a sketch of the trash can storage.
11. Flood lights are not a preferred lighting fixture. Choose one that is directed downward and not glaring.
12. Building elevations should have dimensions such as the building height, building width, typical dimensions of windows and exterior trim.
13. Sidewalk and curb. If damaged during construction, they will need to be fixed. We have not determined whether they need to be replaced automatically because of their current condition.

Monroe/Greenleaf

1. Need a survey stamp on the recording plat attesting to the entire survey.
2. Submit a cross-section of the sideyard timber deck steps for the Greenleaf St. building so we can determine that there is no setback issue. If they aren't acceptable, there is a setback issue.
3. On the recording plat please show the parking spaces. The common lot line of lot 1 and 2 needs to be shown so that there are clearly two lots. The recording plat includes some existing conditions which causes clutter and confusion. Show proposed driveway openings not existing. Other elements that should be taken out include "ex. shed to be removed" and "ex. pvmt & fence to be removed". I don't see why the existing trees on the site should be shown on the recording plat.
4. Add "site plan notes" to the plan. This will be re-faxed to you.
5. The total land area shown on the recording plat is incorrect (note #19). The correct total land area of the subdivision needs to be shown on the recording plat.
6. Show us a sketch of the trash can storage.
7. The grass areas on the plan need to be clearly shown.
8. On sheet C-3 a guard rail and steel bollard detail are shown. If these are going to be used on the plan they should be shown on the plan. If not, these items should be taken off the detail sheet.
9. Note #19 there is a typo, there will be two-3 dwelling unit buildings.
10. Label the footprint dimensions of the proposed buildings, driveway width and parking spaces.
11. Submit a catalog cut of the of the retaining wall.
12. Are you going to need a construction easement? The retaining wall detail would seem to indicate so.
13. The submitted easement language needs more work. The recording plat easement language will likely need to be modified. I would suggest that your attorney contact Penny Littell, Associate Corporation Counsel to discuss this further.



170 U.S. Route One  
Falmouth, Maine 04105  
Tel: 207.781.5242  
Fax: 207.781.4245

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## MEMORANDUM

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TO: Scott Teas  
FROM: Tom Greer *10/2*  
DATE: March 7, 2002  
RE: 49 Hanover Street  
FILE: 01402

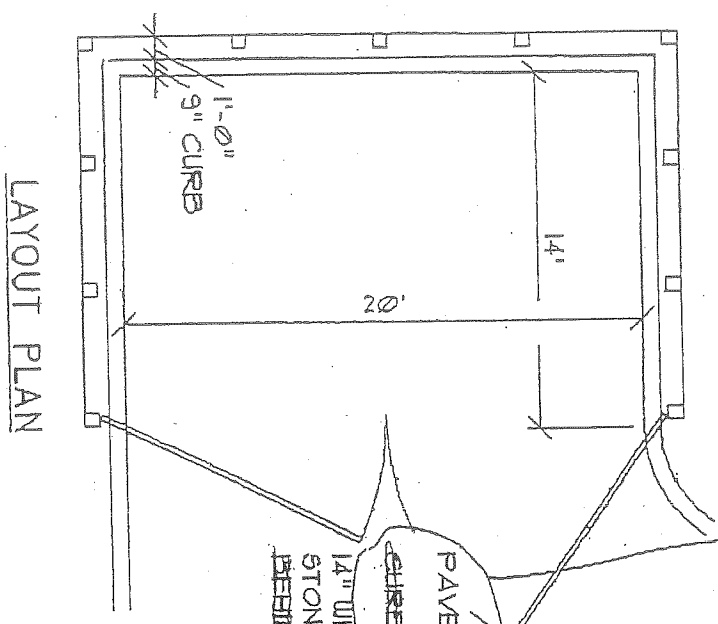
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Below are the responses to the City's comments:

1. A surveyor will stamp the final mylars.
2. The standard city notes were added to the plans.
3. The units were labeled "dwelling".
4. The planting plan by Jeff Tarling has been added to the plan.
5. The grass areas are labeled.
6. The grading of the driveway was changed to drain to Hanover Street. This required a retaining wall around the end of the driveway, which will have a guardrail in front of the parking spaces.
7. The sidewalk and street are shaded showing utility connections and the repair area.
8. The parking spaces are dimensioned.
9. We believe the existing driveway opening is adequate and aligned on the south side. It will remain intact throughout the project.
10. The barkmulch areas are left intact. We have not added curbing along the edge.
11. A snow removal note was added.
12. Several standard city details for construction and the utility connections were added.
13. The zoning notes were modified to reflect the zero setbacks and 10' setback from the adjacent home.
14. Layout dimensions have been added.

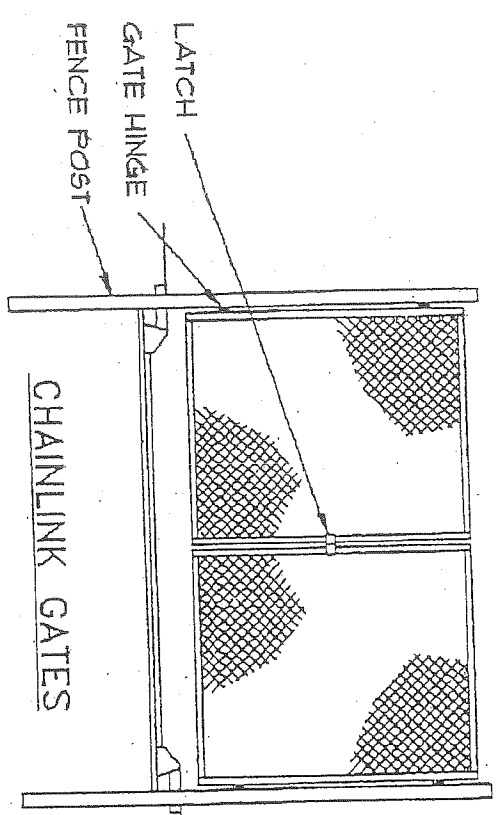
Hopefully, this addresses the City's comments.

- NOTES:
1. ALL WOOD TO BE PRESSURE TREATED
  2. ALL NAILS AND SCREWS TO BE GALVANIZED.

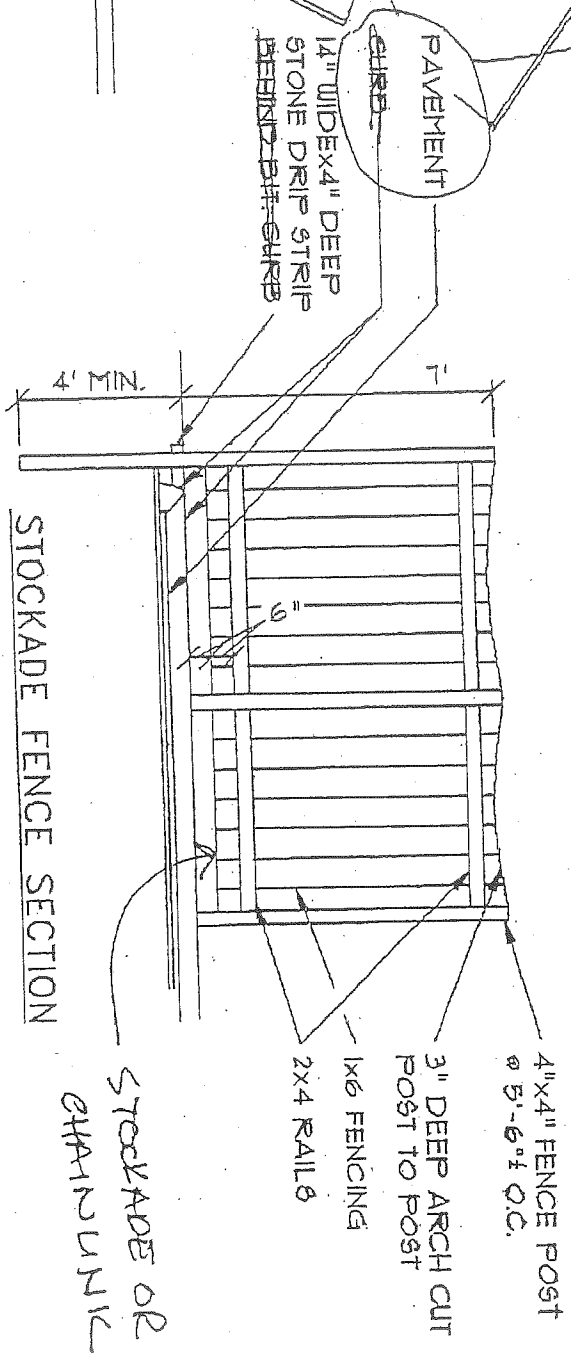


LAYOUT PLAN

THIS CAN BE CONC. GRAB OR PAVEMENT



THE GATE CAN BE STOCKADE OR CHAINLINK



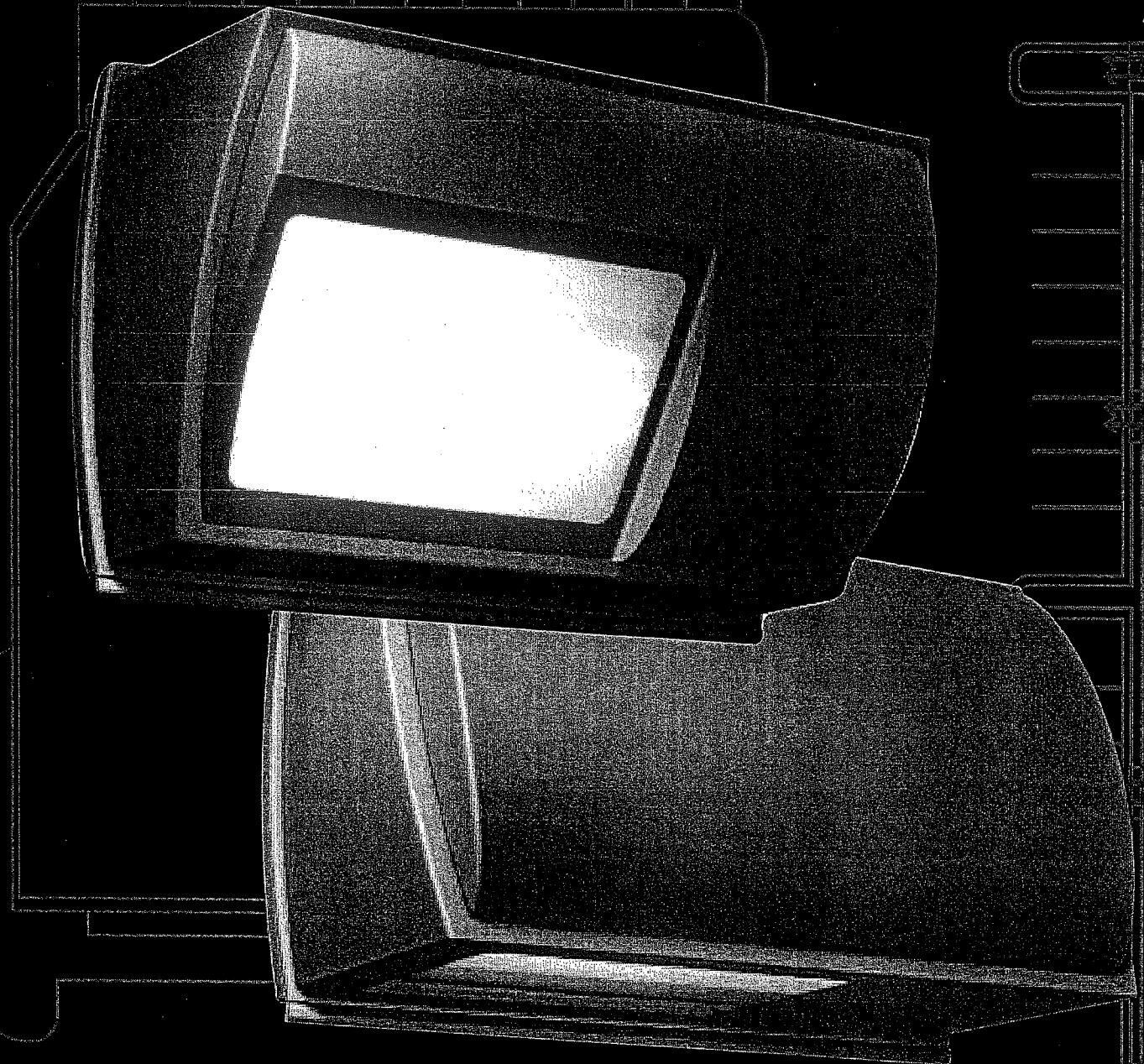
STOCKADE FENCE SECTION

17 DUMPSTER ENCLOSURE DETAILS

NOT TO SCALE



*Criterion*  
*Wallpack Lighting*





1

# Wallpack Lighting

## FORM, FUNCTION, FRUGALITY

At last, there is a complete outdoor lighting system designed to meet the functional, aesthetic, operational and economic needs of commercial and retail multi-site facilities. From the convenience and savings of interchangeable components, best-of-class optics and photometrics, to the beauty of complete architectural integrity in wall, area and flood lighting, our line of Criterion™ luminaires will meet your every need.

## A BRILLIANT SOLUTION

Now all your lighting across the country and across the parking lot can have the same look. But the value of Criterion luminaires goes deeper than their sleek die-cast exteriors. From their low-profile hardware and concealed gaskets to their easy tool-free maintenance, every aspect of Criterion's housing has been designed to maximize beauty, strength, durability and economical operation. Best of all, the inside of this luminaire is just as beautiful as the outside.

The Criterion Series includes design breakthroughs that will change the way you choose and specify lighting for years to come.

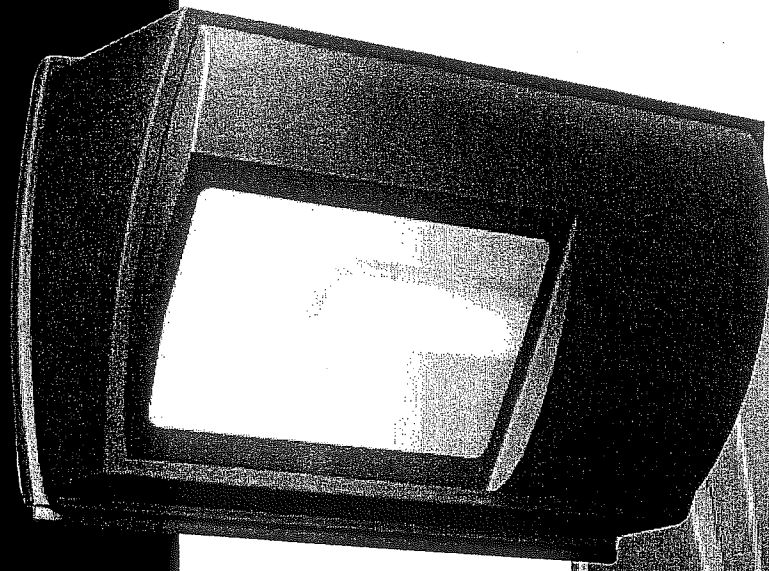
## CUT-OFF WALLPACK

The Criterion 175w and 400w Cut-Off Wallpacks are the fastest mounting luminaires in the West, or anyplace for that matter. Just remove the SnapDrive™ Electrical System, mount the wall gasket to provide an IP65 rating, then mount the housing using pre-punched keyhole slots. Make your electrical connection and plug the SnapDrive back in. One person can do it with one ladder. It's fast and it's easy. Of course, you also get all the benefits of the Criterion family plus the superior light control of the Criterion Wallpack luminaires. The Cut-Off Wallpack projects light through a bottom opening to virtually eliminate all uplight. Bottom projection also allows for vertical lamp placement. Select the vertical burning pulse start lamp option for more light. Easy installation, more light, longer, where you want it. That's the Criterion Cut-Off Wallpack.

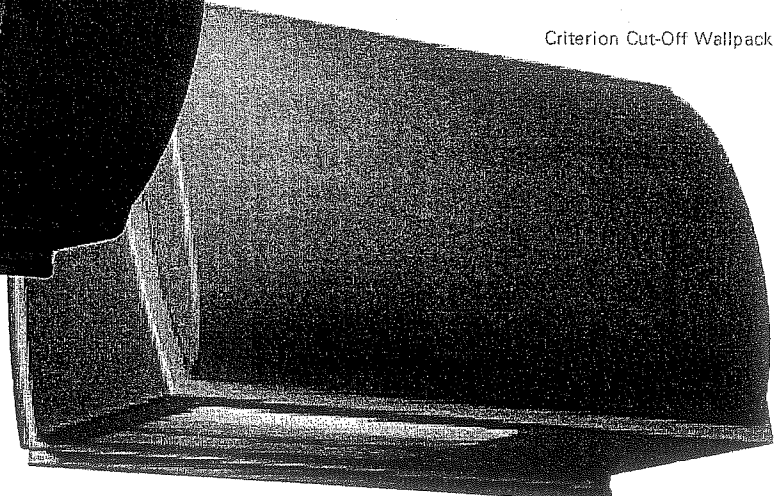
## FORWARD THROW WALLPACK

The Criterion Forward Throw Wallpack offers a truly unique advantage. In addition to the long list of Criterion Family benefits, the

Criterion Cut-Off Wallpack



Criterion Forward Throw Wallpack



THE FIRST

TOTAL OUTDOOR

LIGHTING

SOLUTION

DESIGNED

TO SIMPLIFY

YOUR LIFE

# Wallpack Lighting

**CRITERION.**

**A NEW**

**STANDARD**

**IN HID**

**LIGHTING**

### HOUSING

- Die-cast aluminum housing for strength, beauty and low maintenance
- Scaled family styling for consistent site-enhancing look
- Concealed continuous gasket seals against harmful dust, dirt, moisture and insects (IP65 rating)
- Tool-less entry for easy, economical maintenance (except 70w)
- Tamper-resistant option helps prevent unauthorized entry for security and safety (standard in 70w)
- Pre-punched key hole mounting slots, for fast and frugal installation
- Sliding notched hinge for quick and simple removal of the front housing (except 70w)
- 70w features economical direct mounting ballasts

- Choice of a palette of standard colors, 188 RAL colors, or your own custom color in fade- and abrasion-resistant powder and liquid paints

### OPTICS

- Adjustable Throw Reflector and shielded lamp to accurately tune light placement (Forward Throw version)
- Cut-Off Reflector to maintain dark sky standards and please neighbors (Cut-Off version)
- Rugged hydro-formed reflector for consistent, repeatable performance
- Alglas® coating seals reflectors from contaminants for superior long term performance
- 35w to 400w MH, PMH and HPS lamp operation (consult ballast selection table for availability)

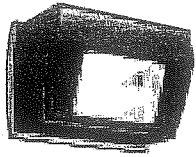
### ACCESSORY OPTIONS

- EZAdd™ Switched quartz (400w only)
- Single & dual fusing
- EZAdd™ button PE



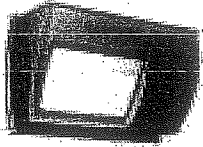
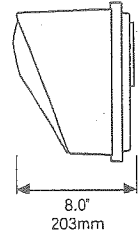
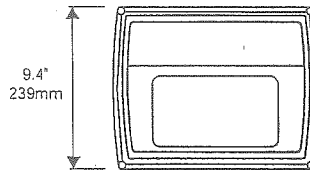
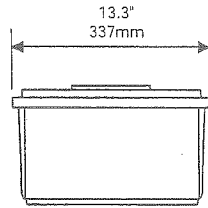
*Lighting for building perimeters, loading docks, entrances, parking lots, walkways, wallwashing, uplighting, ATM areas and drive-through lanes.*

# Specifications



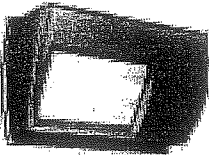
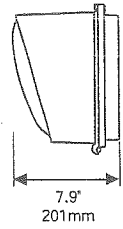
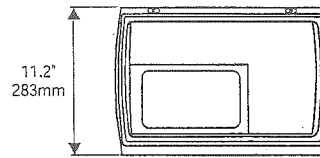
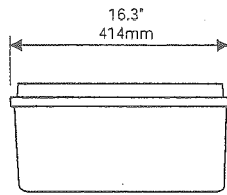
**70w Forward Throw**

Figure 1



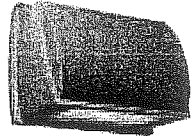
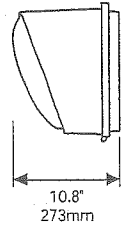
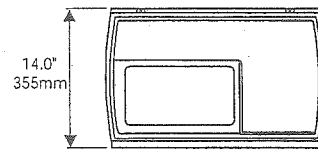
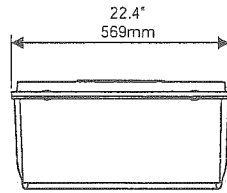
**175w Forward Throw**

Figure 2



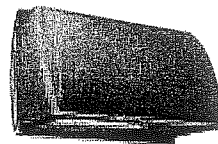
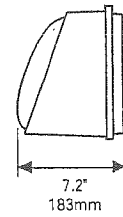
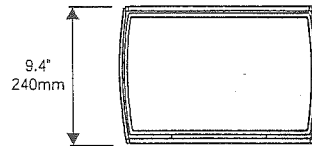
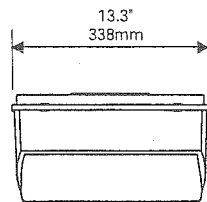
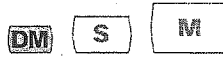
**400w Forward Throw**

Figure 3



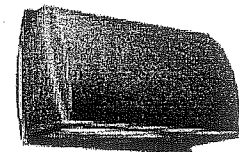
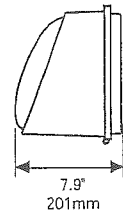
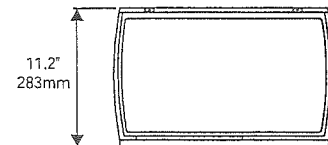
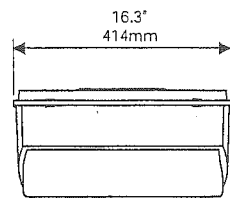
**70w Cut-Off**

Figure 4



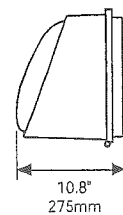
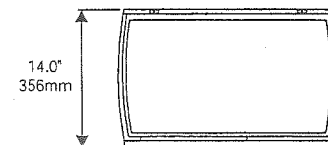
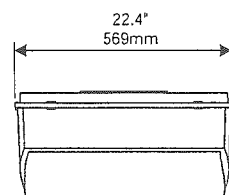
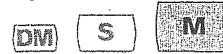
**175w Cut-Off**

Figure 5



**400 Cut-Off**

Figure 6



# Specifications

## PHOTOMETRIC TABLE

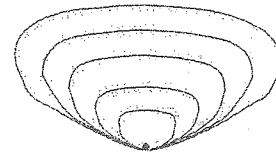
Type	Wattage	Source	Forward Throw Photo Curve	Cutoff Photo Curve
Direct Mount-	50	HPS	451666	451773
Electrical Components	70	HPS	451667	451774
(Figures 1&4)	35	PMH	451668	451775
	50	PMH	451669	451776
	70	PMH	451670	451777
Small	100	HPS	451671	451778
w/SnapDrive	150	HPS	451672	451779
(Figures 2&5)	100	PMH	451673	451780
	150	PMH	451674	451781
	175	PMH	N/A	451782
	175	MH	451675	451789
Medium	250	HPS	451676	451784
w/SnapDrive	400	HPS	451677	451785
(Figures 3&6)	250	PMH	N/A	451786
	400	PMH	N/A	451787
	250	MH	451678	451788
	400	MH	451679	451789

THE  
 PERFECT  
 WALL PACK  
 LUMINAIRE  
 FOR RETAIL AND  
 COMMERCIAL  
 MULTI-SITE  
 FACILITIES

## PHOTOMETRIC REFERENCE



Cut-Off Distribution Pattern



Forward Throw Distribution Pattern

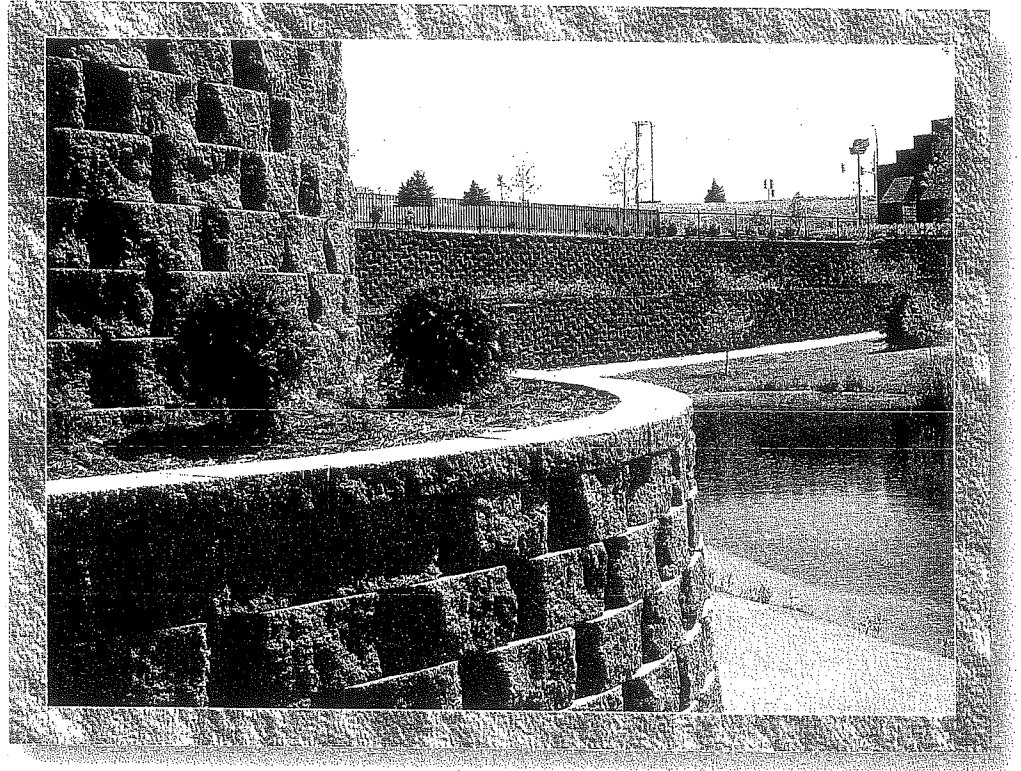
## BALLAST SELECTION TABLE

Housing Type	Wattage	Source	Lamp Size	Socket Size	Multi	120	208	240	277	480
Direct Mount	35	PMH	ED17	MED		N,H				
Electrical Components	50	HPS	B17	MED	H	H	H	H	H	H
(Figures 1&4)	50	PMH	BD17	MED		N,H				
	70	HPS	B17	MED	A,N,H	A,N,H	A,N,H	A,N,H	A,N,H	A,N,H
	70	PMH	BD17	MED	N,H	N,H	N,H	N,H	N,H	N,H
Small	100	HPS	B17	MED	H	H	H	H	H	
w/SnapDrive	150	HPS	B17	MED	H	H	H	H	H	
(Figures 2&5)	100	PMH	BD17	MED	H	H	H	H	H	
	150	PMH	BD17	MED	H	H	H	H	H	
	175	PMH	BD17	MED	A	A	A	A	A	
	175	MH	BD17	MED	A	A	A	A	A	A
Medium	250	HPS	ED18	MOG	A	A	A	A	A	A
w/SnapDrive	400	HPS	ED18	MOG	A	A	A	A	A	A
(Figures 3&6)	250	PMH	ED28	MOG	A	A	A	A	A	A
	400	PMH	ED28	MOG	A	A	A	A	A	A
	250	MH	ED28	MOG	A	A	A	A	A	A
	400	MH	ED28	MOG	A	A	A	A	A	A



# Anchor Vertica® Series

I-9



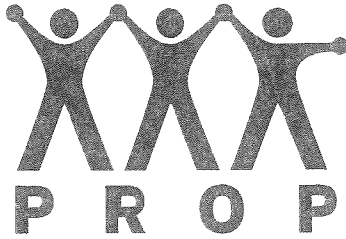
*The Anchor Vertica® Series of retaining wall blocks offers architects, engineers and contractors the ideal solution for high volume, commercial tall wall construction.*

*The natural beauty of the Anchor Vertica Series blends with the surrounding environment, while its design ensures a durable, economic installation.*

47. 2000

**ANCHOR WALL SYSTEMS**





**People's Regional  
Opportunity Program**

510 Cumberland Avenue  
Portland, Maine 04101  
(800) 698-4959  
or (207) 874-1140  
fax (207) 874-1155  
tty (207) 874-1013  
www.propeople.org

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PROP FAMILY

---

PROP HOME

---

PROP SENIORS

---

PROP YOUTH

---

PROP COMMUNITY

February 19, 2002

City of Portland Planning Department  
Rick Knowland  
389 Congress St  
Portland, ME 04103

Dear Mr. Knowland;

We are pleased to submit the attached City of Portland Site Plan Application. This application is being made on behalf of the Peoples Regional Opportunity Program (PROP) for a housing development located at 49 Hanover Street.

PROP, with the assistance of a local architect, has designed an in-fill module that reflects the mass, scale, and character of a number of residential districts in Portland. We have created a versatile design consisting of 3-bedroom units, each 1364 SF, to be constructed as a 3-unit triplex. The units will be modular in construction and the configuration, which consists of a fully accessible flat on the ground floor with duplex units above, creates a compact, efficient organization of space contained within an architectural vernacular.

The units themselves are designed with three bedrooms over 100SF, 1 1/2 bathrooms, living room, kitchen, and dining area. Notable features of our design include: Energy efficient housing with insulation R values greater than those recommended by the Department of Energy; each unit will have direct access to grade; washer dryer hookups; recessed porches, units above the first floor will have open air porches; compact energy efficient hydronic heating; State of Maine sprinkler system; construction atop a full foundation.

This proposed development will consist of placement of one module at 49 Hanover Street. PROP feels that this proposal meets the need for providing quality, affordable Housing for the City of Portland.

If you have any questions or would like any further information  
I can be reached at 842-2988 extension 22 or you may contact  
Carla Peterson at extension 26..

Sincerely,



Robert E. Cain  
Director of Housing

Encl.



# City of Portland Site Plan Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 49 Hanover Street Portland		
Total Square Footage of Proposed Structure 4092	Square Footage of Lot 3802.74sf	
Tax Assessor's Chart, Block & Lot Chart# 33 Block# C Lot# 009	Property owner, mailing address: PROP 510 Cumberland Ave. Portland, Me. 04101	Telephone: 842-2988
Consultant/Agent, mailing address, phone & contact person Bob Cain 842-2988 PROP 510 Cumberland Ave. Portland, Me 04101	Applicant name, mailing address & telephone: Same As Above	Project name: PROP Family Housing
Proposed Development (check all that applies) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input checked="" type="checkbox"/> Subdivision, amount of lots 1 <input type="checkbox"/> Other: _____		
Major Development <input checked="" type="checkbox"/> \$575.00 <del>\$500.00</del> Minor Development <input type="checkbox"/> \$400.00		
Who billing will be sent to: PROP Housing Mailing address: 510 Cumberland Ave. Portland Me. 04101 Contact person: Bob Cain Phone: 842-2988 State and Zip: x22		


Nine (9) separate packets must include the following:

- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

All plans must be folded neatly and in packet form

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .25 per page, you may also visit the web site: [ci.portland.me.us](http://ci.portland.me.us) chapter 14

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 2/19/02
---	---------------

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construct

Title: Written Statement  
Sec. 14-525(c)

**1. Description of proposed uses to be located on site.**

The project site located at 49 Hanover St. will be used for the development of 3-units of rental housing. Refer to Pinkham and Greer Drawing CI.

**2. Quantity and type of Residential.**

The housing units will consist of modular construction in a versatile design of a three bedroom triplex. The configuration consists of a full basement with a flat on the ground floor with duplex units above, creating a compact efficient organization of space. This project will have one building consisting of three 3-bedroom residential units.

**3. Total land area of site.**

The site is a total of 3,802.74 SF.

**4. Total floor area and Ground Coverage.**

Total floor area and ground coverage is 1364 SF.

**5. General summary of existing and proposed easements or other burdens.**

There are no existing or proposed easements or other burdens.

**6. Method of handling solid waste disposal.**

We will construct a 5' X 8' area with a concrete floor and 6' high wooden fence for 3-50 gallon trash receptacles. Each receptacle will be labeled for the designated unit. The tenants will be responsible for putting the receptacles out at the curb on trash day.

**7. Applicants evaluation of availability of off-site public facilities, including sewer, water and streets.**

See enclosed letter from PWD and requests from Northern Utilities, and Public Works.

**8. Description of any problems of drainage or topography, or a representation that there are none.**

There are no problems with drainage or topography see Pinkham and Greer Drawing CI.

**9. An estimate of the time period required for completion of the development.**

We anticipate development completion end of May 2002 pending City approvals.

**10. Construction Plan outlining the anticipated sequence of construction of the major features of the project including without limitation, roads, retention basins, sewer lines, seeding and other pollution abatement control measures and also setting forth the approximate dates for commencement and completion of the project.**

Assuming an April 15, 2002 building permit we would begin foundation work on April 16, 2002. Silt fences will be installed as required. The foundation work, which will include tie in to existing sewer and water lines, will be complete by April 30, 2002. Units will be set on May 1-2, 2002 and "B work" (tie together of units, attached) will be completed by the end of May.

**11. A list of all state and federal regulatory approvals to which the development may be subject.**

N/A

**12. The status of any pending applications.**

N/A

**13. Anticipated time frame for obtaining such permits.**

N/A

**14. A letter of non-jurisdiction.**

N/A

**15. Price range of houses that will be built in the subdivision**

Each unit will be constructed for a price of \$100,000.00-\$110,000.00 making the total development cost \$300,000.00-330,000.00.

**16. Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it.**

The Development team consists of the PROP Housing Department and Scott Teas of TFH architect (architectural consultant) and Tom MacDonald of MacDonald Associates (financial consultant for Tax Credit purposes).

The PROP Housing Department consists of 10 employees and 3 maintenance staff. Our experience includes over 60+/- years of construction and development experience. We currently own and manage 27 units of rental housing, that we have purchased and rehabbed in the past 15 years. We are in the process of renovating of five multi-units in the City of Westbrook. In conjunction with the Maine State Housing Authority (MSHA) we oversaw the financial and construction aspects of 500 Fix Me loans and are currently one of only 3 non-profit Agencies administering a Maine Home Repair Pilot. Along with the above we have also run a variety of programs from various sources that include, weatherization, central heating improvements, oil tank replacement, water and energy conservation, homeownership, home purchase, home rehab and resale and others with an annual budget of over 1 million dollars.

Financing will be from an array of sources. Attached is a commitment letter from Key Bank for construction financing and line of credit for property purchase. Also included is a letter from Key Bank indicating the possibility of commitment for Low Income Housing Tax Credits. We have applied for Federal Home Loan Bank Affordable Housing Grant for \$125,000.00 for 34 units (grant awards will be made sometime in March). We are in the process of applying for Low Income Housing Tax Credit funding for the March round (reservations awarded at the beginning of April). The City of Portland reserved \$200,000.00 of CDBG/HOME funds for development of 15-18 units in August 2001. We approached the City for additional funding and the request of \$414,000.00 was unanimously approved by the Housing Council and expected to go to for full Council approval in March. (letter and Housing Council meeting minutes attached).

EXHIBIT X

Mark B. Adelson, Director  
Division of Housing &  
Neighborhood Services



Department of Planning and  
Urban Development

CITY OF PORTLAND

August 27, 2001

Grant Lee, Executive Director  
People's Regional Opportunity Program  
510 Cumberland Avenue  
Portland, ME 04101

Dear Grant,

At its August 20<sup>th</sup> meeting the Housing Sub-Committee of the City Council endorsed PROP's preliminary application for funding under the April 30<sup>th</sup> RFP. We ask that you now complete a final application for your "Scattered Site" Affordable Rental Housing Project.

Elements of the final application include:

- Site control for development
- Financing package - plan and commitments
- Building and site design
- Permit approvals
- List of development team members - particularly changes from initial application

It is hoped you can assemble the final application as rapidly as possible, within 90 days if possible. I'd ask that you remain in contact during this period as the develop proposal is finalized. Your application requested \$340,000 in funding for 30 units. Given the potential to phase the project over a number of years we are reserving \$200,000 from the current budget allocation to develop between 15 and 18 units. If we are successful with these initial developments funds will be made available to assist in financing all 30 units.

I'll serve as your contact here at the Division of Housing & Neighborhood Services, tel. 874-3711, e-mail [ais@ci.portland.me.us](mailto:ais@ci.portland.me.us). I suggest we schedule a meeting shortly to move the project forward. Keep in mind that neighborhood inclusion is a critical factor as these developments unfold and sites are proposed. Call with any questions and to set up a meeting.

Sincerely,

  
Aaron Shapiro  
Housing Program Manager

• 389 Congress Street • Portland, Maine 04101 • (207) 756-8049 • FAX 874-8949 • TTY 874-4936

included:

Donation of Land from the City  
Sale of the Health Center  
\$960,000.00 Secured from HUD

EXHIBIT X.

C-8

Payback Requirement if the Sponsor is Default on Service

No Mortgage, this is a Grant

This will be called the Peaks Island Elder Housing Complex: this will be its own entity with no owner and run by a Board.

The Subsidy covers 75% of operating costs

Section 8 will cover 25% of operating costs

Public Comment:

Steve Scharf asked if the current site of the Health center pays taxes. Wendy Cherubini responded, no, it does not, this was a single family home that was converted for the Health Center. This is City owned.

Jerry Garman commented that people are applying to live in the new housing now. They cannot apply until 90 days before the opening.

Councilor Smith made a motion to recommend to the City Council a change to the Option and Purchase Agreement: Delete Condition # 15. He would like to add a clause to execute a Use Agreement. Councilor Cloutier made the motion, Councilor Dawson gave the second, All in favor of recommendation. He also made a motion to recommend they authorize the sale of 26 Sterling Street. Councilor Cloutier made the motion, with Councilor Dawson giving the second, all in favor. These will go before the Council in February.

3) PROP Scattered Site Housing:

This item was reviewed by Mark and turned over to representatives from PROP.

Betsy Sawyer-Manter gave a brief explanation for new Housing Committee Members. There will be three units in each building consisting of three bedrooms and 1 1/2 baths in each unit. They will be of modular construction. The performa has changed to \$112,000 per unit/each apartment, this amount includes all construction, inside and out. Councilor Smith asked if these buildings will look traditional to the neighborhoods? Betsy responded that yes, they will, they blend very well within the neighborhood. Councilor Smith asked how many sites PROP has located in the City and with a 40'x 80' site being the smallest, would PROP consider doing two unit buildings. Betsy replied that numerous sites throughout the City were located. Bob Cain from PROP replied that no, at this time they would not consider 2 unit projects, it would be considered in the future but that would depend on the Planning process. Councilor Smith also asked if these would be tax paying projects. Bob Cain responded that yes, we redid the performa at the Committee's suggestion and they will be fully taxpaying now, they will be units for family housing. PROP will own and manage the properties. The project on Grant Street has the full support of the Parkside Neighborhood Association. Councilor Smith asked Charlie Lane if the City can lock in the tax-paying concept somehow. Charlie responded that he can't think of a way to do so under Maine Law. Recently during a discussion, the topic was on how to put a Covenant covering this in an agreement.

Public Comment:

Bob Hains asked if these units would have two means of egress with staircases inside and out. Mark responded that yes they would. These units will meet all Zoning and Code Regulations.

Councilor Smith asked for a Motion to accept the \$ 414,000.00 with a minimum of 23 units. Councilor Dawson made the Motion, Councilor Cloutier gave the second, All in favor.



KeyBank National Association  
One Canal Plaza  
Portland, ME 04101-4035

December 12, 2001

Tel: 800 452-8762

Mr. Grant Lee  
Executive Director  
People's Regional Opportunity Program  
510 Cumberland Ave.  
Portland, Maine 04101

RE: Scattered Site Construction Financing

Dear Grant,

We are pleased to inform you that KeyBank National Association (the "Bank") has approved a Two Million Dollar (\$2,000,000.00) Revolving Construction Loan facility for the purpose of constructing affordable housing rental units. The Bank has also approved a Five Hundred Thousand Dollar (\$500,000.00) Line of Credit for the purpose of acquiring property to be used to construct said units prior to Construction Loan funding.

This loan commitment is based on representations made by you in your proposal, the information and assumptions for income and expenses provided, and the costs and estimated time for completion of construction.

The Bank's obligation to honor this commitment is subject to the following terms and conditions.

#### TERMS

Lender: KeyBank National Association

Facility: 1) Revolving Construction Loan up to \$2,000,000.00  
2) Acquisition Line of Credit up to \$500,000.00

Borrower: People's Regional Opportunity Program (PROP)

Interest Rate: 1 & 2) A variable interest rate will be charged equal to the daily published Wall Street Journal Prime Rate (currently 4.75%). The Rate will change contemporaneously with any change in the published rate.

Term: 1) Availability under the Revolver will be subject to annual review and renewal. Individual construction loans will be established for each project being developed. The term of each construction loan will be the earlier of completion of the specific project or 12 Months from first draw down.

2) Availability under the line will be subject to annual review and renewal. Individual notes will be established for each acquisition that will have maturities of 6 months. Principal will be due on conversion to Construction Loan under the Revolver.

## People's Regional Opportunity Program

2

## Interest

Payments: 1 & 2) Monthly payments of interest only on the disbursed principal balance.

Late Charges: 1 & 2) 3% of monthly payment, for payments not received within 15 days of the due date.

## Commitment Fee.

1 & 2) A one time commitment fee of \$6,250.00 (\$5,000.00 for Revolver, \$1,250.00 for Line) is due of which \$2,250.00 (the "Commitment Deposit") shall be payable upon your acceptance of this letter and the balance at the closing. The Commitment Fee is consideration for the issuance of this commitment by Lender and the substantial services that Lender has rendered and will render in preparation for the closing of the Loan. The Commitment Fee is non-refundable under any circumstances, whether or not the Loan closes.

## CONDITIONS (for each project submitted):

— Each loan shall be evidenced by a promissory note of the Borrower which shall be secured by:

Collateral: 1 & 2). A First mortgage and security interest in all land and buildings to be acquired plus improvements to be constructed, materials, plans and specifications, plus an assignment of all rents and leases if applicable.

1) Assignment of all permanent sources of funding.

1) Assignment of Contractor, Architect and/or Engineer's Contract and Plans.

## Environmental

Site Assessment: 1 & 2) An acceptable Phase I Environmental Site Assessment report prepared for and certified to the Bank as a co-client will be required.

## Appraisal:

1) Funding under this commitment is made subject to the receipt of appraisals on any proposed projects where Construction Revolver funds will be used. The appraisals are further subject to acceptance satisfactory to the Bank in all respects including, but not limited to, an as completed market valuation that indicates a maximum loan to value of 80% of requested construction funds. Cost appraisals will be borne by the Borrower.

2) Acquisition funding under the Line will be limited to a 50% loan to value as established using market comparables or 70% of cost, whichever is lower.

## Financial Statements:

Borrower and related entities will be required to furnish current financial information and annual Audited Financial Statements within 120 days of Fiscal Year End.

## Builder Risk &amp; Hazard Insurance:

Evidence of general liability insurance with minimum limits of \$1,000,000.00 per occurrence and \$1,000,000.00 in aggregate, converting upon completion of construction to all risk hazard insurance covering the improvements in the amount of the loan balance or greater will be required. The insurance company must be acceptable to the Bank and "KeyBank National Association, its successors and assigns" shall be named in the mortgage loss payable clause with the address of "KeyBank National Association, ATTN: OH-01-55-0203BSC, 55 Public Square, Cleveland, OH 44114."



## People's Regional Opportunity Program

Modular Home  
Supplier:

1) The Borrower will enter into a fixed price contract from a modular home supplier that includes delivery, and "bolt and secure" setup. The contract will correspond to the information as to the costs and timing of each Project submitted to the Bank. This information is to be supplied to and reviewed and accepted by an independent construction inspector that will be engaged by the Bank. Both the supplier and the terms and conditions of the contract must be acceptable to the Bank.

## Covenants:

1 & 2). For usage under both facilities Borrower shall maintain a ratio of Total Senior Liabilities to Adjusted Tangible Capital of not more than 5.00 to 1.00; tested at the end of each fiscal Year. (Actual as of June 30, 2001 = 4.95 to 1). "Total Senior Liabilities" means total liabilities less Subordinated Debt. "Adjusted Tangible Capital" means Tangible Capital less investments in, advances to, promissory notes and any receivables from, any affiliate or other related entity of Borrower. "Tangible Capital" means Tangible Net Worth plus Subordinated Debt. "Tangible Net Worth" means Borrower's total assets excluding all intangible assets (i.e., goodwill, trademarks, patents, copyrights, organizational expenses, and similar intangible items, but including leaseholds and leasehold improvements) less Total Debt. "Total Debt" means all of Borrower's liabilities including Subordinated Debt. "Subordinated Debt" means indebtedness and liabilities of Borrower, which have been subordinated by written agreement to indebtedness owed by Borrower to Lender in form and substance acceptable to Lender.

Pre-Closing  
Requirements for  
Each project:

The following will be submitted to the Bank prior to any advances under the Construction Loan Revolver.

Binding commitments for long-term permanent financing, grants, bridge financing, subsidy and/or tax credit equity in amounts sufficient to satisfy 100% of the construction loan balance and total project costs to be in hand prior to construction loan start. Such commitments shall be subject only to construction completion and a certificate of occupancy. Acceptable inter-creditor agreement(s) shall be executed between the Bank, the Borrower and all sources of permanent funds related to the above.

Review and approval by Bank engaged construction loan inspector of final construction loan budget, all sub-contractors that have contracts over \$20,000.00, and the modular home supplier and contract, prior to construction loan start.

Final plans and specifications and based on these plans and specifications, Borrower shall submit to the Bank a detailed estimate of costs. The Bank's approval of the above is for lending purposes only.

Copy of any and all construction contracts. Including commitments from modular home manufacturers.

Copy of current deed to subject property. If on leased property a long-term lease acceptable to all parties including but not limited to all funding sources.

Evidence in the form of a building permit that the premises and proposed improvements comply with all zoning laws, ordinances, and rules and regulations of all governmental authorities having jurisdiction.

A borrowing resolution which identifies those individuals by name and title who have the proper legal capacity and authority to enter into the loan transaction and execute the loan documents.

## People's Regional Opportunity Program

Confirmation of builder risk, liability and hazard insurance with the Bank properly named as a mortgagee loss payee.

Other documents which may be reasonably required by the Bank of Borrower to assure compliance with this commitment.

## Obligation to Disburse:

The Bank's obligation to disburse pursuant to a construction loan agreement is further contingent upon the following:

Each condition of this loan commitment and the loan documents have been satisfied in a manner acceptable to the Bank.

Borrower will furnish up-to-date financial information and certification that no adverse condition has occurred that would affect the credit or security the Bank relied upon in the granting of this loan.

The Bank shall disburse the loan funds pursuant to the revolving construction loan agreement to be executed as part of the loan documents.

For funds under the Construction Loan Revolver the Borrower will submit draw requests with each request using the American Institute of Architects (AIA) forms G702 and G703. Prior to each disbursement the Bank appointed inspector shall inspect the property to verify that the request for disbursement accurately indicates the amount of construction completed to said date. Disbursement will be limited to one per month and the costs for the title insurance update and property inspection for each disbursement will be charged to the Borrower.

Upon completion, Borrower shall furnish the Bank a certification from a licensed architect or engineer certifying that all of the improvements are fully completed and are in accordance with the Bank's approved plans and specifications. The architect or engineers shall also furnish a certification that all improvements comply with the current building code requirements and that there are no known violations. The Bank shall also receive a Certificate of Occupancy satisfactory to the Bank.

**Closing Costs:** Borrower agrees to pay all loan expenses including, but not limited to, title company premiums and charges, fees of the Bank's counsel, appraisal, environmental site assessment, recording fees and taxes, property inspection fees, and all other reasonable expenses in connection with the preparation, closing and disbursement of the loan. To the extent incurred, the foregoing expenses shall be paid by Borrower whether or not the loan shall close or be funded.

**Law:** The rights and obligations of the parties with respect to this commitment shall be governed by the laws of the State of Maine. Under Maine law, no promise, contract or agreement to lend money, extend credit, forbear from collection of a debt or make any other accommodation for the repayment of a debt for more than \$250,000 may be enforced in court against the Bank unless the promise, contract or agreement is in writing and signed by the Bank. Accordingly, the Borrower cannot enforce any oral promise unless it is contained in a loan document signed by the Bank, nor can any change, forbearance, or other accommodation relating to the loan, this agreement or any other loan document be enforced, unless it is in writing signed by the Bank. Borrower also understands that all future promises, contracts or agreements of the Bank relating to any other transaction between Borrower and Bank cannot be enforced in court unless they are in writing signed by the Bank. Borrower further agrees that the requirement of a writing described in this paragraph shall apply to this commitment, the loans or credit described herein, any extension, modification, renewal, forbearance or other accommodation relating to the transactions contemplated by this commitment, and to any other credit relationship between

People's Regional Opportunity Program

Borrower and Bank, (whether existing now or created in the future) whether or not the amount involved exceeds \$250,000

Legal Counsel: Satisfaction of requirements of the Bank's legal counsel and approval by counsel of all documents in connection with this loan will be required. The foregoing terms and conditions are predicated upon lender's present understanding of the proposed transaction, and are subject to such additional requirements as may be determined by lender's legal counsel. The loan documents shall also contain provisions regarding late fees, default rate interest, waiving trial by jury, providing for venue in the State of Maine for any litigation and restricting the types and the amount of damages which may be recovered.

Commitment  
Acceptance &  
Expiration:

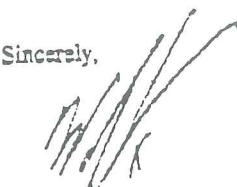
This letter and commitment has been issued in response to Borrower's request and shall not become effective until such time as the Bank has received Borrower's unconditional written acceptance of the terms and conditions of this letter. This commitment expires sixty (90) days from the date on which the Borrower accepts and returns this letter along with the required Commitment Deposit. The loan must close by the end of this time of this commitment shall be no further force and effect.

This commitment is made to the Borrower and is not assignable or transferable to any other party or entity. The Terms and conditions of this commitment may not be modified, changed, waived, or extended unless agreed to in writing and executed by all parties.

If this commitment is acceptable, please date and sign below. If this commitment letter is not returned by December 28, 2001 this commitment shall be of no further force or effect.

We are pleased to offer this financing and thank you for favoring KeyBank National Association with this loan and relationship opportunity.

Sincerely,




W. Scott Fox  
Senior Vice President  
Community Development Lending

THE TERMS AND CONDITIONS OF THIS COMMITMENT ARE ACCEPTED AND AGREED TO ON THIS  
20th DAY OF December, 2001.

SEEN AND AGREED TO:

People's Regional Opportunity Program

By:   
Grant Lee, Executive Director

Date: 12/20/01

EXHIBIT

C-14



KeyBank

1 Canal Plaza  
Portland, Maine 04101  
W. Scott Fox Vice President  
207-874-7026 / 207-874-7732 fax

January 24, 2002

People's Regional Opportunity Program  
Robert Cain, Director of Finance & Administration  
510 Cumberland Ave  
Portland, Maine 04101

Re: Scattered Site Construction Financing and Low Income Housing Tax Credits

Dear Bob:

The purpose of this letter is to confirm Key Bank National Association, and its wholly owned affiliate Key Community Development Corporation's strong interest and ability in acquiring all Low Income Housing Tax Credits associated with the scattered site development of affordable rental housing in the greater Portland area. It is my understanding that the project will be generating tax credits totaling \$2,103,000.00. Also, this letter is to confirm that we have already committed up to \$2,000,000.00 in construction financing for this project.

We look forward to working with you in developing this exciting project. Please be advised the foregoing does not constitute an offer, agreement or commitment to provide such funding. A formal binding commitment may only be given after more extensive due diligence and completion of our internal approval process, which may impact the terms discussed above. Furthermore, any formal commitment issued by Key Bank National Association must be in writing and would contain more extensive terms and conditions.

Sincerely,

W. Scott Fox  
Senior Vice President  
Community Development Lending



ATTACHMENT 0-1

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-5967  
FAX (207) 761-8329  
www.pwd.org

February 12, 2002

Thomas S. Greer, P.E.  
Pinkham & Greer  
170 US Route One  
Falmouth, me. 04105

Re: PROP Project- Hanover Street

Dear Tom:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed 3 residential units on Hanover St. near the City's equipment storage lot in Portland. Checking District records, I find there is a 6" cast iron water main in Hanover street that was installed in 1921, map enclosed.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project..

Hydrant Location: Hanover St. @Portland st..  
Hydrant # 222  
Static pressure = 81 PSI  
Flow = 1061 GPM  
Last Tested = 7/1/91

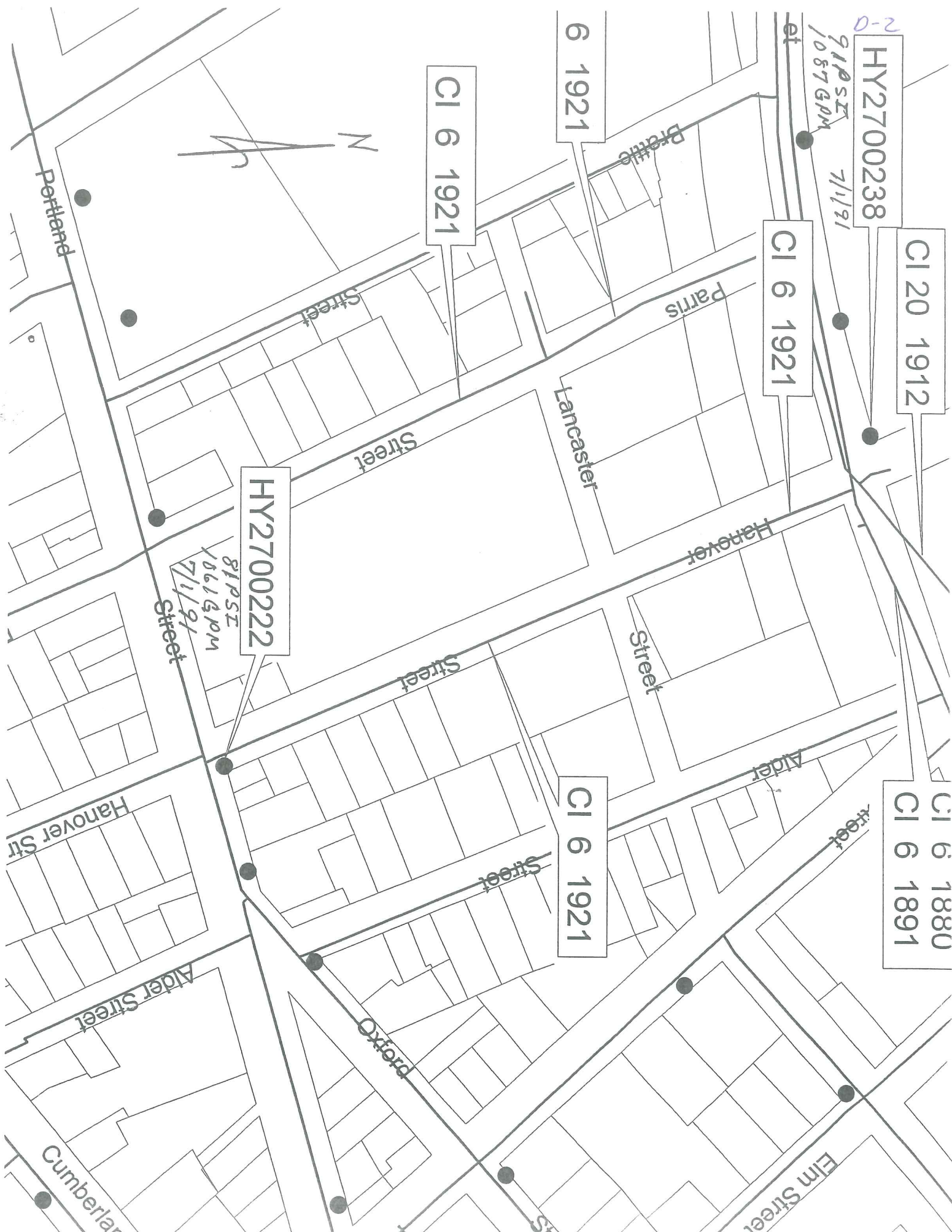
If the district can be of further assistance in this matter, please let us know.

Sincerely,  
Portland Water District

Jim Pandiscio  
Means Coordinator

Pinkham & Greer

2001 Governor's Award for Environmental Excellence



D-2

HY2700238

91PST  
1087GPM  
7/1/91

CI 20 1912

CI 6 1921

6 1921

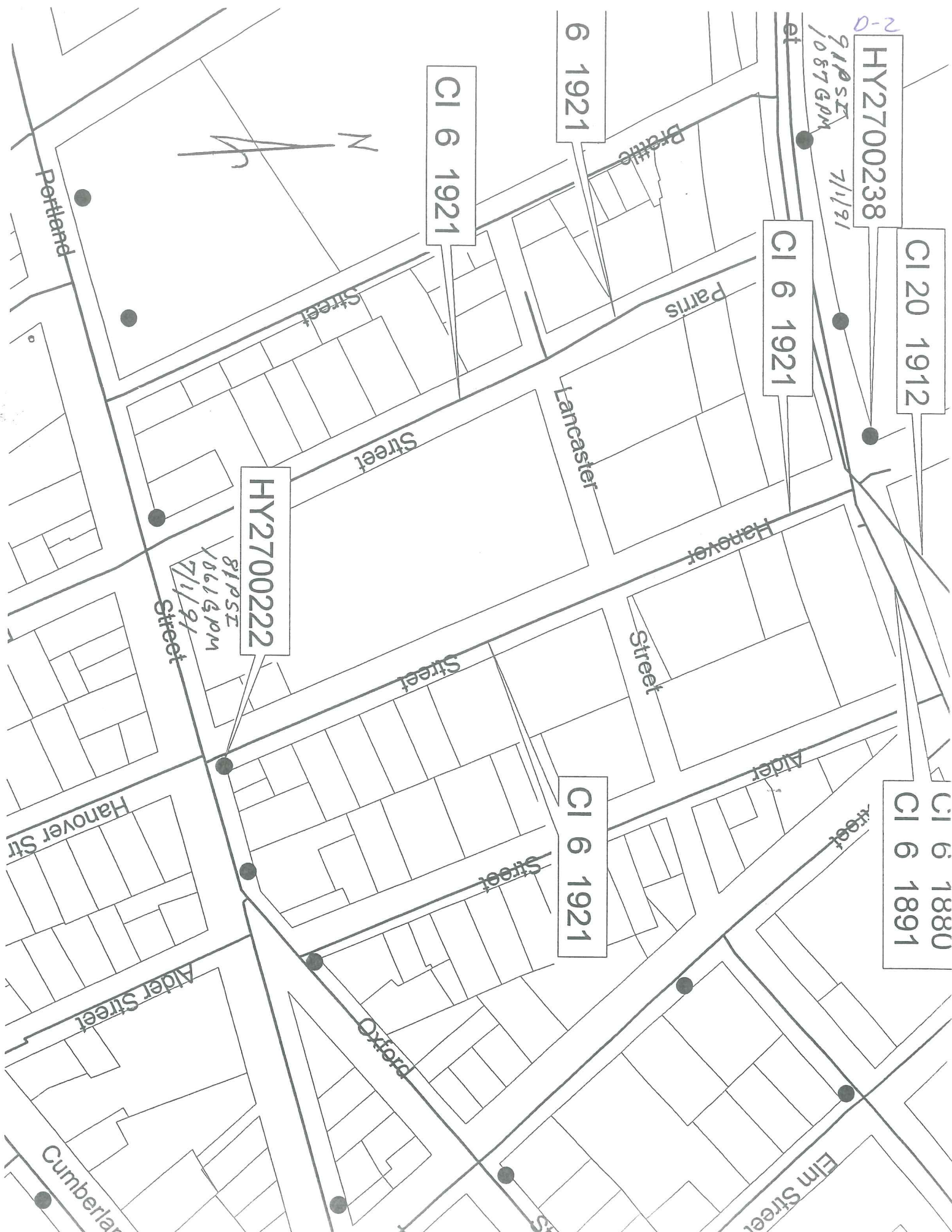
CI 6 1921

HY2700222

81PST  
1061GPM  
7/1/91

CI 6 1880  
CI 6 1891

CI 6 1921



Portland

Street

Street

Lancaster

Hanover

Street

Alder

Hanover Str

Alder Street

Oxford

Elm Street

Cumberland





**CITY OF PORTLAND**

1 March 2002

Mr. Thomas S. Greer, P.E.,  
Pinkham & Greer,  
170 U.S. Route One,  
Falmouth, Maine 04105

**RE: The Capacity to Handle Wastewater Flows, From 49 Hanover Street,  
A Three Unit, Peoples Regional Opportunity Program (P.R.O.P.) Project.**

Dear Mr. Greer:

The existing fifteen-inch diameter vitrified clay sanitary sewer pipe located in Hanover Street, has adequate capacity to transport the anticipated wastewater flows of 549 GPD, from the proposed three units project, at 49 Hanover Street. The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to treat the total anticipated wastewater flows of 549 GPD, from the proposed P.R.O.P. project.

<b>Anticipated Wastewater Flows from the Proposed P.R.O.P. Units</b>	
Proposed 3 Hanover Street Units @ 264 GPD/Unit	= 792 GPD
Less Existing Sanitary Wastewater Flows at #49 Hanover Street	= (143) GPD
<b>Total Proposed Increase in Wastewater Flows for this Project</b>	<b>= 549 GPD</b>

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as Stormwater mitigation, from all projects, in order to offset any increase in sanitary flows. If I can be of further assistance, please call me at 874-8832.

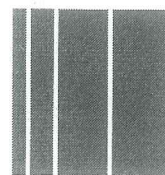
Sincerely,  
**CITY OF PORTLAND**  
*Frank Brancely*  
Frank J Brancely, B.A., and M.A.  
Senior Engineering Technician

FJB

- cc: Alexander Q. Jaegerman, Acting Co-Director, Department of Planning, and Urban Development, City of Portland  
 Rick Knowland, Senior Planner, Department of Planning, and Urban Development, City of Portland  
 ✓ Eric Labelle, P.E., City Engineer, City of Portland  
 Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland  
 Anthony W. Lombardo, P.E., Project Engineer, City of Portland  
 Stephen K. Harris, Assistant Engineer, City of Portland  
 Todd Merkle, Field Inspections Coordinator, City of Portland  
 Desk file

## Sebago Technics

Engineering Expertise You Can Build On



02P040

**TO:** Rick Knowland - Planner  
**FROM:** Jim Seymour – Development Review Coordinator, Sebago Technics, Inc.  
**RE:** PROP Family Housing – 49 Hanover Street  
**DATE:** March 5, 2002

---

I have reviewed the Site Plan package and supporting documentation for the PROP Family Housing Project located at 49 Hanover Street and provided the following comments in an outline topic scenario:

### 1. Stormwater Management

- A. No stormwater calculations were performed but, given the density of the proposed lot, there is only one recommendation that I can make. The design professional should make every attempt to sheet flow as much driveway and parking lot runoff as possible toward Hanover Street. This may require bringing the grades of the pavement higher to increase the amount of paved surface to slope to Hanover Street

### 1. Road Access/Circulation

- A. Typical parking space size per technical standards is 19 feet x 9 feet, not 18 feet x 9 feet. We have arranged through staff to reduce the space sizing as a design modification/waiver. However the spaces should be dimensioned on the plan along with the width of the aisle.
- A. It appears that the existing curb cut does not properly line up with the proposed entrance. The design should remove one section and reset the tip down, and re-use this section if its in good shape to be added on the opposite side. A tip down should be present at each curb terminus. All curbing resetting and sidewalk repair is under the review of Public Works. Details for the replaced or repaired sections of public streets require City specifications and details to be shown on the plans.



Mr. Knowland

-2-

March 5, 2002 F-2

A. Where grading is now relatively steep along the rear parking area, a guardrail of steel or wood should be added.

A. I also feel that all of the landscape islands around the building adjacent to the pavement should be protected with a Cape Cod style bituminous curbing. Without curbing, the residents may park or drive over these landscape areas and bark mulch will wash away.

A. How is snow removal going to be conducted? It appears there is no space available on site to place snow. Please indicate snow removal methods by means of a note on the plan.

#### 1. Grading/Erosion Control

A. Stone riprap should be added along the rear north and eastern side of the parking lot. The area has limited sunlight to support grass growth, and the area is accepting more runoff and has a steeper slope; therefore, riprap protection appears the logical solution for long term maintenance.

#### 1. Utility Installation/Location

A. All utility service connections proposed within Hanover Street are to be inspected by the individual utility companies and the City of Portland where applicable. All sewer service connections shall require a detail on the plan as well as a note stating that all work within the street right-of-way shall require a street opening permit from Public Works.

#### 1. Details

A. Sidewalk, curbing, and handicap ramp details are needed.

A. A trash can enclosure detail is needed.

A guardrail detail will be needed.

#### 1. Additional Issues

A. Building setbacks shall be added to the plans along with dimensions to assist the contractor for layout of the building. Layout dimensions shall be from a known reference point.

Based on the information needed, it may be best if the applicant, designers and engineers plan a brief meeting in person or by phone with Public Works and myself to review all of these comments. As always, please feel free to call me with any questions.

JRS:jrs/jc

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2002-0040**  
Application I. D. Number

**02/22/2002**  
Application Date

**People's Regional Opportunity Program**

Applicant

**510 Cumberland Ave, Portland, ME 04101**

Applicant's Mailing Address

**Bob Cain / PROP**

**Prop Family Housing**

Project Name/Description

**49 - 49 Hanover St, Portland, Maine**

Address of Proposed Site

**033 C009001**

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

**Applicant Ph: (207) 842-2988    Agent Fax:**

**Applicant or Agent Daytime Telephone, Fax**

**Engineering Comments**




**PUBLIC WORKS ENGINEERING REVIEW.....2/27/02**

The following comments are in response to the application and plans dated 2/22/02:

1. The site on 49 Hanover Street, in its previous state, existed as a single story dwelling with a gravel driveway and a rear lawn along the northeasterly half of the lot. This proposal include covering almost the entire site with impervious cover and directing the resulting runoff onto the abutting property. The applicant's engineer should consider a combination of lowering the buildings first floor elevation and lifting the grades of the rear parking area. The intended result would be to direct as much runoff as possible to the gutters of Hanover Street.
2. The applicant should be aware that any damage to the existing paved sidewalk and granite curb, within the Hanover Street right of way, will be the burden of the applicant and their contractor. Damaged curb and sidewalk will require repair or replacement at a cost to the applicant.
2. The proposal includes several utility connections within Hanover Street. The applicant should be aware that several permits and corresponding fees exist for excavation and construction activity within a public right of way. The applicant should contact Carol Merritt at Public Works for more detail.
3. The proposed utility connections will require disturbance of existing curb and sidewalk. The proposed limits of work should be defined on the plans.
4. The proposed connections into the City sewer requires specifying construction details on the plans.

## FLOOD LIGHTS



CAT. No.	FINISH	LAMP AND LIGHT	DESCRIPTION
P5239-31WB	Black	One 12V 50w halogen bi-pin lamp (included)	Size: 5 1/4" w, 6" ht., 3-1/2" depth Adjustable hinge door for easy relamping. Includes stake. 
P5220-31	Black	One 50w HPS E-17. High pressure sodium	Produces a golden light appropriate for warm colors such as red brick. HPS reduces energy costs. One 50w HPS lamp equals the light output of a 150w incandescent lamp. Same as P5222-31 except high pressure sodium lamp (not shown). 
P5221-31 Shown w/P8610-31 visor	Black	One Q300w T-3, RSC. Quartz halogen	Offers an intense white illumination for strong accent lighting and more faithful color fidelity of floral displays.
P5222-31	Black	One 50w MV E-17. Mercury vapor	Produces a cool, blue-white color especially appropriate for greenery. Also reduces energy costs. One 50w MV lamp equals the light output of a 100w incandescent lamp. 

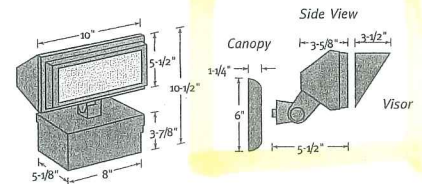
## Flood Lights

For lighting large open areas – for general illumination, safety and security. These 120-volt and 12-volt are die cast aluminum, black powder-coat painted to resist chipping and fading. All swivel up or down. Swivel stem has 1/2" IP thread for permanent installation.

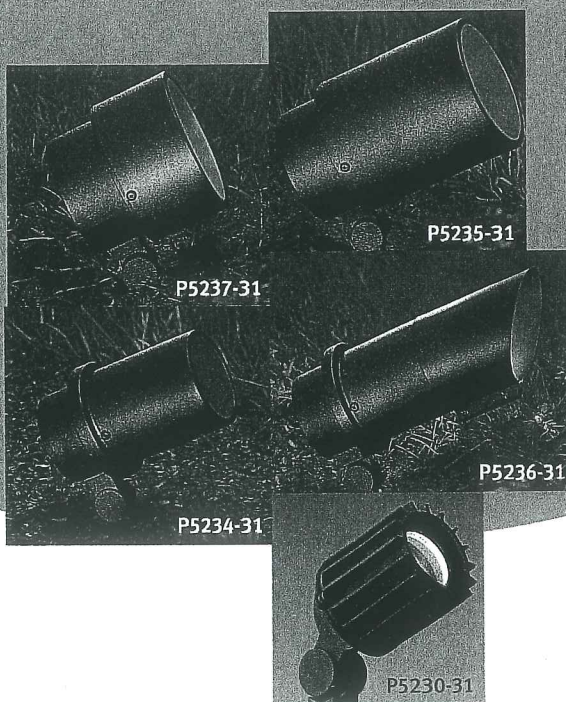
### Accessories




**P8610-31** Black metal visor  
Provides glare and beam control. Fits P5220, P5221 and P5222 flood lights.

**P8615-31** Black canopy  
For mounting P5220 and P5221.



## SPOT LIGHTS





- P5234-31** Black  
120-volt.  
Size: 4-1/2" dia., 6-5/8" long.  
Lamp: One 50w PAR 20.
- P5235-31** Black  
120-volt.  
Size: 5-1/4" dia., 8-1/4" long.  
Lamp: One 150w PAR 38.
- P5236-31** Black  
12-volt.  
Size: 4-1/2" dia., 6-5/8" long.  
Shown with P8612-31 light shield (order separately).  
Lamp: One 50w D.C. bayonet halogen reflector.  

- P5237-31** Black  
12-volt.  
Size: 5-1/4" dia., 5-1/4" length.  
Lamp: One 50w PAR-36.  

- P5230-31** Black  
Miniature low voltage spot light. Black powder coat finish over die cast aluminum.  
Size: 3" dia., 5" length.  
Lamp: One MR 16 halogen lamp, 50w max.  


## Spot Lights

Spots provide controlled lighting to accent objects and delineate plantings. 12-volt and 120-volt installations. Includes integral clear glass lens.

Black powder-coat painted aluminum resists chipping and fading. All swivel up or down. Stem has 1/2" IP thread for permanent installation or, in low voltage installations, with movable P8616-31 accessory ground stake. (See page 324.) Both can be used on landscape posts P8561 and P8562.

### NOTES

-  All fixtures using compact fluorescent lamps are energy efficient.
-  Low Voltage
- SC Bayonet see page 324
- For accessories please see page 324.

ATTACHMENT 14

**From:** Rick Knowland  
**To:** internet:tst@tfharchitects.com  
**Date:** Wed, Feb 27, 2002 4:37 PM  
**Subject:** staff comments on prop projects

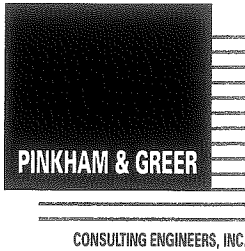
Scott, this e-mail is intended to summarize staff comments received to date on the Hanover St and Monroe/Greenleaf St PROP projects. As other comments become available, I will forward them to you accordingly.

↙ Hanover Street

1. Need a recording plat with a stamped survey.
2. "Site plan notes" were not put on the plan. I will re-fax the notes to you.
3. Engineering comments from Public Works dated 2/27/02 have been received. I will fax them to you.
4. The two porches or overhangs on the southerly side of the building should show a dimension from the new building to the existing building (min. dimension of 10 feet).
5. Within the footprint of the building shown on the plan it says "3 units". Should change to "3 dwelling units".
6. Comments from the City Arborist, Jeff Tarling, I will fax to you.
7. Take out note 16. There is a similar note in the "site plan notes" that can take care of that.
8. The grass areas on the plan should be clearly indicated.
9. The rear 3 parking spaces should have some type of physical encumbrance such as a curb stop to keep the cars off the abutting property (city of portland).
10. Show us a sketch of the trash can storage.
11. Flood lights are not a preferred lighting fixture. Choose one that is directed downward and not glaring.
12. Building elevations should have dimensions such as the building height, building width, typical dimensions of windows and exterior trim.
13. Sidewalk and curb. If damaged during construction, they will need to be fixed. We have not determined whether they need to be replaced automatically because of their current condition.

Monroe/Greenleaf

1. Need a survey stamp on the recording plat attesting to the entire survey.
2. Submit a cross-section of the sideyard timber deck steps for the Greenleaf St. building so we can determine that there is no setback issue. If they aren't acceptable, there is a setback issue.
3. On the recording plat please show the parking spaces. The common lot line of lot 1 and 2 needs to be shown so that there are clearly two lots. The recording plat includes some existing conditions which causes clutter and confusion. Show proposed driveway openings not existing. Other elements that should be taken out include "ex. shed to be removed" and "ex. pvmt & fence to be removed". I don't see why the existing trees on the site should be shown on the recording plat.
4. Add "site plan notes" to the plan. This will be re-faxed to you.
5. The total land area shown on the recording plat is incorrect (note #19). The correct total land area of the subdivision needs to be shown on the recording plat.
6. Show us a sketch of the trash can storage.
7. The grass areas on the plan need to be clearly shown.
8. On sheet C-3 a guard rail and steel bollard detail are shown. If these are going to be used on the plan they should be shown on the plan. If not, these items should be taken off the detail sheet.
9. Note #19 there is a typo, there will be two-3 dwelling unit buildings.
10. Label the footprint dimensions of the proposed buildings, driveway width and parking spaces.
11. Submit a catalog cut of the of the retaining wall.
12. Are you going to need a construction easement? The retaining wall detail would seem to indicate so.
13. The submitted easement language needs more work. The recording plat easement language will likely need to be modified. I would suggest that your attorney contact Penny Littell, Associate Corporation Counsel to discuss this further.



170 U.S. Route One  
Falmouth, Maine 04105  
Tel: 207.781.5242  
Fax: 207.781.4245

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## MEMORANDUM

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TO: Scott Teas  
FROM: Tom Greer *Tom*  
DATE: March 7, 2002  
RE: 49 Hanover Street  
FILE: 01402

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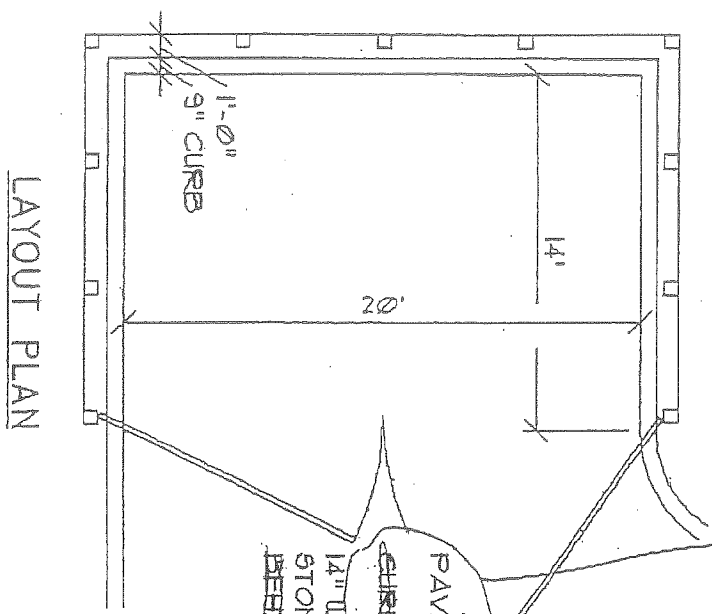
Below are the responses to the City's comments:

1. A surveyor will stamp the final mylars.
2. The standard city notes were added to the plans.
3. The units were labeled "dwelling".
4. The planting plan by Jeff Tarling has been added to the plan.
5. The grass areas are labeled.
6. The grading of the driveway was changed to drain to Hanover Street. This required a retaining wall around the end of the driveway, which will have a guardrail in front of the parking spaces.
7. The sidewalk and street are shaded showing utility connections and the repair area.
8. The parking spaces are dimensioned.
9. We believe the existing driveway opening is adequate and aligned on the south side. It will remain intact throughout the project.
10. The barkmulch areas are left intact. We have not added curbing along the edge.
11. A snow removal note was added.
12. Several standard city details for construction and the utility connections were added.
13. The zoning notes were modified to reflect the zero setbacks and 10' setback from the adjacent home.
14. Layout dimensions have been added.

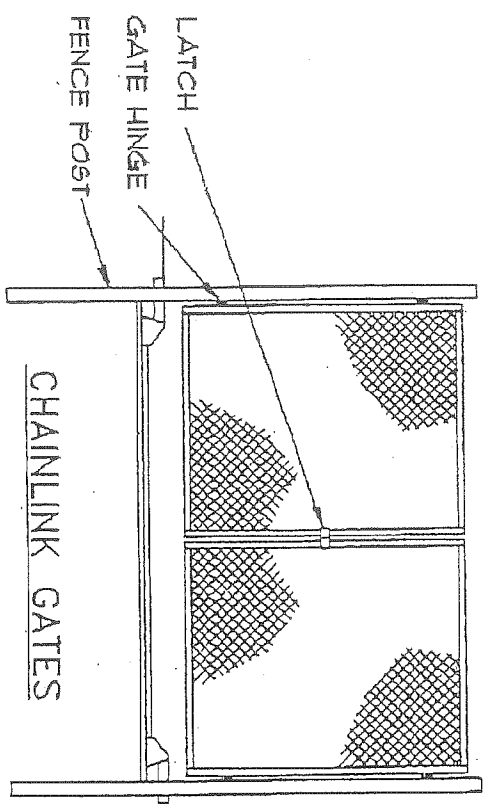
Hopefully, this addresses the City's comments.

- 1. ALL WOOD TO BE PRESSURE TREATED
- 2. ALL NAILS AND SCREWS TO BE GALVANIZED.

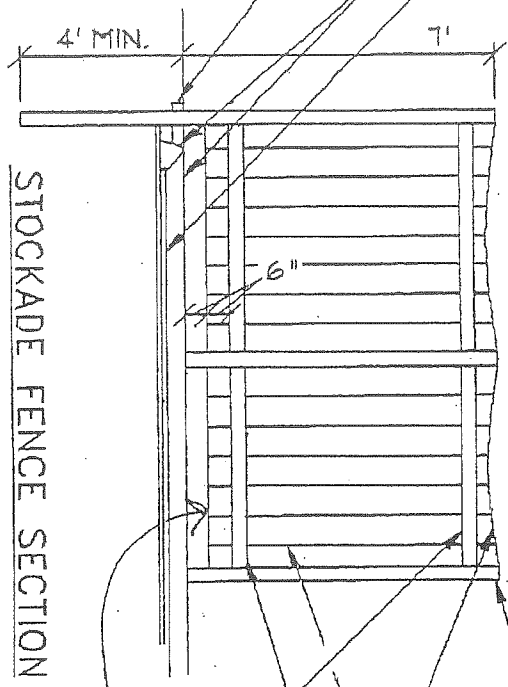
NOTES:



LAYOUT PLAN



THIS CAN BE CONC. PAD OF PAVEMENT



STOCKADE FENCE SECTION

- 4"x4" FENCE POST @ 5'-6" O.C.
- 3" DEEP ARCH CUT POST TO POST
- 1"x6" FENCING
- 2x4 RAIL @
- STOCKADE OR CHAINLINK

THE GATE CAN BE STOCKADE OR CHAINLINK

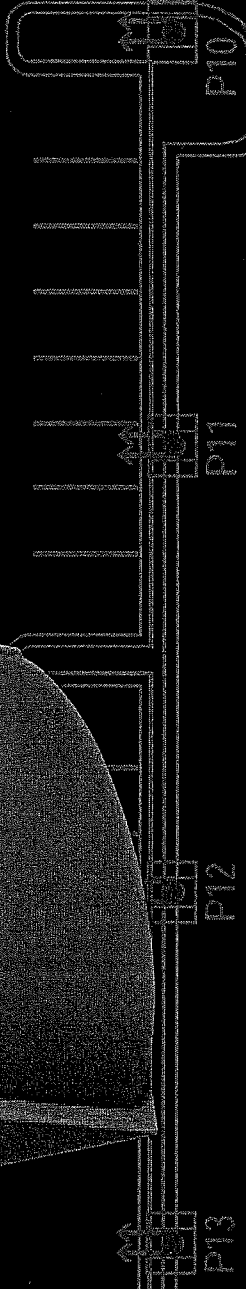
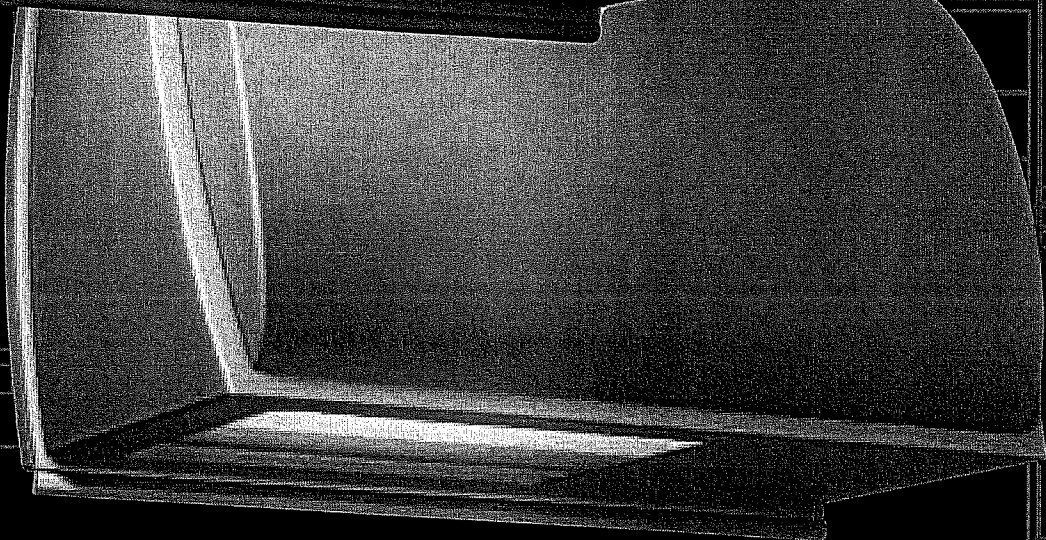
# 17 DUMPSTER ENCLOSURE DETAILS

NOT TO SCALE



# Criterion

Wallpack Lighting



# Wallpack Lighting

## FORM, FUNCTION, FRUGALITY

At last, there is a complete outdoor lighting system designed to meet the functional, aesthetic, operational and economic needs of commercial and retail multi-site facilities. From the convenience and savings of interchangeable components, best-of-class optics and photometrics, to the beauty of complete architectural integrity in wall, area and flood lighting, our line of Criterion™ luminaires will meet your every need.

## A BRILLIANT SOLUTION

Now all your lighting across the country and across the parking lot can have the same look. But the value of Criterion luminaires goes deeper than their sleek die-cast exteriors. From their low-profile hardware and concealed gaskets to their easy tool-free maintenance, every aspect of Criterion's housing has been designed to maximize beauty, strength, durability and economical operation. Best of all, the inside of this luminaire is just as beautiful as the outside.

The Criterion Series includes design breakthroughs that will change the way you choose and specify lighting for years to come.

## CUT-OFF WALLPACK

The Criterion 175w and 400w Cut-Off Wallpacks are the fastest mounting luminaires in the West, or anyplace for that matter. Just remove the SnapDrive™ Electrical System, mount the wall gasket to provide an IP65 rating, then mount the housing using pre-punched keyhole slots. Make your electrical connection and plug the SnapDrive back in. One person can do it with one ladder. It's fast and it's easy. Of course, you also get all the benefits of the Criterion family plus the superior light control of the Criterion Wallpack luminaires. The Cut-Off Wallpack projects light through a bottom opening to virtually eliminate all uplight. Bottom projection also allows for vertical lamp placement. Select the vertical burning pulse start lamp option for more light. Easy installation, more light, longer, where you want it. That's the Criterion Cut-Off Wallpack.

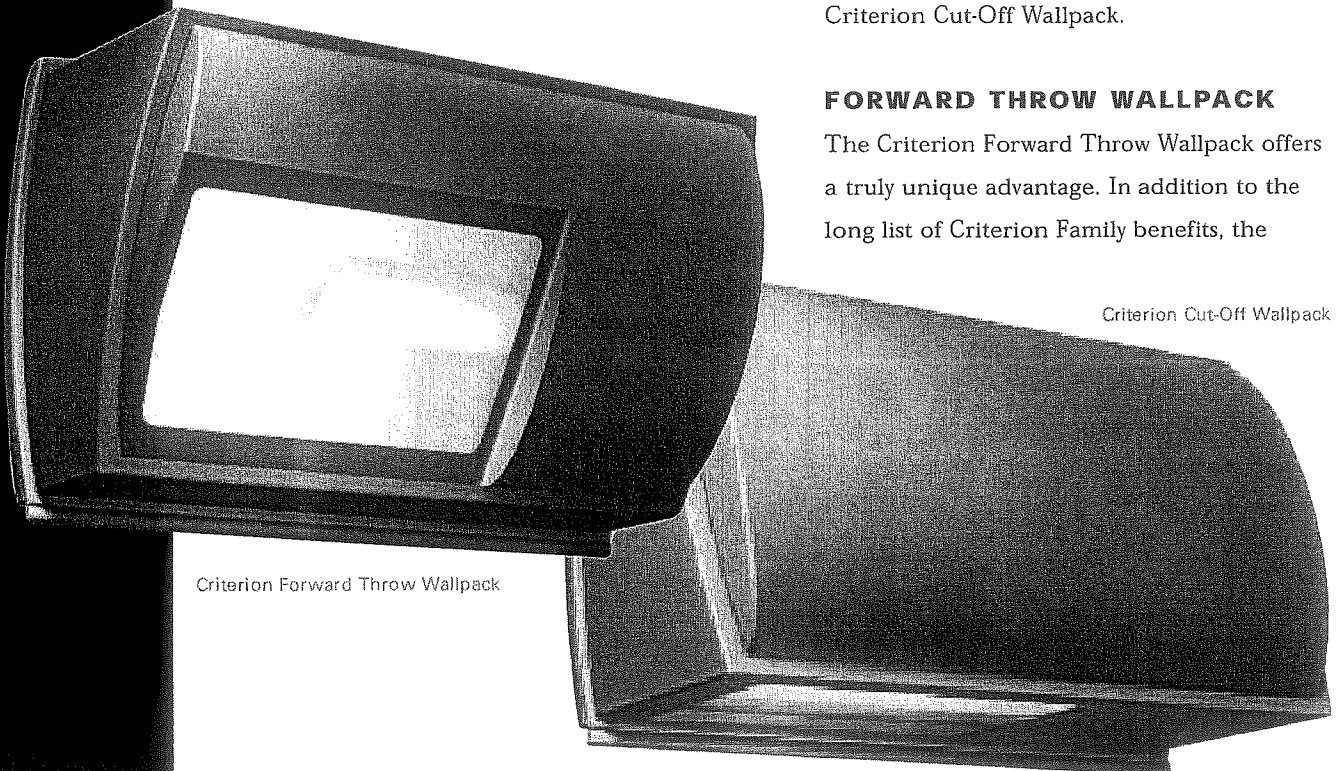
## FORWARD THROW WALLPACK

The Criterion Forward Throw Wallpack offers a truly unique advantage. In addition to the long list of Criterion Family benefits, the

Criterion Cut-Off Wallpack

Criterion Forward Throw Wallpack

THE FIRST  
TOTAL OUTDOOR  
LIGHTING  
SOLUTION  
DESIGNED  
TO SIMPLIFY  
YOUR LIFE





# Wallpack Lighting

**CRITERION.**

**A NEW**

**STANDARD**

**IN HID**

**LIGHTING**

### HOUSING

- Die-cast aluminum housing for strength, beauty and low maintenance
- Scaled family styling for consistent site-enhancing look
- Concealed continuous gasket seals against harmful dust, dirt, moisture and insects (IP65 rating)
- Tool-less entry for easy, economical maintenance (except 70w)
- Tamper-resistant option helps prevent unauthorized entry for security and safety (standard in 70w)
- Pre-punched key hole mounting slots, for fast and frugal installation
- Sliding notched hinge for quick and simple removal of the front housing (except 70w)
- 70w features economical direct mounting ballasts

- Choice of a palette of standard colors, 188 RAL colors, or your own custom color in fade- and abrasion-resistant powder and liquid paints

### OPTICS

- Adjustable Throw Reflector and shielded lamp to accurately tune light placement (Forward Throw version)
- Cut-Off Reflector to maintain dark sky standards and please neighbors (Cut-Off version)
- Rugged hydro-formed reflector for consistent, repeatable performance
- Alglas® coating seals reflectors from contaminants for superior long term performance
- 35w to 400w MH, PMH and HPS lamp operation (consult ballast selection table for availability)

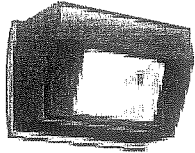
### ACCESSORY OPTIONS

- EZAdd™ Switched quartz (400w only)
- Single & dual fusing
- EZAdd™ button PE



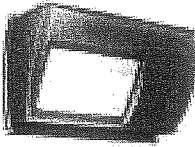
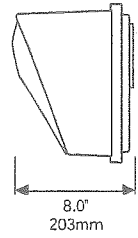
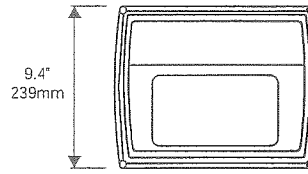
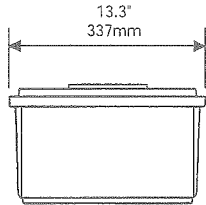
*Lighting for building perimeters, loading docks, entrances, parking lots, walkways, wallwashing, uplighting, ATM areas and drive-through lanes.*

# Specifications



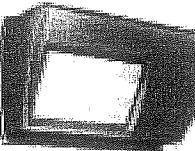
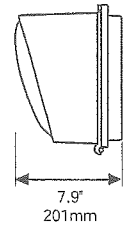
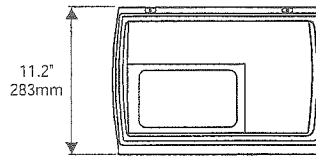
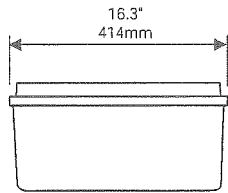
**70w Forward Throw**

Figure 1



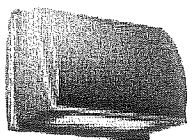
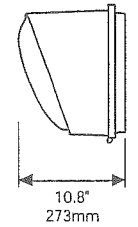
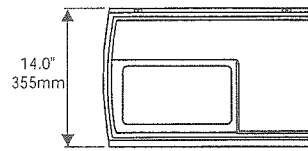
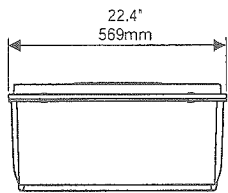
**175w Forward Throw**

Figure 2



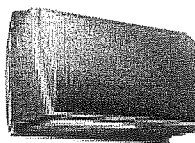
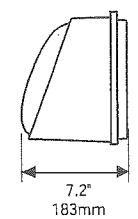
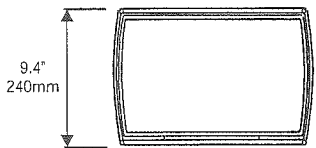
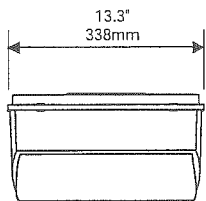
**400w Forward Throw**

Figure 3



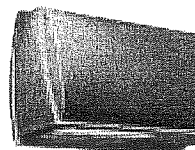
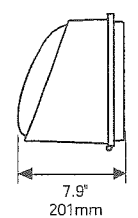
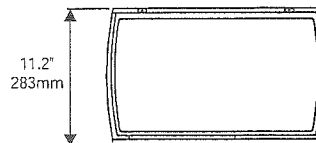
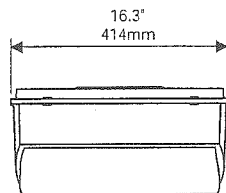
**70w Cut-Off**

Figure 4



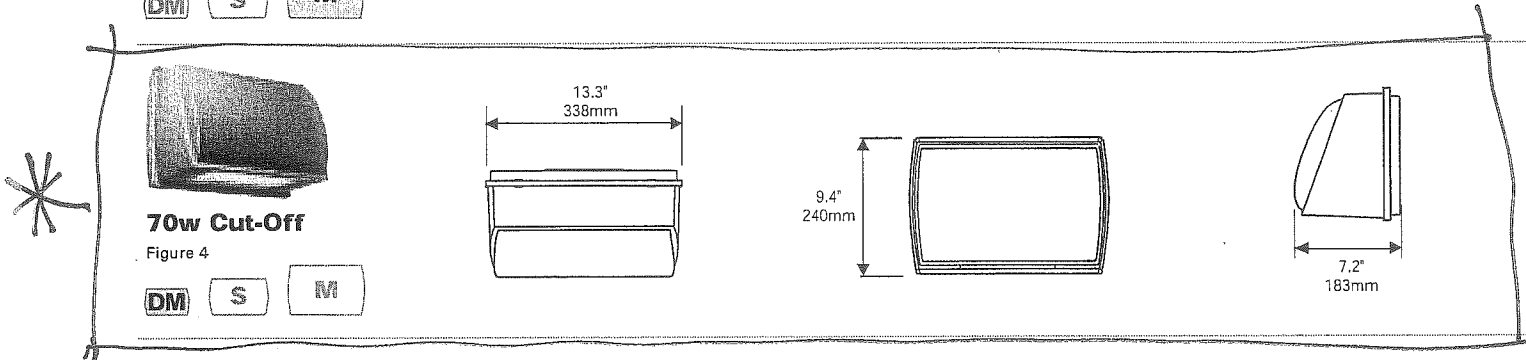
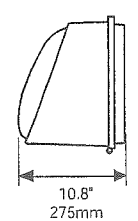
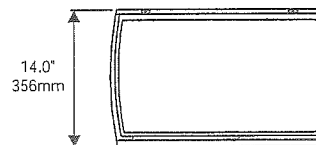
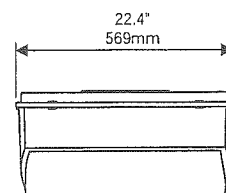
**175w Cut-Off**

Figure 5



**400w Cut-Off**

Figure 6



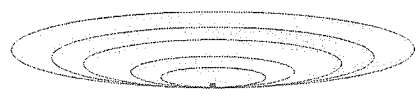
# Specifications

## PHOTOMETRIC TABLE

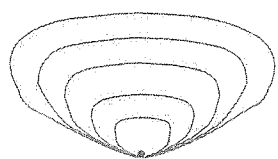
Type	Wattage	Source	Forward Throw Photo Curve	Cutoff Photo Curve
Direct Mount-	50	HPS	451666	451773
Electrical Components	70	HPS	451667	451774
(Figures 1&4)	35	PMH	451668	451775
	50	PMH	451669	451776
	70	PMH	451670	451777
Small	100	HPS	451671	451778
w/SnapDrive	150	HPS	451672	451779
(Figures 2&5)	100	PMH	451673	451780
	150	PMH	451674	451781
	175	PMH	N/A	451782
	175	MH	451675	451789
Medium	250	HPS	451676	451784
w/SnapDrive	400	HPS	451677	451785
(Figures 3&6)	250	PMH	N/A	451786
	400	PMH	N/A	451787
	250	MH	451678	451788
	400	MH	451679	451789

THE  
 PERFECT  
 WALL PACK  
 LUMINAIRE  
 FOR RETAIL AND  
 COMMERCIAL  
 MULTI-SITE  
 FACILITIES

## PHOTOMETRIC REFERENCE



Cut-Off Distribution Pattern



Forward Throw Distribution Pattern

## BALLAST SELECTION TABLE

Housing Type	Wattage	Source	Lamp Size	Socket Size	Multi	120	208	240	277	480
Direct Mount	35	PMH	ED17	MED		N,H				
Electrical Components	50	HPS	B17	MED	H	H	H	H	H	H
(Figures 1&4)	50	PMH	BD17	MED		N,H				
	70	HPS	B17	MED	A,N,H	A,N,H	A,N,H	A,N,H	A,N,H	A,N,H
	70	PMH	BD17	MED	N,H	N,H	N,H	N,H	N,H	N,H
Small	100	HPS	B17	MED	H	H	H	H	H	
w/SnapDrive	150	HPS	B17	MED	H	H	H	H	H	
(Figures 2&5)	100	PMH	BD17	MED	H	H	H	H	H	
	150	PMH	BD17	MED	H	H	H	H	H	
	175	PMH	BD17	MED	A	A	A	A	A	
	175	MH	BD17	MED	A	A	A	A	A	A
Medium	250	HPS	ED18	MOG	A	A	A	A	A	A
w/SnapDrive	400	HPS	ED18	MOG	A	A	A	A	A	A
(Figures 3&6)	250	PMH	ED28	MOG	A	A	A	A	A	A
	400	PMH	ED28	MOG	A	A	A	A	A	A
	250	MH	ED28	MOG	A	A	A	A	A	A
	400	MH	ED28	MOG	A	A	A	A	A	A



DANIEL J. DALFONSO, LLC  
Professional Land Surveyor

57 A OCEAN ST., SUITE 202  
DOUTH PORTLAND, MAINE 04106

TELEPHONE  
207-799-0398

05-24-02

PINKHAM & GREER  
170 U.S. ROUTE ONE  
FALMOUTH, MAINE 04105

FROM:

THE CITY OF PORTLAND ELEVATION DATUM  
SHOWN ON THE HANOVER STREET SURVEY FILE PROP. INC.  
IS EQUIVALENT TO THE NGVD 1929 DATUM SET BY NATIONAL  
COAST AND GEODETIC SURVEY.

THE CITY OF PORTLAND HAS A SERIES OF BENCH MARKS  
THROUGHOUT THE CITY ALL REFERENCED TO BM 1919/30 BRASS  
DISC IN GRANITE WALL NEAR SOUTH STEPS OF PORTLAND CITY HALL  
ALONG CONGRESS STREET. ELEVATION OF 69.66' REFERENCED  
TO NGVD OF 1929.

RECEIVED

MAY 28 2002

PINKHAM & GREER

**PLANNING BOARD REPORT #17-02**

**PROP MULTI-FAMILY DEVELOPMENT  
49 HANOVER STREET  
SITE PLAN AND SUBDIVISION REVIEW**

Submitted to:

Portland Planning Board  
Portland, Maine

March 12, 2002

**I. INTRODUCTION**

A public hearing has been scheduled to consider a proposal by Peoples Regional Opportunity Program (PROP) for a 3 unit residential building in the vicinity of 49 Hanover Street. The plan is subject to site plan and subdivision review.

149 notices were sent to area property owners.

**II. FINDINGS**

Zoning: R-7 Compact Urban Residential Overlay Zone

Land Area: 3,802 sq. ft.

Dwellings: 3

Parking Spaces: 3

Building Height: 36 feet

Building Footprint: 1,364 sq. ft.

After Planning Board recommendation, the City Council voted to approve an R-7 designation for this site on March 4, 2002. Since the Council included an emergency enactment date, the zone change became effective immediately.

A dilapidated single-family house on the site was recently removed to accommodate this development.

The neighboring area is characterized by a mix of residential, commercial and institutional uses. The Public Works central maintenance facility is across the street. A Public Works heavy equipment parking lot is next to the site (northerly). Residential uses are found on the southerly and easterly sides of the site. Most of the lots in the Hanover-Lancaster-Alder-Portland Street block are residential. On Portland Street (along this block) there is a variety store, parking lot and a sign shop. Portland Street between Preble Street and Forest Avenue has a mix of commercial and residential uses.

**III.**

**STAFF REVIEW**

This plan has been reviewed by staff for conformance with the applicable review standards of the site plan and subdivision ordinances.

**SITE PLAN REVIEW**

1/2. Traffic

Access into the site is from a driveway off Hanover Street. Three parking spaces are shown off the driveway and behind the building. Like many other peninsula parking areas, the layout is tight but workable.

**From:** Will Tinkelenberg <wjt@TFHArchitects.com>  
**To:** "Rick Knowland (E-mail)" <RWK@ci.portland.me.us>  
**Date:** Wed, Nov 7, 2001 7:07 PM  
**Subject:** Hanover & Monroe/Greenleaf Zone Changes

Mr. Knowland:

The drawings will be delivered to your office Thursday morning, after all. My apologies for the delay.

The following is in response to your e-mail of November 1 to Scott:

#### Hanover Street Zone Change

1. We have a copy of PROPs right, title and interest in the property, which should be enroute.
2. We have revised the Site Plan to include the requested information.
3. R-7 zoning is being requested for its reduced set-back requirements and for its less stringent parking requirements, both of which are necessary in order to make this a viable, cost effective infill development.
4. The land area of the site, in square feet, is indicated on the Site Plan.
5. We are in the process of having the property reviewed in order to ascertain what type of survey work is necessary, and will have such work completed.
6. We have revised the Site Plan to include portions of the buildings adjacent to the site.
7. We will advise our client of the need to legally document the necessary construction easement.

#### Monroe/Greenleaf Zone Change

1. We are indicating two lots such that the side yard of the proposed Greenleaf Street building will indeed be a sideyard.
2. We have revised the Site Plan to include the requested information.
3. R-7 zoning is being requested for its reduced set-back requirements and for its less stringent parking requirements, both of which are necessary in order to make this a viable, cost effective infill development.
4. The land area of the site, in square feet, is indicated on the Site Plan.
5. Parking is shown on the Site Plan.
6. We are showing topography on the site plans, and have added retaining walls as necessary.

I will be out of the office Thursday and Friday, so please contact Scott if you need any additional information at 775-6141.

Thank you! Will

Will Tinkelenberg  
TFH Architects  
100 Commercial Street  
Portland, ME 04101  
wjt@tfharchitects.com





**CITY OF PORTLAND**

December 5, 2001

Mr. Bob Kane  
PROP  
511 Cumberland Avenue  
Portland ME 04101

Dear Bob:

This letter is to confirm that the public hearing for the Hanover and Monroe/Greenleaf zone changes will need to be scheduled for Tuesday, January 8<sup>th</sup>. The reason your hearing was shifted from the December 11<sup>th</sup> meeting was that we did not put a notice in the newspaper in time for the public hearing date (two week notice.) The Planning Board generally has only one meeting in December anyway because of the holidays but in this case the normal meeting date would have been December 25<sup>th</sup>, which obviously could not be a back up date.

Attached is information on a neighborhood meeting requirement of all applicants. This should have been given to you at our first meeting but it was not. The meeting must be held a minimum 7 days prior to the public hearing. Notices to residents for the meeting must be sent a minimum 7 days prior to the neighborhood meeting. Other details of the meeting are indicated on the information sheet.

My apologies for any inconvenience the meeting schedule changes may have caused you. Should you have any questions concerning this letter or the attached neighborhood meeting sheet, please call me.

Sincerely,

Richard Knowland  
Senior Planner

cc: Alexander Jaegerman, Chief Planner  
Sarah Hopkins, Development Review Services Manager  
Scott Teas, TFH Architects, 100 Commercial Street, Portland ME 04101

3. Bulk, location, height of building and proposed uses will not cause health or safety problems

There are no known health or safety issues associated with the plan. The proposal replaces a blighted residential building that was recently removed from the site.

4. Bulk, location, height of buildings minimizes the diminution in value or utility to surrounding structures

The proposed building is 3 stories high well below the 50 foot R-7 height limit. Given that this proposal replaces a substandard building and has a strong residential design, this development should increase the value and utility of surrounding properties.

5. Sewers, water, solid waste disposal

A 6-inch water main in Hanover Street will serve the development. A letter from the Portland Water District indicates there is "an adequate supply of clean and healthful water" to serve the project. See Attachment D. The District also states "there should be adequate capacity of water" to serve the project.

A letter from Public Works that the 15 inch sewer line in Hanover Street has adequate capacity to transport anticipated flows from the development and the Portland Water District sewage treatment facilities also has adequate capacity to treat the anticipated wastewater flows of the development. See Attachment E.

Solid waste disposal will be by street side collection by the City. A fenced in area on site will provide storage for trash cans.

#### 6/7. Landscaping

Two Imperial Thornless Honeylocust are proposed along the rear property line. Four bushes are shown along the southerly edge of the building.

Jeff Tarling, City Arborist, has reviewed the plan and recommends the following:

- One street tree should be planted in the public sidewalk in front of the building. A Honeylocust (2 1/2 inch caliper) may be planted in a 3 ft. by 5 ft. tree well in the sidewalk.
- The number of bushes along the southerly side of the building should be increased from 4 to 7 bushes. Replace the Red Twig Dogwood; Mr. Tarling suggests planting Bay Berry or Miss Kim Lilac.

#### 8. Soil and Drainage

Given the compact size of the lot and the urban character of the neighborhood, it is not practical to detain stormwater on the site. Stormwater will sheetflow off site primarily to the rear. The site plan shows sheetflow arrows. The plan notes that stone drip strips with foundation drains will be placed along most sides of the building foundation.

A silt fence will be installed along the rear property line and a portion of the Public Works side of the property line.

Comments from the City of Portland Engineering Consultant are shown on Attachment F.

9. Lighting

A catalog cut of a light fixture has been submitted (Attachment G). It is described as a "flood light." Two flood lights will be placed on the building to light the rear driveway and parking area. A more appropriate lighting fixture should be installed instead. Light fixtures are shown within the porch area. A note on the plan indicates it will be a "downlight from overhang or porch ceiling."

10. Fire

Gayland McDougall of the Fire Department has reviewed the plan and finds it acceptable. A fire hydrant is located about 200 feet from the site.

11. City Infrastructure

The development is proposed to be consistent with off-premises infrastructure existing or planned by the City.

12. Multiple-Family Design Standard

A. Exterior Design

The exterior design has been designed to complement and enhance the nearest residential neighborhood. (See Attachment B). The design provides positive visual interest by incorporating appropriate architectural elements. The gable to the street, front porches, roof line configuration, size, number and spacing of windows, corner board and trim details are an excellent expression of the neighborhood architectural character.

B. Respects Existing Relationship of Buildings to Streets

The proposed buildings are sited at or near the street line like other buildings in the neighborhood. Front porches have been integrated into the architectural design of the building. Trees are proposed within the adjacent public sidewalk.

C. Open Spaces

The porches particularly the upper story porches helps enhance the sense of open space on the site for residents.

D. Design of Windows and Storage Area

The submitted building elevations and floor plans indicate there are an adequate number of windows in each dwelling for sunlight and air. The porch areas increase the opportunity for light and air. Each unit will have a storage area (minimum 140 sq. ft.) in the basement.

E. Parking

Landscaping is proposed along the edge of the parking lot. The parking lot is efficient in size and layout minimizing the amount of blacktop.

13. Natural Resources

This site is a small vacant lot in a densely developed neighborhood. There are no known adverse impacts on groundwater quantity and quality, surface water quantity and quality, wetlands, unusual natural areas, wildlife and fisheries habitat. Public water and sewer serve the site.

**R-7 Design Standards**

1. Porches and bays

Each new building has an architecturally integrated front porch that faces the street.

2. Entryways

The main entryways to the buildings are visible and oriented to the street.

3. Visible and permanent expression of the character of the neighborhood

The building design is successful in reflecting the architectural character of the neighborhood. This can be seen in the porches, the gable to the street, the configuration and pitch of the roofline façade trim, corner boards, as well as spacing and sizing of the windows.

4. Articulated facade

The porches help provide a visually interesting façade to pedestrians as well as the design elements discussed in section #3 above.

5. Reinforce the public realm of open space

The overall design of the building including the first floor façade elements reinforces the public realm of open space. See above comments.

6. Visual and acoustical privacy

Visual and acoustical privacy is addressed by the floor layout plan.

7. Natural light and ventilation

The large number of windows and porches shown on the façade drawings maximizes the opportunity for natural light and ventilation.

## **SUBDIVISION REVIEW**

### 1. Water or Air Pollution

There are no known water or air pollution issues. Public water and sewer serve the development. It is not in a flood plain.

### 2./3. Water Supply

See Site Plan Review, section #5.

### 4. Soil Erosion

See Site Plan Review, section #8.

### 5. Traffic

The small number of dwellings proposed will have a minimal impact on the surrounding roadway system. No traffic related concerns were identified in the review. See also Site Plan Review, section #1.

### 6/7. Sanitary Waste and Storm Water

Existing sanitary waste lines in Monroe Street and Greenleaf Street will be used. There is adequate capacity in the sewer system to accommodate this development. See Attachment E.

### 8. Scenic, Natural Beauty, Aesthetics

This site is a vacant lot in an urban neighborhood. The project will improve the aesthetic quality of the neighborhood. There are no known natural or manmade resources that will be adversely affected by this proposal.

### 9. Land Development Plan

The proposal is in conformance with the Comprehensive Plan.

### 10. Financial and Technical Capacity

Financial and technical capacity information has been submitted. See Attachment C.

## **DEVELOPMENT REVIEW ISSUES**

There have been a number of issues identified by Staff. These comments are highlighted primarily on Attachments F and H. A revised set of plans arrived Friday morning. We will endeavor to review the updated plans for Tuesday's meeting. Staff comments and condition of approval are therefore likely to change.

**HANOVER STREET SITE PLAN AND SUBDIVISION**

**IV. MOTIONS FOR THE BOARD TO CONSIDER**

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #17-02, the Planning Board finds:

A. That the plan is in conformance with the site plan ordinance of the land use code.

Potential conditions of approval:

1. That the plan be reviewed and approved by the City Arborist. *plan reviewed Jeff Brown seen it rip rap by trees*
2. That the plan be revised for review and approval reflecting the comments of the City of Portland Engineering Consultant (Attachment F).
3. That a stamped boundary survey be submitted for Planning Staff review and approval.
4. That the applicant submit a revised layout for the rear parking lot for Planning Staff review and approval.

*lighting was addressed*  
B. That the plan is in conformance with the subdivision ordinance of the land use code.

Potential conditions of approval:

1. That a revised recording plat be submitted for Planning Staff review and approval.

*That the Board further waives the setback requirement  
space size 5-0*

---

## MEMORANDUM

---

TO: Scott Teas  
FROM: Tom Greer *TOM*  
DATE: March 7, 2002  
RE: 49 Hanover Street  
FILE: 01402

---

Below are the responses to the City's comments:

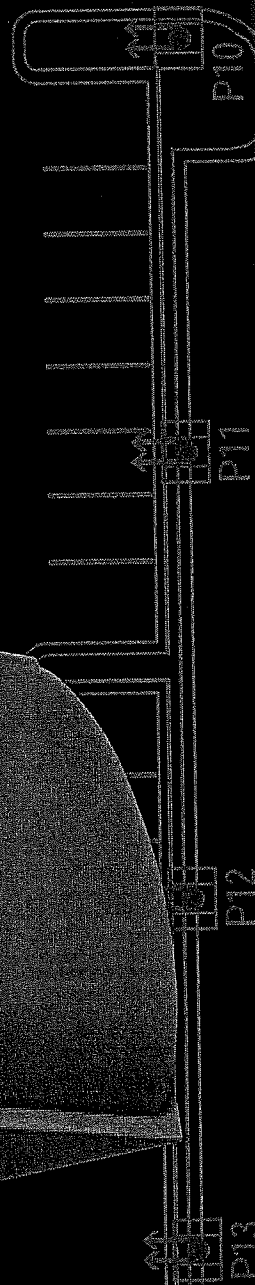
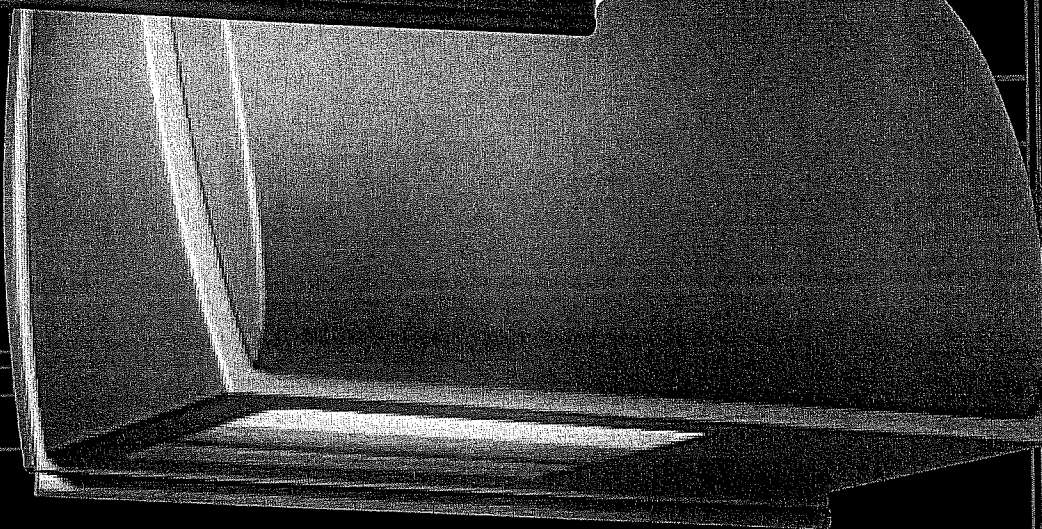
1. A surveyor will stamp the final mylars.
2. The standard city notes were added to the plans.
3. The units were labeled "dwelling".
4. The planting plan by Jeff Tarling has been added to the plan.
5. The grass areas are labeled.
6. The grading of the driveway was changed to drain to Hanover Street. This required a retaining wall around the end of the driveway, which will have a guardrail in front of the parking spaces.
7. The sidewalk and street are shaded showing utility connections and the repair area.
8. The parking spaces are dimensioned.
9. We believe the existing driveway opening is adequate and aligned on the south side. It will remain intact throughout the project.
10. The barkmulch areas are left intact. We have not added curbing along the edge.
11. A snow removal note was added.
12. Several standard city details for construction and the utility connections were added.
13. The zoning notes were modified to reflect the zero setbacks and 10' setback from the adjacent home.
14. Layout dimensions have been added.

Hopefully, this addresses the City's comments.



# Criterion

Wallpack Lighting





# Wallpack Lighting

## FORM, FUNCTION, FRUGALITY

At last, there is a complete outdoor lighting system designed to meet the functional, aesthetic, operational and economic needs of commercial and retail multi-site facilities. From the convenience and savings of interchangeable components, best-of-class optics and photometrics, to the beauty of complete architectural integrity in wall, area and flood lighting, our line of Criterion™ luminaires will meet your every need.

## A BRILLIANT SOLUTION

Now all your lighting across the country and across the parking lot can have the same look. But the value of Criterion luminaires goes deeper than their sleek die-cast exteriors. From their low-profile hardware and concealed gaskets to their easy tool-free maintenance, every aspect of Criterion's housing has been designed to maximize beauty, strength, durability and economical operation. Best of all, the inside of this luminaire is just as beautiful as the outside.

The Criterion Series includes design breakthroughs that will change the way you choose and specify lighting for years to come.

## CUT-OFF WALLPACK

The Criterion 175w and 400w Cut-Off Wallpacks are the fastest mounting luminaires in the West, or anyplace for that matter. Just remove the SnapDrive™ Electrical System, mount the wall gasket to provide an IP65 rating, then mount the housing using pre-punched keyhole slots. Make your electrical connection and plug the SnapDrive back in. One person can do it with one ladder. It's fast and it's easy. Of course, you also get all the benefits of the Criterion family plus the superior light control of the Criterion Wallpack luminaires. The Cut-Off Wallpack projects light through a bottom opening to virtually eliminate all uplight. Bottom projection also allows for vertical lamp placement. Select the vertical burning pulse start lamp option for more light. Easy installation, more light, longer, where you want it. That's the Criterion Cut-Off Wallpack.

## FORWARD THROW WALLPACK

The Criterion Forward Throw Wallpack offers a truly unique advantage. In addition to the long list of Criterion Family benefits, the

Criterion Cut-Off Wallpack

Criterion Forward Throw Wallpack

THE FIRST

TOTAL OUTDOOR

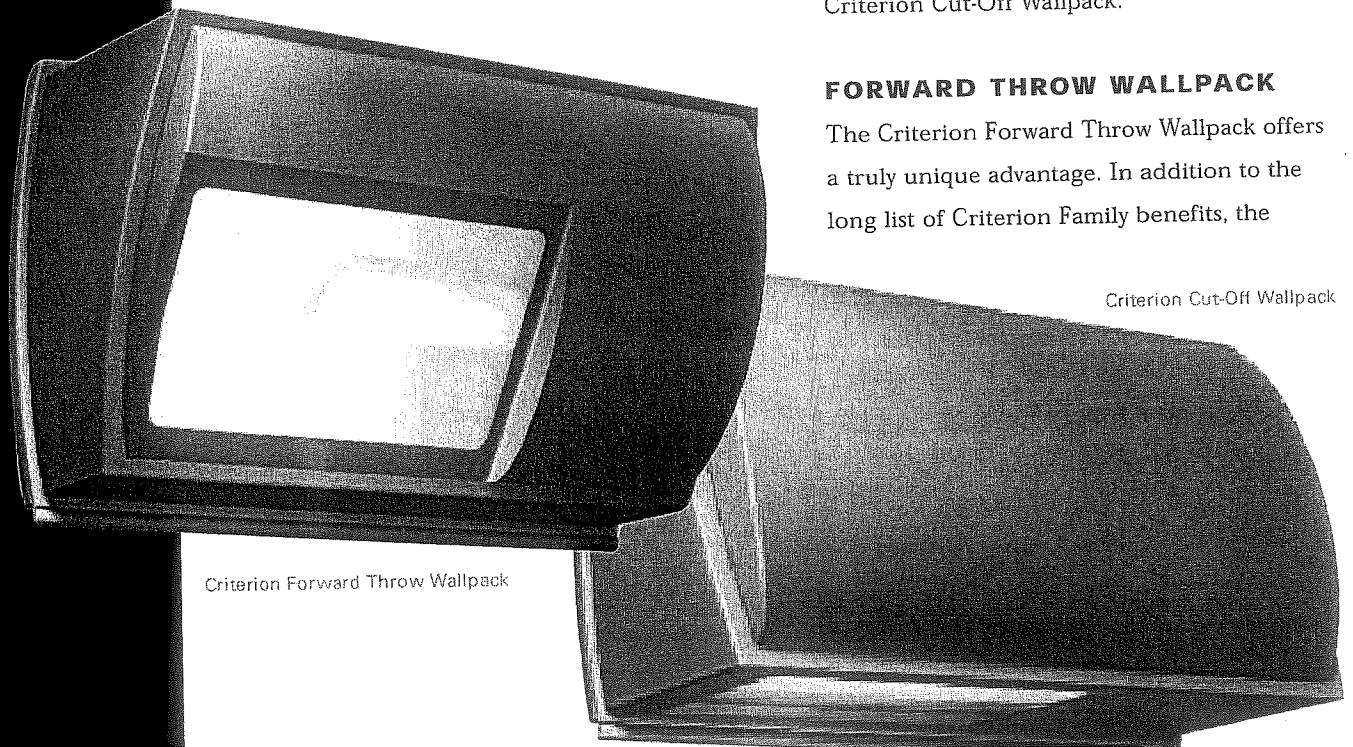
LIGHTING

SOLUTION

DESIGNED

TO SIMPLIFY

YOUR LIFE



# Wallpack Lighting

CRITERION.

A NEW

STANDARD

IN HID

LIGHTING

## HOUSING

- Die-cast aluminum housing for strength, beauty and low maintenance
- Scaled family styling for consistent site-enhancing look
- Concealed continuous gasket seals against harmful dust, dirt, moisture and insects (IP65 rating)
- Tool-less entry for easy, economical maintenance (except 70w)
- Tamper-resistant option helps prevent unauthorized entry for security and safety (standard in 70w)
- Pre-punched key hole mounting slots, for fast and frugal installation
- Sliding notched hinge for quick and simple removal of the front housing (except 70w)
- 70w features economical direct mounting ballasts

- Choice of a palette of standard colors, 188 RAL colors, or your own custom color in fade- and abrasion-resistant powder and liquid paints

## OPTICS

- Adjustable Throw Reflector and shielded lamp to accurately tune light placement (Forward Throw version)
- Cut-Off Reflector to maintain dark sky standards and please neighbors (Cut-Off version)
- Rugged hydro-formed reflector for consistent, repeatable performance
- Alglas® coating seals reflectors from contaminants for superior long term performance
- 35w to 400w MH, PMH and HPS lamp operation (consult ballast selection table for availability)

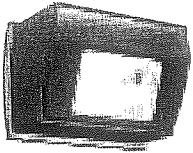
## ACCESSORY OPTIONS

- EZAdd™ Switched quartz (400w only)
- Single & dual fusing
- EZAdd™ button PE



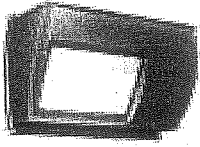
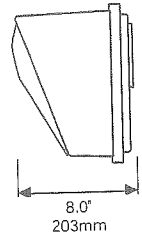
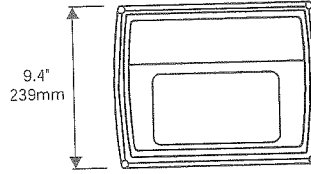
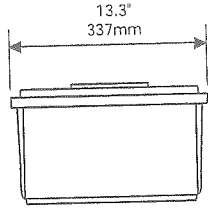
*Lighting for building perimeters, loading docks, entrances, parking lots, walkways, wallwashing, uplighting, ATM areas and drive-through lanes.*

# Specifications



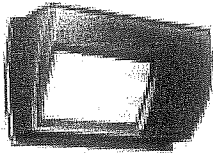
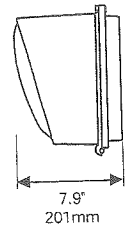
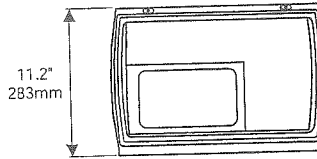
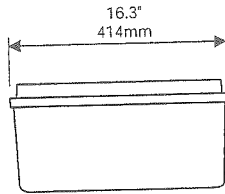
**70w Forward Throw**

Figure 1



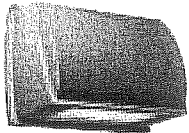
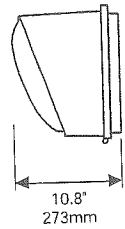
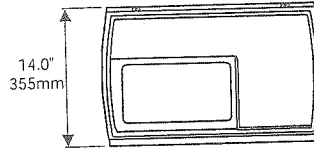
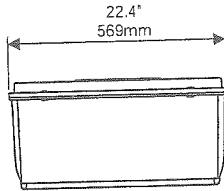
**175w Forward Throw**

Figure 2



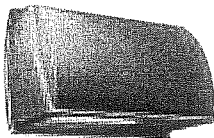
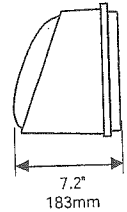
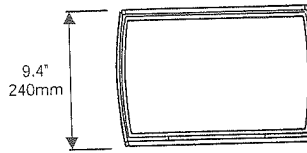
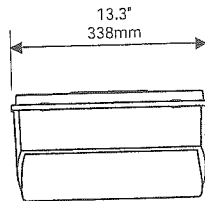
**400w Forward Throw**

Figure 3



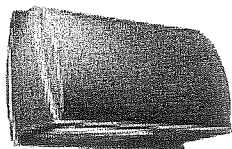
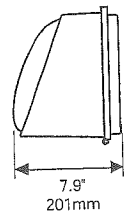
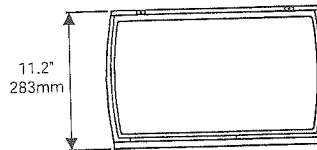
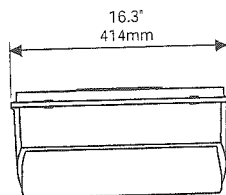
**70w Cut-Off**

Figure 4



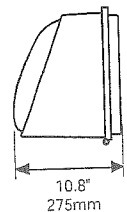
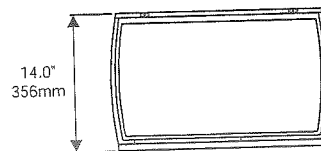
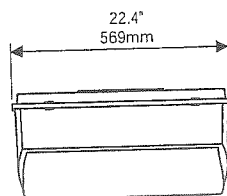
**175w Cut-Off**

Figure 5



**400 Cut-Off**

Figure 6



# Specifications

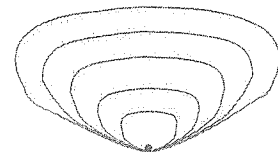
## PHOTOMETRIC TABLE

Type	Wattage	Source	Forward Throw Photo Curve	Cutoff Photo Curve
Direct Mount-	50	HPS	451666	451773
Electrical Components	70	HPS	451667	451774
(Figures 1&4)	35	PMH	451668	451775
	50	PMH	451669	451776
	70	PMH	451670	451777
Small	100	HPS	451671	451778
w/SnapDrive	150	HPS	451672	451779
(Figures 2&5)	100	PMH	451673	451780
	150	PMH	451674	451781
	175	PMH	N/A	451782
	175	MH	451675	451789
Medium	250	HPS	451676	451784
w/SnapDrive	400	HPS	451677	451785
(Figures 3&6)	250	PMH	N/A	451786
	400	PMH	N/A	451787
	250	MH	451678	451788
	400	MH	451679	451789

## PHOTOMETRIC REFERENCE



Cut-Off Distribution Pattern



Forward Throw Distribution Pattern

## BALLAST SELECTION TABLE

Housing Type	Wattage	Source	Lamp Size	Socket Size	Multi	120	208	240	277	480
Direct Mount	35	PMH	ED17	MED		N,H				
Electrical Components	50	HPS	B17	MED	H	H	H	H	H	H
(Figures 1&4)	50	PMH	BD17	MED		N,H				
	70	HPS	B17	MED	A,N,H	A,N,H	A,N,H	A,N,H	A,N,H	A,N,H
	70	PMH	BD17	MED	N,H	N,H	N,H	N,H	N,H	N,H
Small	100	HPS	B17	MED	H	H	H	H	H	
w/SnapDrive	150	HPS	B17	MED	H	H	H	H	H	
(Figures 2&5)	100	PMH	BD17	MED	H	H	H	H	H	
	150	PMH	BD17	MED	H	H	H	H	H	
	175	PMH	BD17	MED	A	A	A	A	A	
	175	MH	BD17	MED	A	A	A	A	A	A
Medium	250	HPS	ED18	MOG	A	A	A	A	A	A
w/SnapDrive	400	HPS	ED18	MOG	A	A	A	A	A	A
(Figures 3&6)	250	PMH	ED28	MOG	A	A	A	A	A	A
	400	PMH	ED28	MOG	A	A	A	A	A	A
	250	MH	ED28	MOG	A	A	A	A	A	A
	400	MH	ED28	MOG	A	A	A	A	A	A

THE

PERFECT

WALL PACK

LUMINAIRE

FOR RETAIL AND

COMMERCIAL

MULTI-SITE

FACILITIES

# Specifications

## CUSTOM CONFIGURATION TABLE

Consult Ballast and Photometric Selection Tables

CXXX	40	M	O	A	2	A	XXXX	D	XXX
Criterion Wallpack	Watts	Light Source	Voltage	Ballast Type	Photo Electric Control	Distribution	Color	Orientation	Options
CCDX = Cut-off w/ Direct Mount Electricals	03 = 35 (DM) 05 = 50 (DM) 07 = 70 (DM)	S = HPS M = metal halide P = pulse start metal halide	0 = Multivolt <sup>1</sup> 1 = 120 2 = 208 3 = 240 4 = 277 5 = 480	H = HPF-LAG N = NPF-LAG A = AUTO-REG	1 = no PE 3 = button PE <sup>2</sup>	A = Forward Throw (CTX only) B = Cut-off (CCXX only)	Standard Colors DKBZ = dark bronze BLCK = black WHITE = white  Special Colors Insert four digit color code from RAL color chart	U = aimed up D = aimed down	B = Time Delay Switched Quartz <sup>3</sup> F = Fusing <sup>3</sup> XXX = Special Options
CCSX = Cut-off Small	10 = 100 (S)								
CCMX = Cut-off Medium	15 = 150 (S)								
CTDX = Forward Throw w/Direct Mount Electricals	17 = 175 (S) 25 = 250 (M) 40 = 400 (M)								
CTSX = Forward Throw Small									
CTMX = Forward Throw Medium									

**NOTES:** Unless otherwise requested, all luminaires supplied with lamp.  
 (DM) = Direct Mount Electricals / (S) = Small / (M) = Medium  
<sup>1</sup>Factory set to 277V / <sup>2</sup>Not available with Multivolt / <sup>3</sup>Switched Quartz available in 400w only



## SUGGESTED CONFIGURATION

Typical configurations are provided below for common applications to simplify your choice.

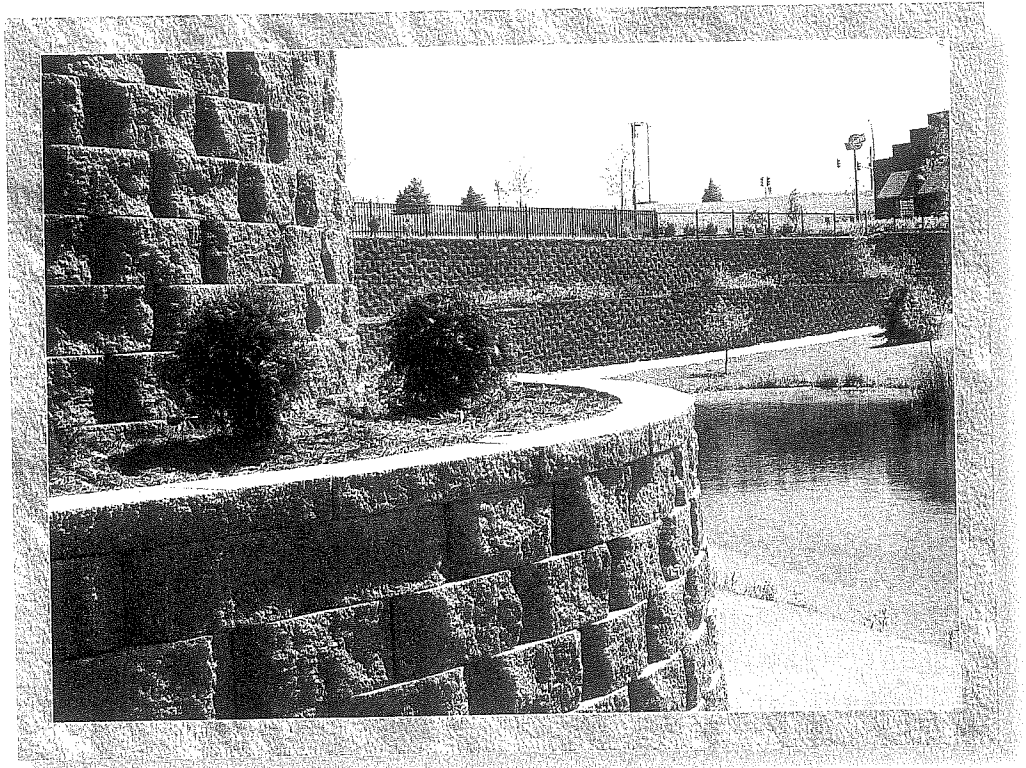
	Entrance/Exit Lighting	Loading Dock and Security Lighting	Parking Lot Lighting
70 watt	CCDX 07 P O N 1 B DKBZ D	CCDX 07 P O N 1 B DKBZ D	
	CTDX 07 P O N 1 A DKBZ D	CTDX 07 P O N 1 A DKBZ D	
175 watt	CCSX 17 P O A 1 B DKBZ D	CCSX 17 P O A 1 B DKBZ D	CTSX 17 M O A 1 A DKBZ D
		CTSX 17 M O A 1 A DKBZ D	
400 watt		CCMX 40 P O A 1 B DKBZ D	CTMX 40 P O A 1 A DKBZ D
		CTMX 40 P O A 1 A DKBZ D	

**NOTICE:** All data contained herein subject to change without notice.  
 Patent Pending.

## THE GE FIVE YEAR FIXTURE FAILURE WARRANTY

The GE Five-Year Fixture Failure Warranty is a limited warranty which guarantees to you, the Purchaser for resale or use in business, that the factory installed electrical system (consisting of a core and coil ballast, ignitor, capacitor, socket, terminal board, photoelectric receptacle and wiring) inside GE HID lighting fixtures will be free of defects in material and workmanship for five (5) years from the date of manufacture, or five (5) years from the date the fixtures are shipped from the GE factory, whichever period you can substantiate. (Products bear a date code from which date of manufacture can be determined.) If any GE HID fixture fails to meet this warranty, GE will ship either a repaired or replacement part F.O.B. its factory. GE makes no warranty to those defined as consumers in the Magnuson-Moss Federal Trade Commission Improvement Act. For a copy of the complete warranty, contact

# *Anchor Vertica® Series*



*The Anchor Vertica® Series of retaining wall blocks offers architects, engineers and contractors the ideal solution for high volume, commercial tall wall construction.*

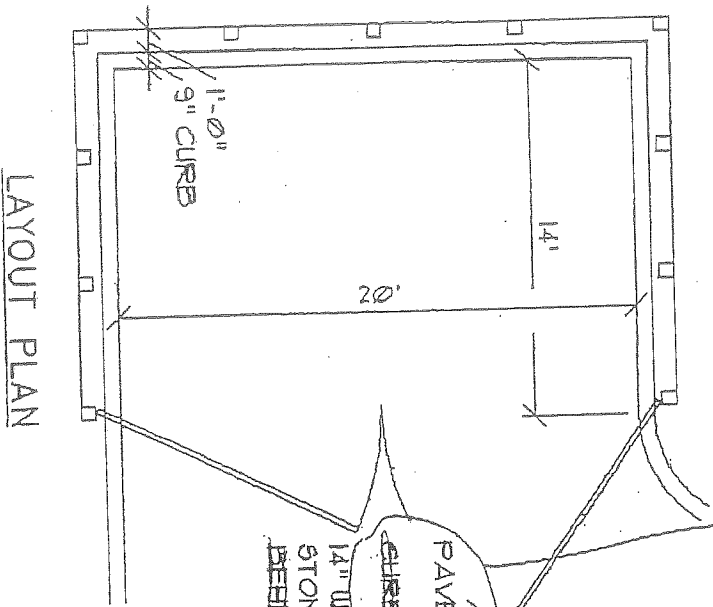
*The natural beauty of the Anchor Vertica Series blends with the surrounding environment, while its design ensures a durable, economic installation.*

*yr. 2000*

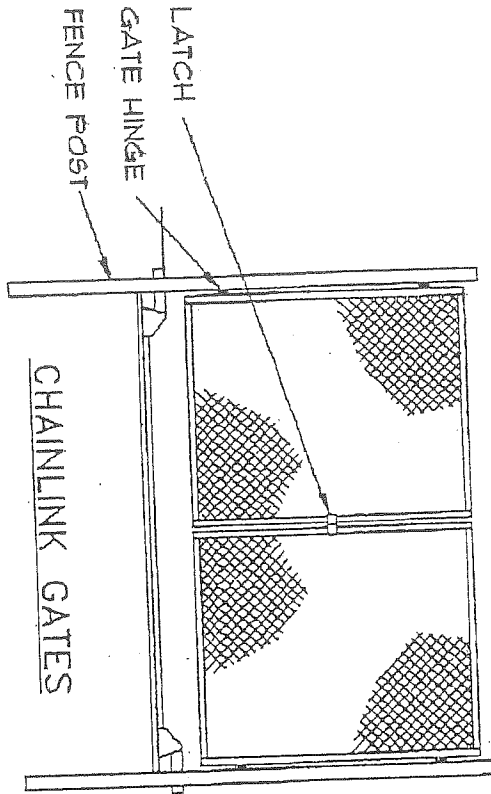
**ANCHOR WALL SYSTEMS**



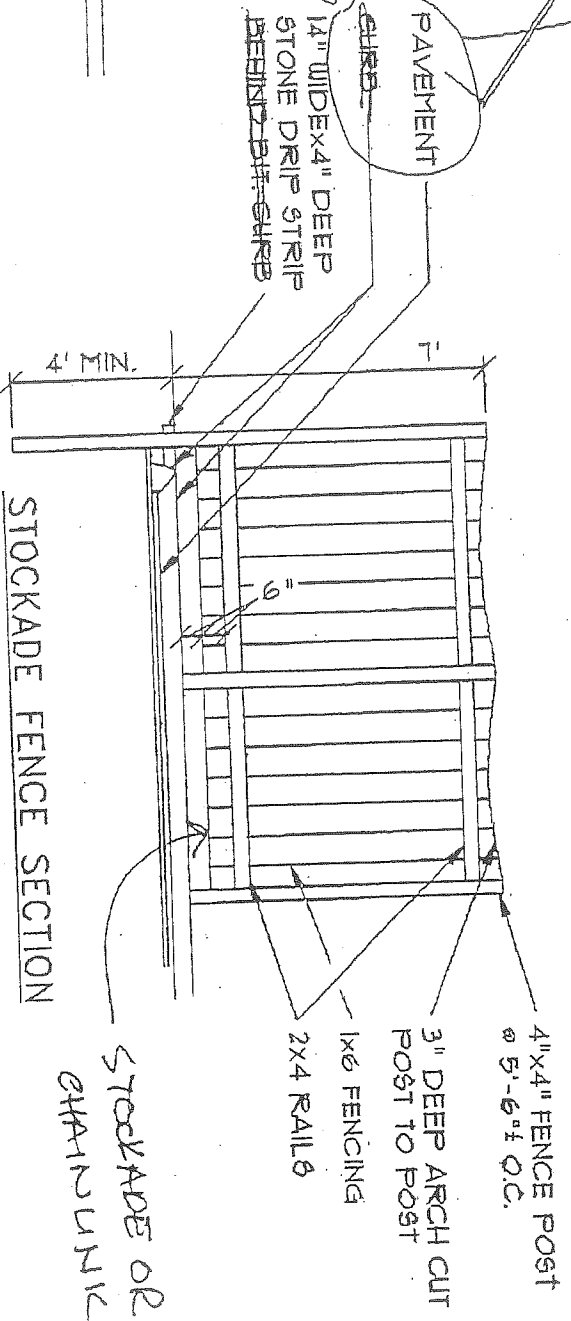
- NOTES:
1. ALL WOOD TO BE PRESSURE TREATED
  2. ALL NAILS AND SCREWS TO BE GALVANIZED.



THIS CAN BE CONC. GRAB OR PAVEMENT



THE GATE CAN BE STOCKADE OR CHAINLINK



STOCKADE OR CHAINLINK

17 DUMPSTER ENCLOSURE DETAILS

NOT TO SCALE

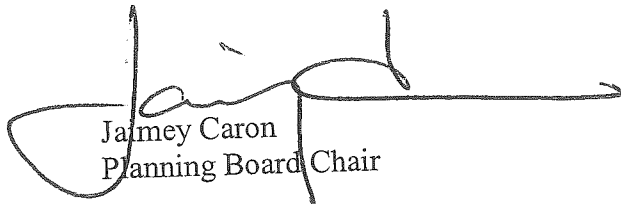
Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. A one-year extension may be granted by this department if requested by the applicant in writing prior to the expiration date of the site plan.
2. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
3. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, and a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

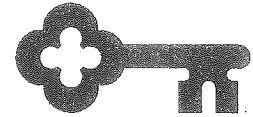
If there are any questions, please contact the Planning Staff.

Sincerely,



Jaime Caron  
Planning Board Chair





KeyBank  
One Canal Plaza  
Portland, ME 04101-4035

July 8, 2002

Lee Urban, Director  
CITY OF PORTLAND PLANNING AND URBAN DEVELOPMENT  
389 Congress Street  
Portland, Maine 04101

Tel: (207) 776-7194

Re: Hanover Street, Portland, Maine  
\$28,127.00 Letter of Credit (Our #5304994)

KEYBANK NATIONAL ASSOCIATION hereby issues its Irrevocable Letter of Credit for the account of Peninsula Community LP ("Developer") as developer (hereinafter referred to as the "Developer"), in the name of the City of Portland, Maine (the "City") in the aggregate amount of TWENTY EIGHT THOUSAND ONE HUNDRED TWENTY SEVEN AND 00/100 Dollars (\$28,127.00).

The City, through its Director of Planning and Urban Development, may draw on this Letter of Credit by presentation of a sight draft, the original Letter of Credit and all amendments thereto, at the Bank's offices located at One Canal Plaza, Portland, Maine, accompanied by a certificate stating that:

- (1) the Developer has failed to complete by two (2) years from the date of this letter of credit or by the expiration date of any temporary certificate of occupancy issued, whichever date comes first, at the Developer's expense, the work on the roads and other public improvements as set forth in a certain Schedule of Costs of Public Improvements attached hereto as Exhibit A; or
- (2) the Developer has failed to post the ten percent (10%) Defect Bond or Guarantee required by the Portland City Code Sections 14-501 and 15-525; or
- (3) the Developer has failed to notify the City for inspections.

In the event of the Bank's dishonor of the City of Portland's sight draft, the Bank shall inform the City of Portland in writing of the reason or reasons therefor within three (3) working days of the dishonor.

After all underground work in the public right of way has been completed and inspected to the satisfaction of the Department of Public Works, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electric conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and

Urban Development or the City of Portland Director of Finances as provided in Section 14-501 of the Portland City code may authorize the Bank, by written certification, to reduce the available amount of this letter of credit by a specified amount.

It is a condition of this Letter of Credit that it is deemed to be automatically extended without amendment for period(s) of one (1) year each from the current expiration date hereof, or any future expiration date, unless at least sixty (60) days prior to any expiration date, the Bank notifies the Director of Planning and Urban Development by registered or certified mail at the above listed address that the Bank elects not to consider this Letter of Credit renewed for any such additional period.

In the event of such notice, the City may draw hereunder by presentation of a sight draft drawn on the Bank, accompanied by the original Letter of Credit and all amendments thereto, and a statement purportedly signed by the Director of Planning and Urban Development reading as follows:

This drawing results from notification that the Bank has elected not to renew this Letter of Credit; or

This drawing results from the Developer's failure to timely complete to the satisfaction of the City the public improvements set forth in a certain Schedule of costs of Public Improvements attached hereto as Exhibit A; or

This drawing results from the Developer's failure to post a ten percent (10%) Defect Guarantee or Bond as provided in Section 14-501 of the Portland City Code; or

This drawing results from the Developer's failure to notify the City of inspections.

This Letter of Credit will automatically expire upon the earlier of:

1. The Bank's receipt of a written notification from the City of Portland that said work as outlined in a certain Schedule of Costs of Public Improvements attached hereto as Exhibit A between the Developer and the City of Portland has been completed in accordance with the City of Portland specifications and this Letter of Credit may be canceled; or
2. The expiration date of March 8, 2004 or any automatically extended date as specified herein.

Partial drawings are permitted.

Lee Urban, Director  
CITY OF PORTLAND PLANNING AND URBAN DEVELOPMENT  
July 8, 2002  
Page 3

Re: \$28,127 Letter of Credit No. 5304994

Except as otherwise expressly stated herein, the Letter of Credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce Publication Number 500, and any subsequent revisions thereof approved by the International Chamber of Commerce (the "Uniform Customs"). This Letter Of Credit shall, as to matters not governed by the Uniform Customs, be governed by and construed in accordance with the laws in effect in the State of Maine.

We engage with you that drafts drawn under and in compliance with the terms of this credit will be duly honored if presented at our offices at identified above or before two years from the date hereof or any automatically extended date as specified herein.

Very truly yours,  
KEYBANK NATIONAL ASSOCIATION

By:  W. Scott Fox  
Duly Authorized Senior Vice President

Ltr of Credit PROP 6-20-02 Hanover.doc  
7/3/02 2:02 PM

*Pennington*  
Assoc Corp Counsel 7/11/02

**COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE**

Date: \_\_\_\_\_

Name of Project: \_\_\_\_\_

Address/Location: \_\_\_\_\_

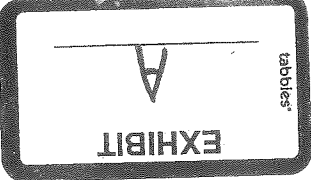
Developer: \_\_\_\_\_

Form of Performance Guarantee: \_\_\_\_\_

Type of Development: Subdivision  
 Site Plan (Major/Minor) \_\_\_\_\_

TO BE FILLED OUT BY THE APPLICANT:

Item	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDWALK						
Road						
Grass Cutting						
Sidewalks	7 yds	\$79	\$553			
Expander						
Monuments						
Street Lighting						
Signs	15 yds	\$79	\$1185			
Other						
2. EARTH WORK						
Fill						
Cut						
3. SANITARY SEWER						
Manholes						
Piping						
Conduits						
Main Line Piping						
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
Manholes						
Piping						
Catchbasins						
Detection Basin						
Stormwater Quality Units						
Other						
5. STORM DRAINAGE						
Manholes						
Catchbasins						
Piping						
Detection Basin						
Stormwater Quality Units						
Other						
PRIVATE						
Subtotal			\$2400			
Unit Cost			\$1200			
Quantity			200 sq yd			
Subtotal			\$1356			
Unit Cost			\$15.00			
Quantity			180 Ton			
Subtotal			\$2700			
Unit Cost			\$17.50			
Quantity			154			
Subtotal			\$2675			
Unit Cost			\$2475			
Quantity			1			
Subtotal			\$5100			



6. SITE LIGHTING	_____	_____	_____
7. EROSION CONTROL	_____	_____	_____
Silt Fence	_____	_____	_____
Check Dams	_____	_____	_____
Pipe Inlet/Outlet Protection	_____	_____	_____
Level Lip Spreader	_____	_____	_____
Slope Stabilization	_____	_____	_____
Geotextile	_____	_____	_____
Hay Bale Barriers	_____	_____	_____
Catch Basin Inlet Protection	_____	_____	_____
8. RECREATION AND OPEN SPACE AMENITIES	_____	_____	_____
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____	_____	_____
10. MISCELLANEOUS	_____	_____	_____
TOTAL:	<u>2,131.00</u>	<u>19,996.00</u>	<u>22,127.00</u>
GRAND TOTAL:	_____	_____	_____

1000 sq ft next sheet

28,127.00

*(Signature)*

INSPECTION FEE (to be filled out by the City)

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:	<u>162.62</u>	<u>399.92</u>	<u>562.54</u>
B: Alternative Assessment:	_____	_____	_____
Assessed by:	<u>JR</u> (name)	<u>JR</u> (name)	<u>JR</u>

- 49 Hanover St.

- 2 Imperial Honey Locust \$300 each \$600

- 4 Red Twig Dogwood \$100 each \$400

# Transmittal Letter

**Project:** Monroe and Greenleaf, Hanover St.

**Project No.:** 0118, 0122

**Date:** 06/11/02

**To:** Rick Knowland  
 City Hall - Planning Dept.  
 389 Congress St.  
 Portland, ME 04101

**Phone No.:** 775-6141

**Fax No.:** 773-0194

If enclosures are not as noted, please inform us immediately.

**We transmit:**

- Herewith  Under separate cover via \_\_\_\_\_  
 In accordance with your request \_\_\_\_\_

**For your:**

- Approval  Distribution to Parties  Information  
 Record  Review and Comment  
 Use  \_\_\_\_\_

**The following:**

- Drawings  Shop Drawing Prints  Samples  
 Specifications  Shop Drawing Reproducibles  Product Literature  
 Change Order  Other:

Copies	Date	Rev. No.	Description	Action
1	2-5-02		Plan Showing standard boundary survey	

**Action Code:**

- A. Action indicated on item transmitted D. For signature and forwarding as noted below under Remarks  
 B. No action required E. See Remarks below  
 C. For signature and return to this office

**Remarks:**

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<b>Copies to:</b>	O	<b>TFH Architects, P. A.</b>
	O	100 Commercial Street
File	X	Portland Maine 04101
	O	Telephone 207-775-6141
	O	Fax No.: 207-773-0194
	O	By: Chris Briley

CITY OF PORTLAND, MAINE  
PLANNING BOARD

---

Jaimey Caron, Chair  
Deborah Krichels, Vice Chair  
Kenneth M. Cole III  
Cyrus Y. Hagge  
Erin Rodriguez  
Mark Malone  
Orlando E. Delogu

March 18, 2002

Mr. Scott Teas  
TFH Architects  
100 Commercial Street  
Portland, Me 04101

RE: 49 Hanover Street; PROP; CBL 33-C-009, #2002-0040

Dear Mr. Teas,

On March 12, 2002, the Portland Planning Board voted on the following motions for the 3 dwelling unit residential development in the vicinity of 49 Hanover Street proposed by the People's Regional Opportunity Program.

1. The Planning Board voted 5-0 (Delogu absent) that the plan is in conformance with the site plan ordinance. The approval is subject to the following conditions:
  - i. ✓ That the plan be reviewed and approved by the City Arborist.
  - ii. That the plan be revised for review and approval reflecting the comments of the City of Portland Engineering Consultant.
  - iii. That a stamped boundary survey be submitted for Planning Staff review and approval.
  - iv. ✓ That the applicant submits a revised layout for the rear parking lot for Planning Staff review and approval.
2. The Planning Board voted 5-0 (Delogu absent) to waive the Technical and Design Standards and Guidelines regarding the driveway and parking lot design for this site.
3. The Planning Board voted 5-0 (Delogu absent) that the plan is in conformance with the subdivision ordinance of the land use code.



**DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2002-0040

Application I. D. Number

People's Regional Opportunity Program

02/22/2002

Application Date

Applicant

510 Cumberland Ave , Portland , ME 04101

Prop Family Housing

Applicant's Mailing Address

Project Name/Description

Bob Cain / PROP

49 - 49 Hanover St, Portland, Maine

Consultant/Agent

Address of Proposed Site

Applicant Ph: (207) 842-2988    Agent Fax:

033 C009001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

**Engineering Comments**

PUBLIC WORKS ENGINEERING REVIEW .....2/27/02

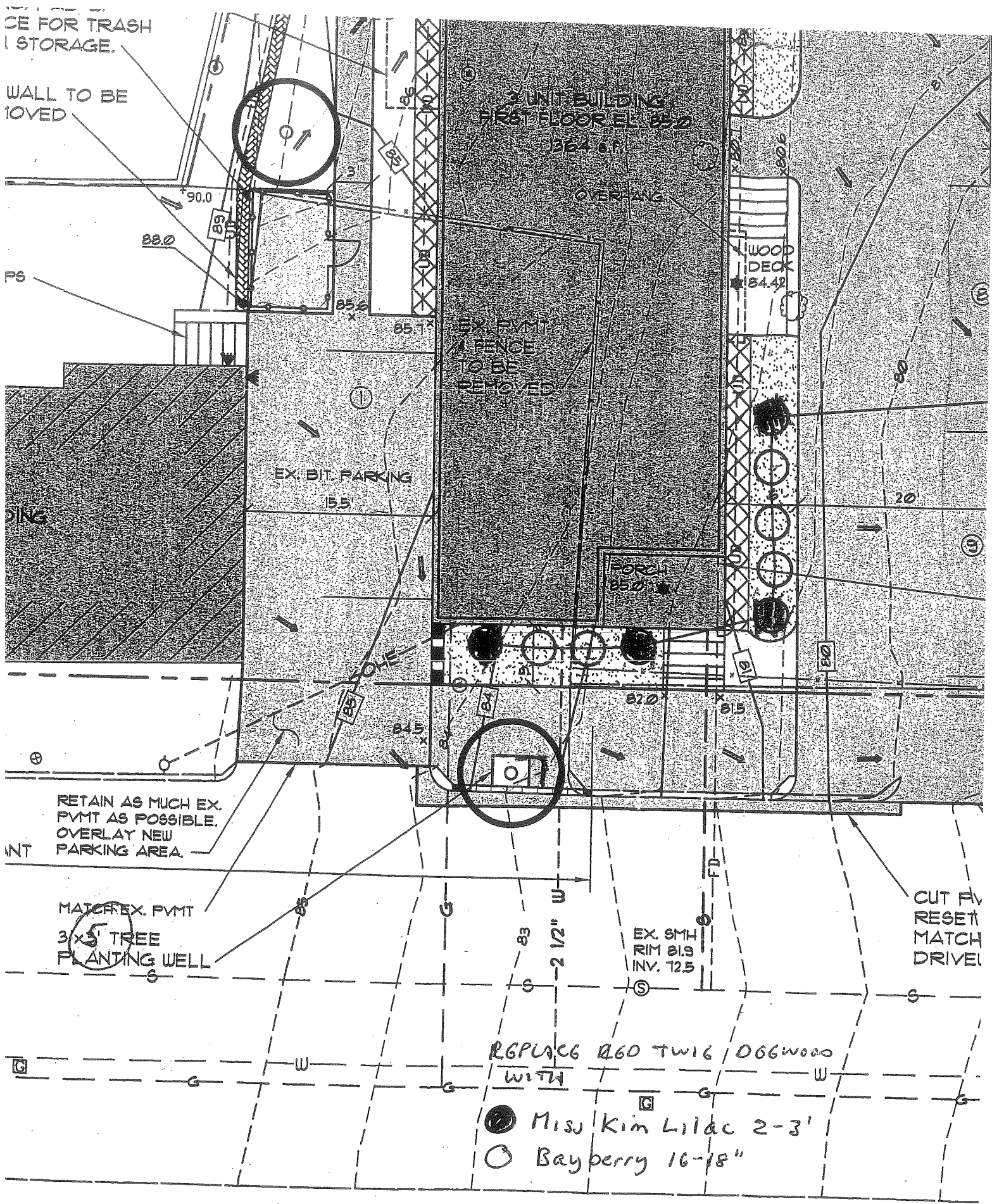
*HANOVER ST ONLY*

The following comments are in response to the application and plans dated 2/22/02:

1. The site on 49 Hanover Street, in its previous state, existed as a single story dwelling with a gravel driveway and a rear lawn along the northeasterly half of the lot. This proposal include covering almost the entire site with impervious cover and directing the resulting runoff onto the abutting property. The applicant's engineer should consider a combination of lowering the buildings first floor elevation and lifting the grades of the rear parking area. The intended result would be to direct as much runoff as possible to the gutters of Hanover Street.
2. The applicant should be aware that any damage to the existing paved sidewalk and granite curb, within the Hanover Street right of way, will be the burden of the applicant and their contractor. Damaged curb and sidewalk will require repair or replacement at a cost to the applicant.
2. The proposal includes several utility connections within Hanover Street. The applicant should be aware that several permits and corresponding fees exist for excavation and construction activity within a public right of way. The applicant should contact Carol Merritt at Public Works for more detail.
3. The proposed utility connections will require disturbance of existing curb and sidewalk. The proposed limits of work should be defined on the plans.
4. The proposed connections into the City sewer requires specifying construction details on the plans.

CE FOR TRASH  
STORAGE.

WALL TO BE  
MOVED





N/F  
CITY OF PORTLAND  
BK 3101 PG. 591  
33-C-3

EX. PAVED PARKING LOT

EX. CHAINLINK FENCE OVER 6" WIDE WOODEN RETAINING WALL

EX. WALL  
B. 25.6  
T. 25.87

(96'± DEED)  
96.16'

N66°51'36"E

3 UNITS  
FIRST FLOOR  
EL. 23.0

LOT #1  
5807 S. GARDEN ST  
0.03 ACRES

1364.61  
HANDOVER ST

PORCH  
23.0

X2125  
28.42  
X2125

(41'± DEED)  
26.13'

95.19'  
(95'± DEED)  
S66°03'35"W

EX. ST FENCE RELOC. PROF

STONE DRIPSTRI UNDERDRAIN (T)

OVERHANG

MWJ KRM LVLAC 2-3'  
AND ON BAYBERRY 16-18"

4-RED WING DOGWOOD  
(sericea 'Bailey') 2-3' TALL

BARKMULCH BED (TYP)

EX. TMH RIM 24.68

NET 41' 6X

ONE

ONE

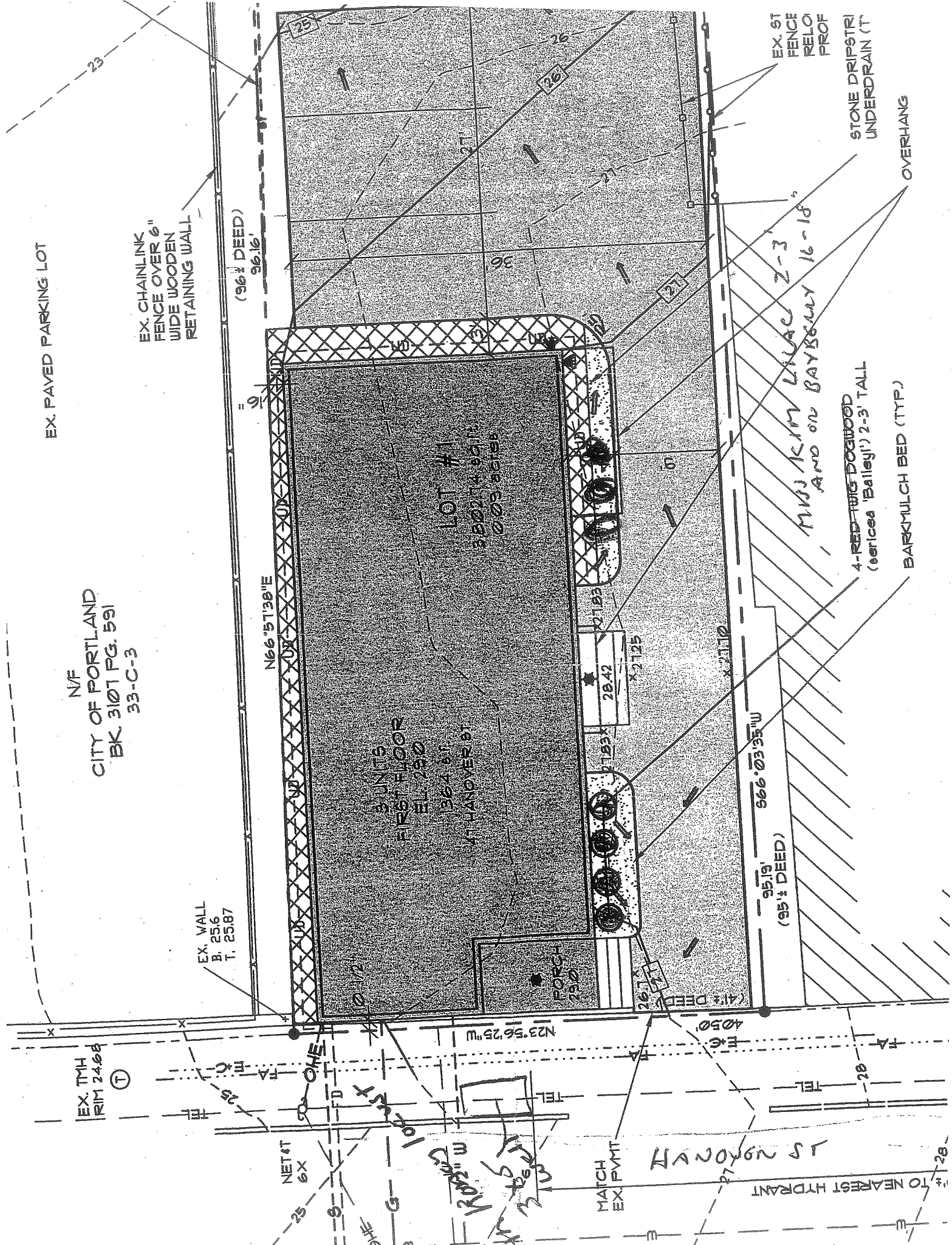
ONE

N23°56'25"W

MATCH EX. PMT

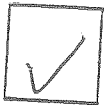
HANOVER ST

TO NEAREST HYDRANT

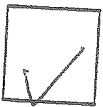


## SITE PLAN AND SUBDIVISION NOTES

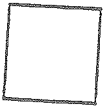
Listed below are notes typically required on all site plans. These notes are listed in an effort to assist the applicant in preparing a site plan. This list is intended to supplement but not substitute the specific submission requirements of the site plan, subdivision, and other ordinances. The specific submission requirements are found in each ordinance and should be reviewed carefully by the applicant. Please note that different sites and developments may pose different site plan issues which affect the content of a site plan submission.



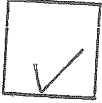
Landscaping shall meet the "Arboricultural Specifications and Standards of Practice and Landscape Guidelines" of the City of Portland Technical and Design Standards and Guidelines.



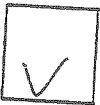
The entire site shall be developed and/or maintained as depicted on the site plan. Approval of the Planning Authority or Planning Board shall be required for any alteration to or deviation from the approved site plan, including, without limitation: topography; drainage; landscaping; retention of wooded or lawn areas; access; size, location, and surfacing of parking areas; and location and size of buildings.



All powerline utilities shall be underground.



Sidewalks and curbing shall be designed and built with tip down ramps at all street corners, crosswalks and driveways in conformance with the City of Portland Technical and Design Standards and Guidelines.



All erosion and sediment control measures shall be designed in accordance with Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices published by the Cumberland County Soil and Water Conservation District and Maine Department of Environmental Protection, March 1991 or latest edition. [Note: the site plan should specify the erosion control device to be employed (silt fence, hay bale, etc.) as well as their location.]



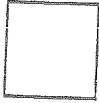
All erosion control measures shall be installed prior to any site excavation or regrading.



All disturbed areas on the site not covered by buildings or paved areas shall be stabilized with loam and seed or other methods as required by Best Management Practices [see above.]

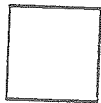


Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representative. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.



Existing vegetation shall be conserved in areas shown on this site. Fencing or other protective barriers shall be erected outside the drip-line of individual, groupings of trees designated for preservation prior to the onset of construction. Regrading shall not take place within the drip-line of trees designated for preservation. No storage or construction materials shall be permitted within the drip-line of trees to be preserved.

[For subdivisions]



A minimum of two trees per lot shall be conserved or planted in the front yard of each lot meeting the City of Portland's Arboricultural Specification and Standard of Practice and Landscape Design Guidelines. Developer may contract for the placement of landscaping, but shall remain ultimately liable to the City of Portland for financial obligation for compliance with City ordinances and approvals. Such financial obligation shall be neither transferrable nor waivable by the developer.

[For Single Family Lots]



A minimum of two trees per lot shall be conserved or planted in the front yard of each lot meeting the City of Portland's Arboricultural Specification and Standard of Practice and Landscape Design.

**PLANNING BOARD REPORT #9-02**

**HANOVER STREET R-7 ZONE CHANGE**

**PEOPLE'S REGIONAL OPPORTUNITY PROGRAM, APPLICANT**

Submitted to:

Portland City Council  
Portland, ME

February 20, 2002

## I. INTRODUCTION

The Planning Board is forwarding a recommendation to the City Council to approve a proposed zoning map change from B-2b Business to R-7 Compact Urban Residential Overlay Zone in the vicinity of 49 Hanover Street. The applicant, People's Regional Opportunity Program (PROP), has requested this map change in order to facilitate a three-family affordable housing project on this site. This zone change involves a small parcel on Hanover Street (next to the City of Portland Public Works complex).

## III. PROPOSED R-7 ZONE CHANGE- 49 HANOVER STREET

This site is directly adjacent to the City of Portland Public Works complex on Hanover Street. PROP would like to develop a small residential infill project at this time but the proposal does not meet all of the R-6 requirements. The B-2b zone borrows the residential standards of the nearest abutting residential zone which on this site is the R-6.

Existing zoning: B-2b Business

Land Area: 3,820 sq. ft.

Existing Use: Single Family

Proposed Use: Three Family Dwelling

The applicant proposes to remove an existing dilapidated single-family house on the site and replace it with a three dwelling unit building. The site is next to a heavy equipment parking lot of the Public Works Department. Across the street is the Public Works central maintenance facility.

The applicant is requesting an R-7 designation because the proposed building does not meet the following R-6 requirements.

Side Yard Setback . . . One of the side yards is 1 foot wide whereas the R-6 requires a minimum 10 foot side yard. The R-7 side yard requirement is measured between buildings (minimum 10 feet separation).

Parking . . . New construction in the R-6 requires two spaces per dwelling unit. The applicant proposes one space per dwelling unit or three spaces on the site. The R-7 requires one space per dwelling unit.



**Site Plan:** A site plan and building elevation is shown on Attachment C. The building is three stories high and has a building footprint of 1,344 sq. ft.

The driveway and three parking spaces are tight but are typical of many peninsula residential lots. The northerly building side yard is close to the lot line but the front, rear and southerly side yards, are ample to provide adequate light and air.

The design of the building features a gable to the street with porches on the first and second floor. The form and shape of the building is very compatible with the surrounding neighborhood.

**Nearby Uses:** The neighboring area is characterized by a mix of residential, commercial and institutional uses. The Public Works central maintenance facility is across the street. A Public Works heavy equipment parking lot is next to the site (northerly). Residential uses are found on the southerly and easterly sides of the site. Most of the lots in the Hanover-Lancaster-Alder-Portland Street block are residential. On Portland Street (along this block) there is a variety store, parking lot and a sign shop. Portland Street between Preble Street and Forest Avenue has a mix of commercial and residential uses.

This area is typical of other residential areas in Bayside north of Cumberland Avenue and Portland Street - a one or two block of residential uses often with a mix of non-residential uses.

### **III. LAND USE POLICY: R-7 COMPACT URBAN RESIDENTIAL OVERLAY ZONE**

The policy statement of the R-7 Zone is shown below.

The purpose of the R-7 Compact Urban Residential Overlay Zone is to encourage and accommodate compact residential development on appropriate locations on the Portland Peninsula, pursuant to the New Vision for Bayside element of the comprehensive plan and housing plans of the City of Portland. Sites suitable for in-city living should be within walking distance of downtown or other work places, shopping and community facilities and have access to public or private off-site parking or transit service. The intent of this zone is to foster increased opportunities for compact in-city living for owners and renters representing a variety of income levels and household types.

Locations for siting the R-7 Zone are intended to be located on the peninsula of Portland, in the area encompassed in the Bayside plan and other peninsula R-6 locations characterized by moderate to high density

multi-family housing in a form and density exceeding that allowed in the R-6 Zone and where infill development opportunities exist; and areas on the peninsula with mixed business and residential zoning and uses which can accommodate higher density infill residential development without negatively impacting the existing neighborhood or adjacent properties. It may be appropriate in some cases to rezone to R-7 overlay through conditional or contract zoning to ensure that the new development is architecturally appropriate and compatible with the surrounding neighborhood.

The R-7 Zone concept was developed to address the need for infill housing opportunities in Bayside and other areas of the peninsula. As A New Vision For Bayside states: "A true urban district has a healthy mix of residences, and Bayside needs more housing to be a stable and vital neighborhood. Portland will have to revise zoning, provide infrastructure improvements, and create financial incentives to spur development of appropriate and compatible housing construction of the quantities, density, types, and design quality needed to meet the ambitious targets of the plan."

PROP is very interested in developing affordable housing opportunities on small leftover parcels on the peninsula. Unfortunately the existing R-6 zone which is the primary residential zone on the peninsula has certain provisions such as building setbacks and parking that pose barriers towards returning housing to these infill sites. Ironically under the present zoning rules, it would be nearly impossible to replicate the existing neighborhoods on the peninsula.

The first effort to address residential zoning issues in Bayside was the creation of the R-7 Zone to accommodate the Unity Village development. Unity Village has been an unqualified success. However it has become apparent that the R-7 concept needs further refinements in terms of flexibility (density, setbacks, etc) and design standards in order to encourage new housing and address the objectives of the Bayside plan. The Planning Department is working on this assignment but is several months away from completing this work.

PROP has a number of housing proposals that could benefit from a R-7 designation now. Staff does not see a conflict with going forward with the R-7 map changes, since the new zoning text recommendation is likely to be more flexible and have a higher residential density than the existing text.

#### **IV. PUBLIC PROCESS**

The Planning Board held a workshop on this item on November 13, 2001. One hundred thirty nine notices were sent to area residents for the workshop as well as

the public hearing. A newspaper advertisement appeared in the January 7, 2002 edition of the Portland Press Herald for the public hearing. The applicant held a neighborhood meeting with area residents on January 3, 2002.

At the public hearing, two people spoke in favor of the project. No one spoke in opposition.

## **V. PLANNING BOARD RECOMMENDATION**

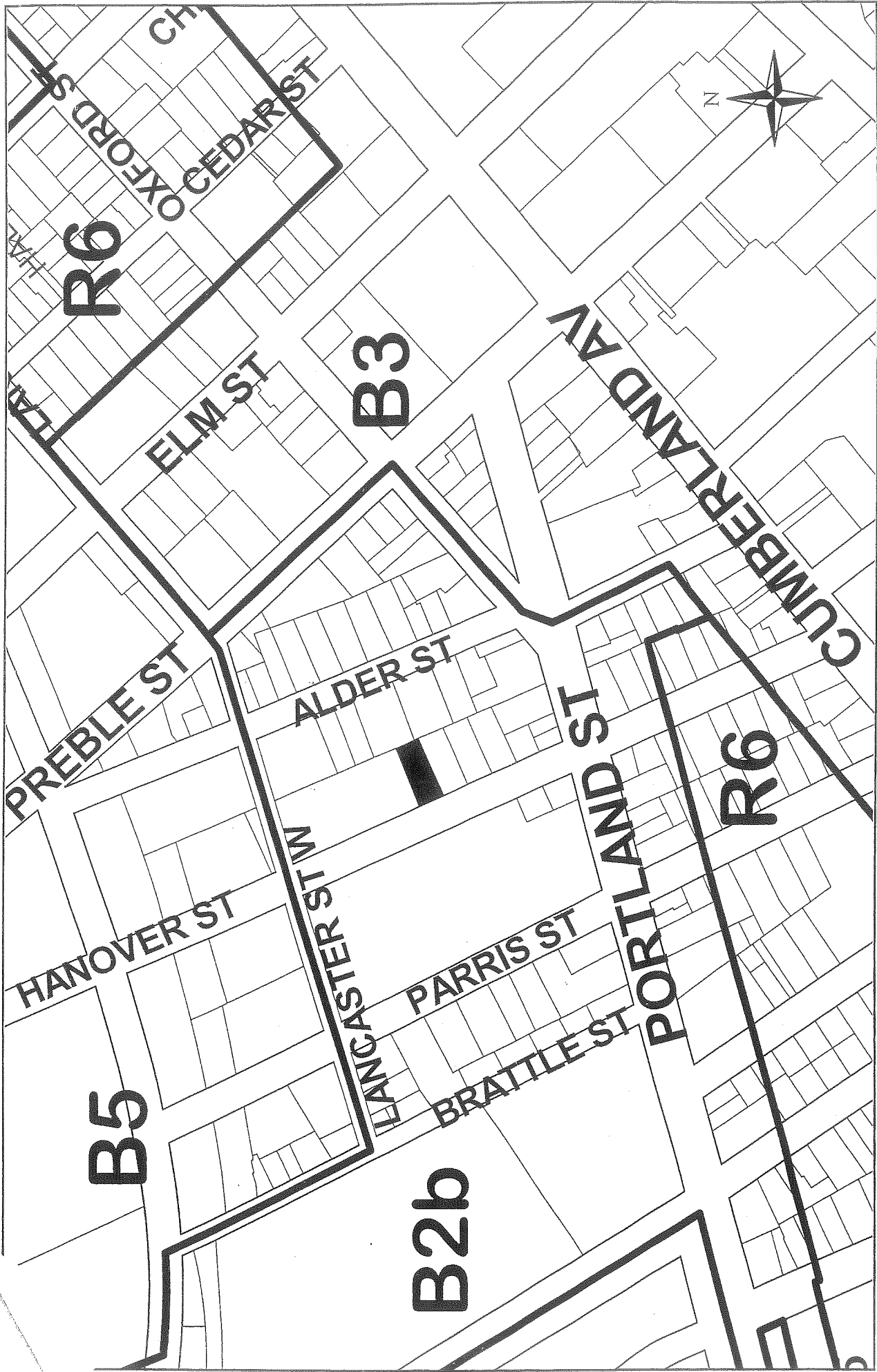
On January 22, 2002, the Planning Board held a public hearing and voted 5-0 (Malone absent) on the following motion:

The proposed zoning map change in the vicinity of 49 Hanover Street is consistent with the policies of the R-7 Compact Urban Residential Overlay zone and Comprehensive Plan of the City of Portland. The Planning Board therefore recommends to the City Council approval of the R-7 zone map change.

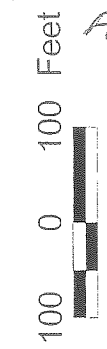
The Board did want to comment, that like the R-7 Unity Village zone change, the R-7 is to a certain extent experimental at this point. Unity Village represented a relatively large site application for R-7 developments. The proposed zone change site is representative of small in-fill development. Use of the R-7 for small in-fill lots provides another appropriate demonstration and model of R-7 housing development. The applicant's proposal of affordable housing and quality architectural design are also a good match for the R-7.

### Attachments:

- A. Hanover Street Zone Change Map
- B. Vicinity Map
- C. Site Plan/Building Elevation
- D. Zone Change Application
- E. Hanover Street Neighborhood Meeting

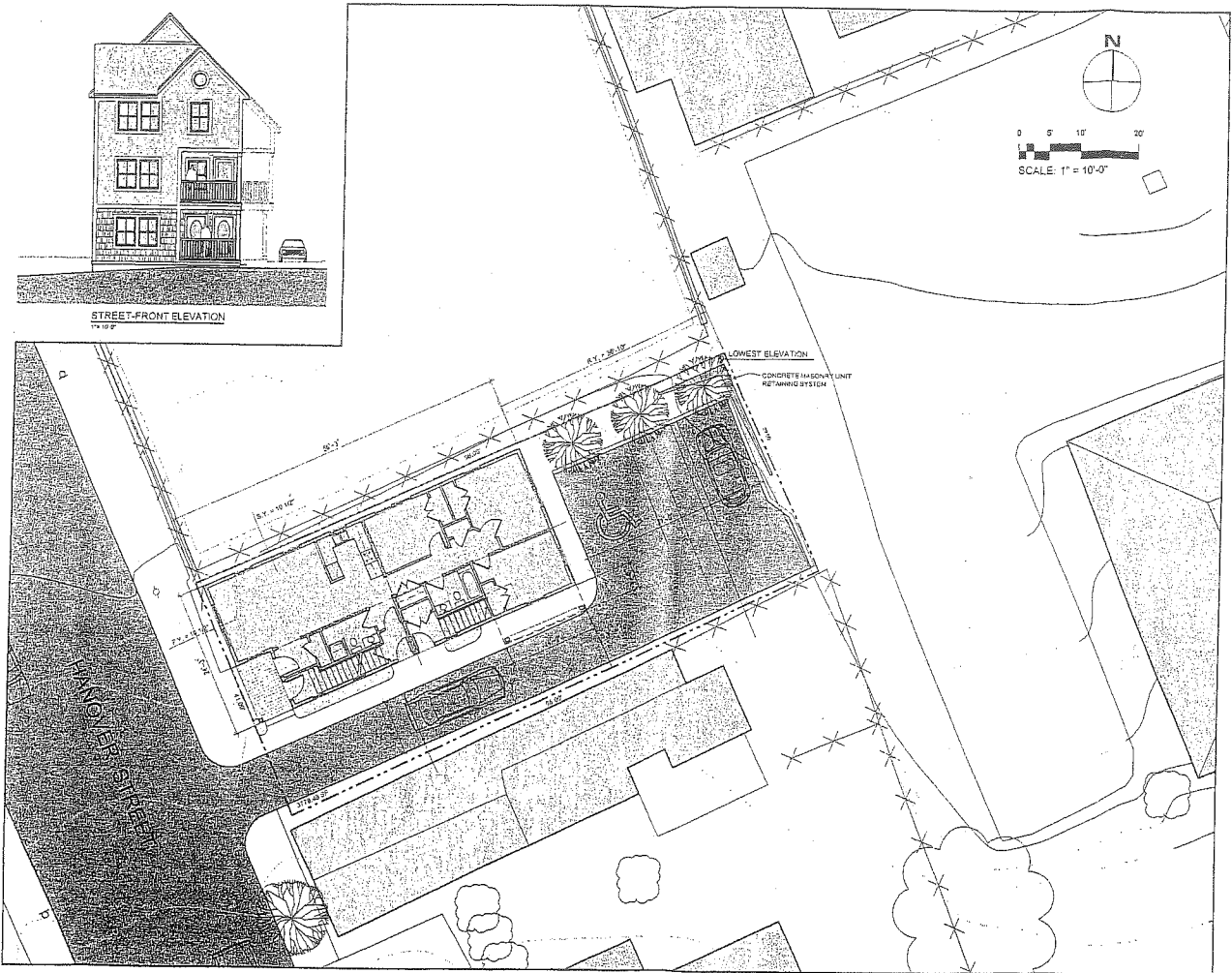
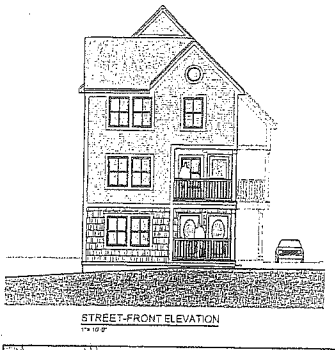


**Proposed Zone Change from B-2b Business  
to R-7 Compact Urban Residential Overlay Zone  
Vicinity of 49 Hanover Street**









0 200 1500-0002-0001

HANOVER HOUSING  
PEOPLES REGIONAL OPPORTUNITY PROGRAM  
PORTLAND, MAINE

TYPH ARCHITECTS  
105 COMMERCIAL STREET  
PORTLAND, MAINE 04101  
TELEPHONE: 603.751.8111  
ARCHITECTURE PLANNING

REVISIONS
DATE: November 7, 2001
PROJECT NO.: 0112
DESIGNED BY: CHP
CHECKED BY: TYP
SCALE: 1" = 10'-0"
DRAWN BY:
SHEET TITLE: SITE PLAN ELEVATION

SI



APPLICATION FOR ZONING AMENDMENT  
City of Portland, Maine  
Department of Planning and Urban Development  
Portland Planning Board

1. Applicant Information:

PROP  
Name  
510 Cumberland Avenue  
Address  
Portland, ME 04101  
207-874-1140 Phone 207-874-1155 Fax

2. Subject Property:

49 Hanover Street  
Address  
Portland, ME 04101  
33-C-9  
Assessor's Reference (Chart-Block-Lot)

3. Property Owner:  Applicant  Other

PROP  
Name  
510 Cumberland Avenue  
Address  
Portland, ME 04101  
207-874-1140 Phone 207-874-1155 Fax

4. Right, Title, or Interest: Please identify the status of the applicant's right, title, or interest in the subject property:  
Property is scheduled to close on October 19, 2001

Provide documentary evidence, attached to this application, of applicant's right, title, or interest in the subject property. (For example, a deed, option or contract to purchase or lease the subject property.)

Vicinity Map: Attach a map showing the subject parcel and abutting parcels, labeled as to ownership and/or current use. (Applicant may utilize the City Zoning Map or Parcel Map as a source.)



6. Existing Use:

Describe the existing use of the subject property: single family residential

7. Current Zoning Designation(s): B2b

8. Proposed Use of Property: Please describe the proposed use of the subject property. If construction or development is proposed, please describe any changes to the physical condition of the property.

Three unit residential housing; three parking spaces

to be provided in the rear of the structure

A minor retaining wall may be added along the rear

(northwest corner)

9. Sketch Plan: On a separate sheet please provide a sketch plan of the property, showing existing and proposed improvements, including such features as buildings, parking, driveways, walkways, landscape and property boundaries. This may be a professionally drawn plan, or a carefully drawn plan, to scale, by the applicant. (Scale to suit, range from 1"=10' to 1"=100'.)

10. Proposed Zoning: Please check all that apply:

A.  Zoning Map Amendment, from B2b to R-7

B.  Zoning Text Amendment to Section 14- \_\_\_\_\_

For Zoning Text Amendment, attach on a separate sheet the exact language being proposed, including existing relevant text, in which language to be deleted is depicted as crossed out (example), and language to be added is depicted with underline (example).

C.  Conditional or Contract Zone

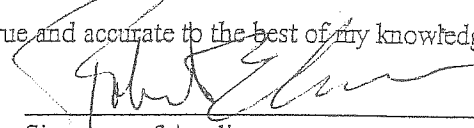
A conditional or contract rezoning may be requested by an applicant in cases where limitations, conditions, or special assurances related to the physical development and operation of the property are needed to ensure that the rezoning and subsequent development are consistent with the comprehensive plan and compatible with the surrounding neighborhood. (Please refer to Division 1.5, Sections 14-60 to 62)

11. Application Fee: A fee for this application for a zoning amendment must be submitted, by check payable to the City of Portland in accordance with Section 14-54 of the Municipal Code (see below). The applicant also agrees to pay the costs of publication (or advertising) of the Public Hearing Notice as required for this application. Such amount will be billed to the applicant following the appearance of the advertisement. D-3

	<u>1-25 Units</u>	<u>26-50 Units</u>	<u>51-75 Units</u>	<u>75 &amp; Over</u>
Residential Zones	\$350.00	\$400.00	\$450.00	\$500.00
Nonresidential Zones	\$350.00	\$400.00	\$450.00	\$500.00
	0-15,000 sq. ft. or 0-5 acres (whichever is less)	15,000-30,000 sq. ft. or 6-10 acres (whichever is less)	30,000-45,000 sq. ft. or 10-15 acres (whichever is less)	45,000-60,000 sq. ft. or 15-20 acres (whichever is less)

- Legal Advertisements (one for workshop and one for public hearing) percent of total bill
- Notices (one for workshop and one for public hearing) 40 cents each
- Text Amendments \$300.00

\$350.00 Amount of Fee

12. Signature: The above information is true and accurate to the best of my knowledge.  
October 16, 2001   
 Date of Filing Signature of Applicant

**Further Information:**

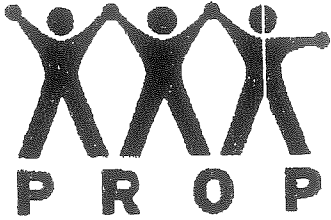
Please contact the Planning Office for further information regarding the rezoning process. Applicants are encouraged to make an appointment to discuss their rezoning requests before filing the application.

Applicants are encouraged to include a letter or narrative to accompany the rezoning application which can provide additional background or context information, and describe the proposed rezoning and reasons for the request in a manner that best suits the situation.

In the event of withdrawal of the zoning amendment application by the applicant in writing prior to the submission of the advertisement copy to the newspaper to announce the public hearing, a refund of two-thirds of the amount of the zone change fee will be made to the applicant by the City of Portland.

Portland Planning Board  
 Portland, Maine  
 Effective: July 6, 1998

0-4



**People's Regional  
Opportunity Program**

510 Cumberland Avenue  
Portland, Maine 04101  
(800) 698-4959  
or (207) 842-2989  
fax (207) 842-2991  
tty (207) 874-1013  
www.propeople.org

PROPFAMILY

PROPHOME

PROSENIORS

PROPYOUTH

PROP COMMUNITY

DATE: 1-16-01

TO: Laurie Whitman

BUSINESS NAME: Prop

FROM: May

RE: Deed - Harrow Street

NUMBER OF PAGES (incl. cover sheet): 3

SENDER'S INITIALS: 3

NOTES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Important confidentiality notice:**

This facsimile transmission is intended for the use of the addressee named above only. It may contain information that is propriety, subject to attorney/client privilege or medical confidentiality, or otherwise confidential.

If you are not the intended recipient of this communication, you are notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone so that we can arrange for its return to us at no cost to you.

D-5

**DEED OF SALE BY PERSONAL REPRESENTATIVE**  
(Testate)

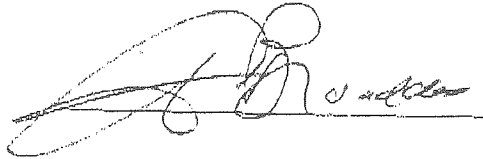
Maine Statutory Short Form  
KNOW ALL MEN BY THESE PRESENTS,

THAT, I, DORIS STETSON, duly appointed and acting personal representative of the Estate of EDWARD M. STETSON, also known as EDWARD N. STETSON, deceased, whose will was duly admitted to probate in the Probate Court for the County of Cumberland, Maine, Docket No. 2001-848, and having given notice to each person succeeding to an interest in the real property described below at least ten (10) days prior to the sale, by the power conferred by the Probate Code, and every other power, grant to PEOPLE'S REGIONAL OPPORTUNITY PROGRAM, also known as PROP, and its mailing address is 510 Cumberland Avenue, Portland, Maine 04101, a certain lot or parcel of land with the buildings thereon, situated in Portland, County of Cumberland, State of Maine, more particularly described as follows:

Reference to Exhibit A. attached hereto and incorporated herein.

WITNESS my hand and seal this / 9<sup>th</sup> day of October, 2001.

Signed, Sealed and Delivered  
in Presence of



ESTATE OF EDWARD M. STETSON a/k/a  
EDWARD N. STETSON

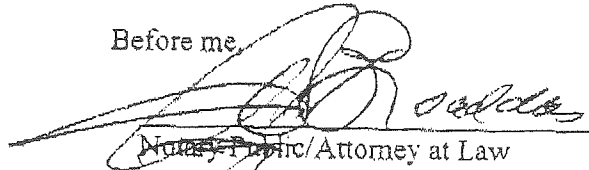
  
BY: DORIS STETSON  
Personal Representative

STATE OF MAINE  
CUMBERLAND, ss.

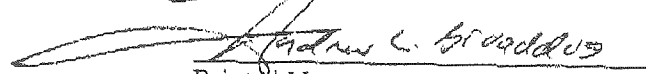
Then personally appeared the above-named DORIS STETSON, in her said capacity as Personal Representative of the ESTATE OF EDWARD M. STETSON, a/k/a EDWARD N. STETSON and acknowledged the foregoing instrument to be her free act and deed and the free act and deed of the ESTATE OF EDWARD M. STETSON a/k/a EDWARD N. STETSON

Date: 10-19-01

Before me,



Notary Public/Attorney at Law

  
Printed Name

## EXHIBIT A

A certain lot or parcel of land with the buildings thereon situated on the easterly side of Hanover Street, in Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point on the easterly side of Hanover Street distant one hundred ninety-five and one-half (195 ½) feet from the corner formed by the intersection of the northerly side of Portland Street and the easterly side of Hanover Street at the northwesterly corner of land formerly of B.F. Swett, and running thence northerly by said Hanover street, forty-one (41) feet to land now or formerly of E.R. Skillings; thence easterly by said Skillings land, ninety-six (96) feet, more or less, to land now or formerly of Charles Custis, once of Robert F. Green; thence southerly by said Custis or Green, land thirty-nine (39) feet, more or less, to said Swett land; thence westerly by said Swett land, ninety-five (95) feet, more or less, to said Hanover street and the point of beginning.

Being the same premises conveyed from Ernest A. Gibson to Edward Stetson by Warranty Deed dated March 31, 1978 and recorded in the Cumberland County Registry of Deeds in Book 4192, Page 172.

**People's Regional Opportunity Program  
Minutes of Hanover Street Community Meeting  
Jan. 3, 2002  
@ PSRC**

Introductions were made.

Overview: Betsy Sawyer-Manter welcomed everyone and reviewed PROP's experience in the field of housing and why and how it has responded to the RFP from the City of Portland. PROP has long been exposed to the need for affordable housing from the day-to-day contact we have with clients in need of housing.

PROP has chosen to target affordable family rental on scattered sites throughout the City of Portland. PROP is developing units in Westbrook, which will be home ownership opportunities.

Betsy reviewed a hand out with the group that outlined the features of the project.

Design: Scott Teas, of TFH Architects presented both drawings and a model of the proposed building for the Hanover Street site.

Features:

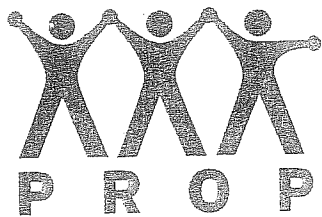
- 3 units; approximately 1300 sq/ft per unit
- 3 bedroom; 1½ bath
- Full basement
- Good sound insulation between floors.
- 1 flat; 2 townhouses
- 3 parking spaces in rear
- Need for R-7 zone change in order to place building closer to Public Works property line; limit to one off street parking space per unit, and to set the building close to street in keeping with the streetscape.
- The exterior will be a combination of vinyl siding and cement fiberboard.
- Modular construction; 8 boxes; built in factory and delivered and placed together on site with a crane.

Open Discussion:

- \* Will PROP own and manage? YES
- \* Timeline - Depends on city process; perhaps break ground April/May 2002. Still many steps in the process.
- Jan. 22<sup>nd</sup> Planning Board Public Hearing @ 7pm. This is a hearing on the zone change. PROP encourages the public to attend and comment.
- Costs of units - \$112,000/ unit includes land acquisition, soft costs, escrows, construction etc. (Construction costs \$57/sq.ft)

- Comment from Steve Hirshon – “Very thoughtful – in the context of the neighborhood, cost, etc.
- Has PROP pledged any funds or are they just depending on other financing? PROP is putting together financing and will be seeking a \$5000 developer’s fee per unit.
- Does PROP have any money into the project? Yes, PROP has much in architect fees and staff time. Betsy’s salary to do community involvement is paid for by PROP, not the project.
- This is a tax paying property.
- The city anticipates putting \$11-18k in HUD funds per unit.
- How much did Unity Village cost? Approximately \$155k per unit with no land costs.
- Does PROP plan to rehab buildings? Yes, whenever possible we try to rehab. PROP has some good examples in Westbrook and our 510 Cumberland Ave building. We also have a number of services such as low interest rehab loans, weatherization, heating system repair and replacement, homeownership training, and first time home purchase.
- What is the city’s plan for Hanover Street? Move public works and utilize property for commercial/residential.
- Does PROP allow pets? No, except for therapeutic reasons on a case-by-case basis.
- Tom Toye – “likes the concept and design”
- Bayside Housing Committee has endorsed the R-7 concept.
- How do we ensure that this stays under PROP’s management and guidance? Covenants in the funding documents.

Minutes by  
Betsy Sawyer-Manter



People's Regional  
Opportunity Program  
510 Cumberland Ave  
Portland ME 04101  
(800) 698-4959  
or (207) 874-1140  
fax (207) 874-1155  
tty (207) 874-1013  
www.propeople.org



## Hanover Street Proposed Housing Development

One Building

Three Apartments (3 Bedroom Units)

Approximately 1300 Square Feet per Unit

Three Off Street Parking Spaces

PROP is Requesting an R-7 Zone Change

Buildings Are High Quality Modular Construction

All Units Will Be Affordable  
(At or Under 80% of Median Income)

Examples of Rental Costs:

30% of Median Income = \$382/month

40% of Median Income = \$509/month

50% of Median Income = \$636/month

60% of Median Income = \$764/month



Community Meeting  
Sign-in Sheet

1/3/02

Hanover St.

Name	Address	Phone	E-mail
Betsy Sawyer Vintar Joe Woffman	PROP <sup>SI 6 word</sup> complete 11 Sherman St.	874-1140 771-5965	BEM@Propeople.org jwoffman@propeople.org
Aaron Shapiro	City of Portland Housing & Neighborhood Services	874-8711	ajs@ci.portland.me.us
L.W. Williams	263 CUMBERLAND AVE.		
Charles St. Germain	9 PARRIS ST Portland, ME 04101	773-0939	resg@worldnet.att.net
Tom TOYE	PO BOX 266 CAPE ELIZ. ME 04107	767-4915	TTOYE30AOL.COM

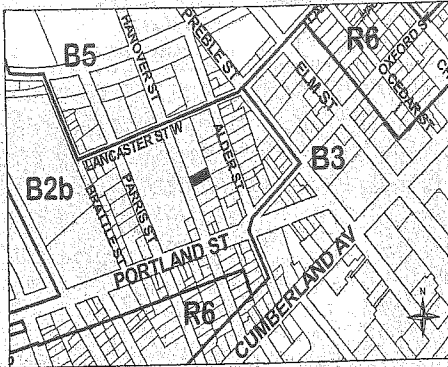
# Community Meeting Sign-in Sheet

Hamover St. 1/3/02

Name	Address	Phone	E-mail
Andrea Elder	231 Cumberland Ave. #5	874-4710	sandyelder@aol.com
Donna Yellen	PSRC Box 1495 PORTLAND 04104	775-0024	PREBLESTC@AOL.COM (REMARK: ATTN: DONNA YELLEN)
Steve Hinshon	15 Hamover St Portland 04101	773 6787	
+ Jae, Carla, Bob, Bob, Scott	Town Tractor Dewey Ave. #222 04101		

**AN IMPORTANT NOTICE FROM THE CITY OF PORTLAND PLANNING OFFICE**

**WHAT:** The Portland Planning Board will hold a public hearing to consider a proposal by Portland Regional Opportunity Program (PROP) to consider a rezoning from B-2b to R-7 for the property as shown on the fragmented map below.



Proposed Zone Change from B-2b Business to R-7 Compact Urban Residential Overlay Zone  
Vicinity of 49 Hanover Street

Map produced by the City of Portland's Department of Planning & Urban Development & Revised Map Group November 2001

A request has been made by the Portland Regional Opportunity Program (PROP) for a zone change to the R-7 Compact Urban Residential Overlay Zone to allow a three family dwelling at 49 Hanover Street. The land area of the site is 3,820 sq. ft.

**WHEN:** Tuesday, January 22, 2002

6:00 p.m.

City Hall, Room 209, 2nd Floor

**FOR MORE INFORMATION:**

Further information on the rezoning is available in the Portland Planning Department, 4th Floor, City Hall. If you wish to submit written comments, address them to Richard Knowland, Senior Planner, Planning Department, City Hall, 4th Floor, 389 Congress Street, Portland, Maine 04101, contact by phone at 874-8725 or e-mail at [rwk@ci.portland.me.us](mailto:rwk@ci.portland.me.us)

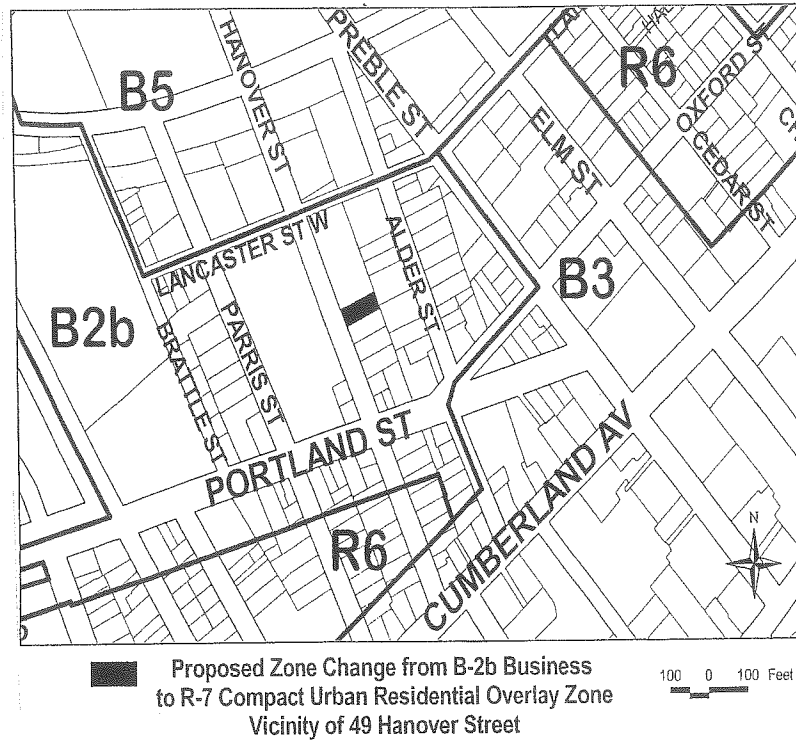
When inquiring about this project, please reference application #114.

06/0078

1-7-2002

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0 2001 TTH ARCHITECTS

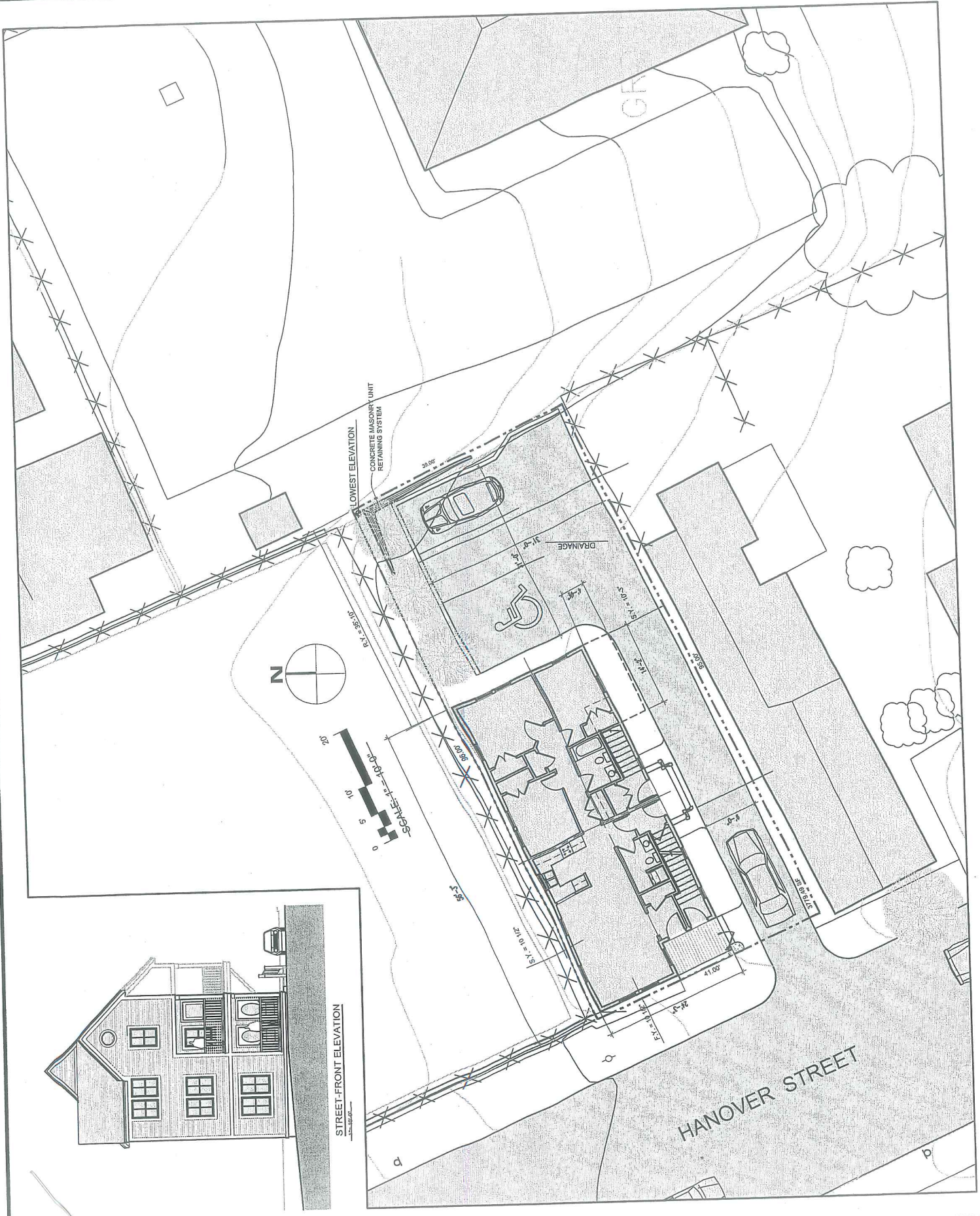
# HANOVER HOUSING PEOPLES REGIONAL OPPORTUNITY PROGRAM PORTLAND, MAINE

TTH ARCHITECTS  
100 COMMERCIAL STREET  
PORTLAND, MAINE 04101  
TELEPHONE 207 775 6141  
ARCHITECTURE PLANNING

REVISIONS:
DATE: November 7, 2001
PROJECT No. 0122
DRAWN BY: CMB
CHECKED BY: TST
SCALE: 1/8" = 1'-00.00"

SHEET TITLE:  
SITE PLAN  
ELEVATION

S1



S1

**CITY OF PORTLAND, MAINE  
SITE PLAN CHECKLIST**

PROP HANCOCK ST MONROE/CROWNLEAF I.d. Number  
Project Name, Address of Project

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
	(2)	Name and address of applicant and name of proposed development	a
	(3)	Scale and north points	b
	(4)	Boundaries of the site	c
	(5)	Total land area of site	d
	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including: <i>Survey stamped by surveyor</i>	2
	(8)	Existing soil conditions	a
	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used <i>dimensioned drawing of facade elevation</i>	c
	(11)	Approximate location of buildings or other structures on parcels abutting the site	d
	(12)	Location of on-site waste receptacles	e
	(13)	Public utilities <i>ability to service (capacity letters) from Public Works (sewer) and Portland Water District</i>	e
	(14)	Water and sewer mains	e
	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
	(17)	Location and dimensions of on-site pedestrian and vehicular accessways <i>dimensioned</i>	g
	(18)	Parking areas	g
	(19)	Loading facilities	g
	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
	(21)	Curb and sidewalks	g
	(22)	Landscape plan showing:	h
	(23)	Location of existing proposed vegetation	h
	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
	(26)	Size of proposed landscaping	h
	(27)	Existing areas to be preserved	h
	(28)	Preservation measures to be employed	h
	(29)	Details of planting and preservation specifications	h
	(30)	Location and dimensions of all fencing and screening	i
	(31)	Location and intensity of outdoor lighting system <i>type of lighting fixture, catalogue cut</i>	j
	(32)	Location of fire hydrants, existing and proposed	k
	(33)	Written statement	c
	(34)	Description of proposed uses to be located on site	l
	(35)	Quantity and type of residential, if any	l
	(36)	Total land area of the site	b2
	(37)	Total floor area and ground coverage of each proposed building and structure	b2
	(38)	General summary of existing and proposed easements or other burdens	c3
	(39)	Method of handling solid waste disposal	4

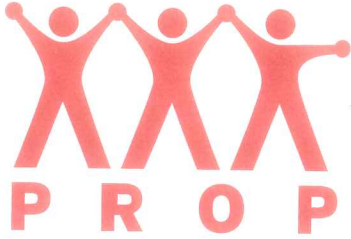
_____	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
_____	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
_____	(42)	An estimate of the time period required for completion of the development	7
_____	(43)	A list of all state and federal regulatory approvals to which the development may be subject	8
_____	(44)	The status of any pending applications	8
_____	(45)	Anticipated timeframe for obtaining such permits	h8
_____	(46)	A letter of non jurisdiction	h8
_____	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities;
- erosion and sedimentation controls to be used during construction;
- a parking and/or traffic study;
- a noise study;
- an environmental impact study;
- a sun shadow study;
- a study of particulates and any other noxious emissions; and
- a wind impact analysis.

Other comments:

- subdivision recording plat
- construction easements
- label dimensions of setbacks, building footprints, parking and driveway areas
- condition of sidewalk and curb → potential replacement issue
- site plan notes
- "steps issue" within 10 foot setback



**People's Regional  
Opportunity Program**

510 Cumberland Avenue  
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or (207) 874-1140  
fax (207) 874-1155  
tty (207) 874-1013  
www.propeople.org

---

PROP FAMILY

---

PROP HOME

---

PROP SENIORS

---

PROP YOUTH

---

PROP COMMUNITY

---

December 14, 2001

Mr. Rick Knowland  
Senior Planner  
City of Portland  
Planning Department  
389 Congress Street  
Portland ME 04101

Dear Rick:

I wanted to do a quick follow up in writing of the discussion we had the other day regarding PROP's placement on the January 22<sup>nd</sup> Planning Board agenda.

PROP will hold the following community meetings:

January 3 – Hanover Street; notices sent 12/11/01.

January 7 – Monroe/Greenleaf Streets; notices sent 12/12/01.

I will plan to have the minutes for both meetings as well as the attendance list to you by January 9. You indicated that it would give you adequate time to notice the neighborhoods for the January 22<sup>nd</sup> meeting.

Thanks again for your time.

Sincerely,

Betsy Sawyer-Mantel  
Director of Community Initiatives

BSM:dl

Cc: Bob Cain





**PLAN REFERENCE**

1. STANDARD BOUNDARY PROPOSED SALT SHED LOT HANOVER STREET BY CITY OF PORTLAND PUBLIC WORKS DEPARTMENT - ENGINEERING SECTION, SEPTEMBER 2001.

**LOCUS DEED REFERENCE**

DORIS STETSON PERSONAL REPRESENTATIVE OF THE ESTATE OF EDWARD N. STETSON TO PEOPLES OPPORTUNITY PROGRAM, BOOK 16864, PAGE 115, 10-15-01.

**SURVEY NOTES**

- UTILITIES SHOWN ON PLAN ARE LOCATED APPROXIMATELY AND SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION. LOCATIONS SHOWN ARE BASED ON PHYSICAL LOCATIONS AND OR MAPS FROM RESPECTIVE UTILITIES.
- ELEVATIONS SHOWN ARE BASED ON CITY DATUM.

**ZONING REQUIREMENTS**

ZONE: R-1 - COMPACT URBAN RESIDENTIAL OVERLAY ZONE PERMITTED USES; RESIDENTIAL USES AS PERMITTED IN THE R-6 ZONE THAT COMPLY WITH THE FOLLOWING DIMENSIONAL REQUIREMENTS:

- MINIMUM LOT SIZE: NONE
- MINIMUM STREET FRONTAGE: NONE
- MINIMUM YARD DIMENSIONS: NONE

NONE, EXCEPT THAT ON LOTS OR PORTIONS OF LOTS WHICH ABUT A LOT UNDER SEPARATE OWNERSHIP WITH EXISTING RESIDENTIAL DEVELOPMENT, THE SIDE OR REAR SETBACKS OF THE R-6 ZONE SHALL APPLY IN AREAS ADJACENT TO SUCH ABUTTING RESIDENTIAL LOT. IN NO CASE, HOWEVER, SHALL THIS PROVISION REQUIRE A SETBACK SUCH THAT THE DISTANCE BETWEEN THE EXISTING RESIDENTIAL BUILDING AND THE PROPOSED NEW RESIDENTIAL STRUCTURE EXCEED THE COMBINED SETBACKS OF THE RESPECTIVE ZONES.

ABUTTING R-6 YARD REQUIREMENTS:  
 REAR YARD: 20 FEET  
 SIDE YARD: 10 FEET

3 STORY STRUCTURE: THE WIDTH OF ONE SIDE YARD MAY BE REDUCED ONE FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN 10 FEET.

- MAXIMUM LOT COVERAGE: 100%
- MAXIMUM RESIDENTIAL DENSITY: 125 S.F. PER DWELLING UNIT
- MAXIMUM BUILDING HEIGHT: 50 FEET

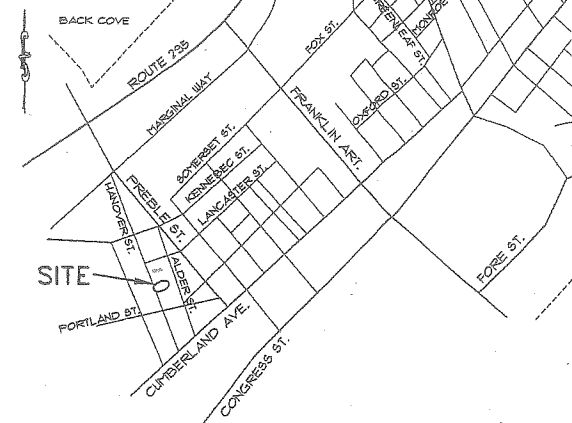
PARKING: 1 PARKING SPACE PER DWELLING UNIT

**GENERAL NOTES**

- OWNER/ DEVELOPER: PEOPLES REGIONAL OPPORTUNITY PROGRAM, 510 CUMBERLAND AVENUE, PORTLAND, MAINE 04101.
- ARCHITECT: TTH ARCHITECTS, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- BOUNDARY AND TOPOGRAPHY TAKEN FROM "PLAN SHOWING A STANDARD BOUNDARY AND SITE SURVEY FOR PROP. PORTLAND REGIONAL OPPORTUNITY PROGRAM, 49 HANOVER STREET, PORTLAND, MAINE." BY DANIEL J. DALFONSO, LLC, SOUTH PORTLAND, MAINE, DATE 02-05-02. BENCHMARK: SEE SURVEY NOTE 2.
- LANDSCAPE DESIGN BY JEFF TARLING, CITY ARBORIST.
- ZONE: B2 COMMUNITY BUSINESS, TO BE REZONED TO R-1.
- TAX MAP REFERENCE: MAP 33, BLOCK C, LOT 9.
- TOTAL PARCEL: 3802.74 s.f.
- HOUSE SHALL HAVE A NUMBER CLEARLY VISIBLE FROM THE ROAD.
- NO OPEN SPACE OR PUBLIC USE AREA ARE INCLUDED IN THIS SUBDIVISION.
- LOTS TO BE SERVICED BY PUBLIC GAS, SEWER AND WATER.
- POWER, TELEPHONE AND CABLE ARE TO BE OVERHEAD.
- TRASH WILL BE STORED IN THE ENCLOSURE OUTDOORS FOR COLLECTION BY PROP PERSONNEL.
- CALL DIG-SAFE (1-800-225-4911) PRIOR TO BEGINNING WORK.
- SOILS AS SHOWN IN "SOIL SURVEY CUMBERLAND COUNTY, MAINE" PUBLISHED BY SOILS CONSERVATION SERVICE ARE CLASSIFIED AS DEERFIELD.
- THIS PROJECT IS THE SUBDIVISION OF 3,803 s.f. OF LAND FOR 1-3 DWELLING UNIT BUILDING.
- OWNER IS TO REMOVE SNOW AS NEEDED.
- EXISTING SIDEWALKS OR CURBS DAMAGED DURING CONSTRUCTION ARE TO BE REPAIRED TO CITY STANDARDS.
- ALL UTILITY SERVICE CONNECTIONS PROPOSED WITHIN CITY STREETS ARE TO BE INSPECTED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTLAND WHERE APPLICABLE.
- SEWER SERVICE CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL REQUIRE A STREET OPENING PERMIT FROM PUBLIC WORKS.

**CITY OF PORTLAND  
 SITE PLAN AND SUBDIVISION NOTES**

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SIZE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIPDOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION. BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. (NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED: SILT FENCE, HAY BALE, ETC. AS WELL AS THEIR LOCATION.)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

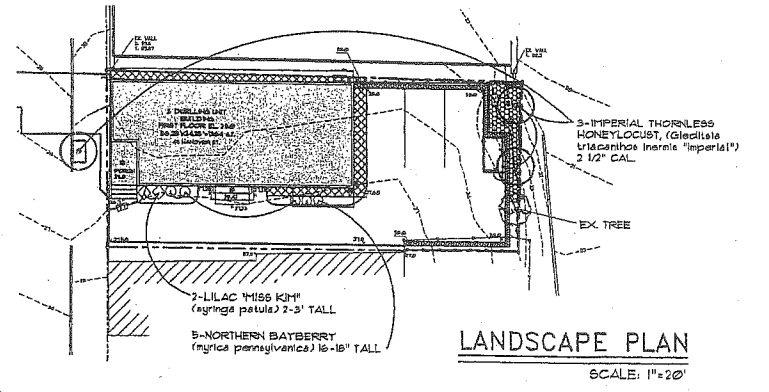
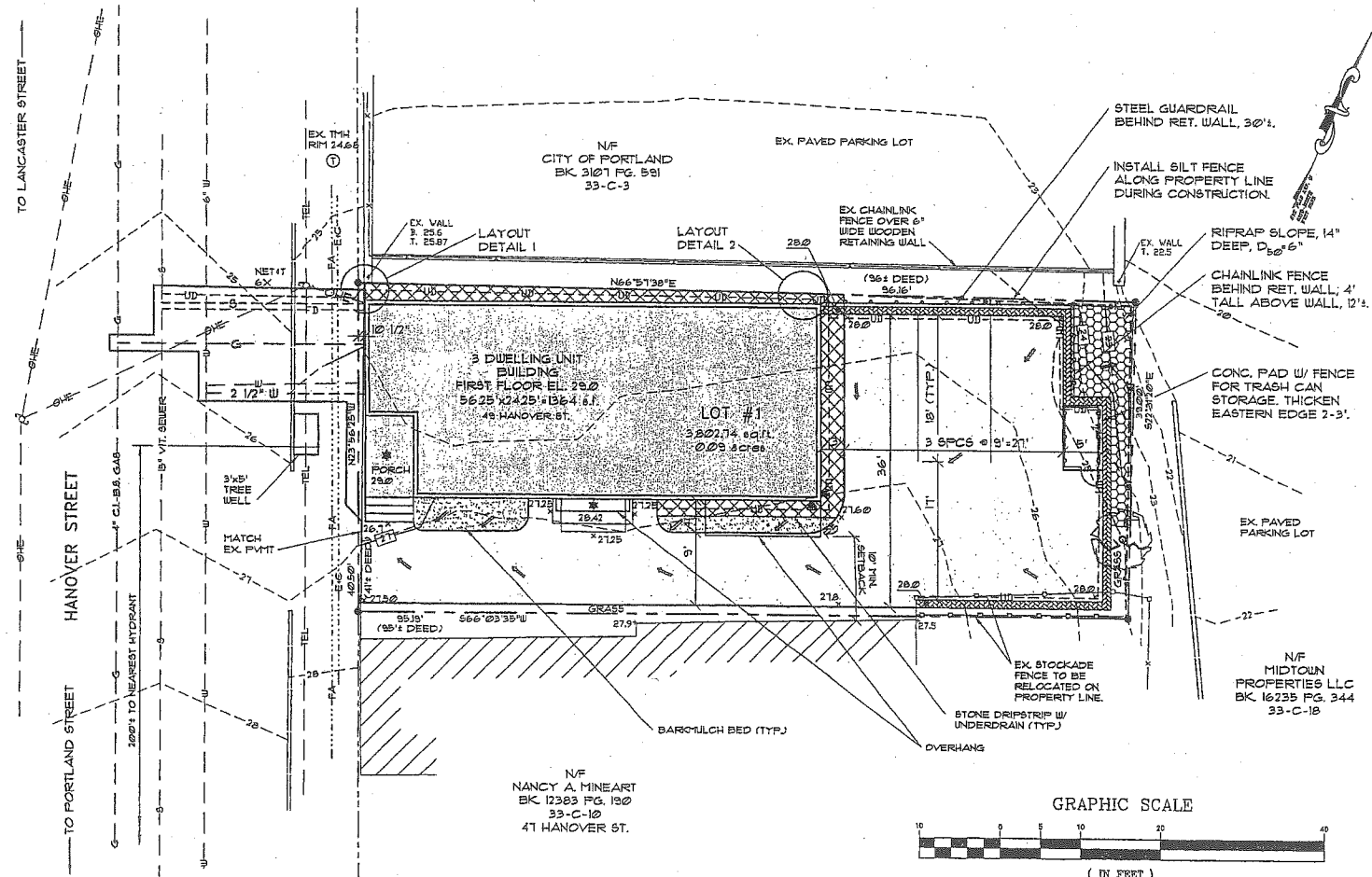
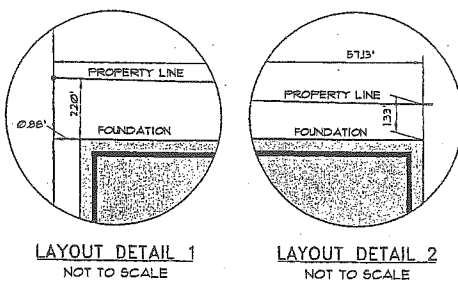


LOCATION PLAN

SCALE: 1"=100'

**LEGEND**

EXISTING	PROPOSED
--- PROPERTY LINE	--- LOT LINE
--- BUILDING SETBACK	--- EDGE OF PAVEMENT
--- ABUTTERS PROPERTY	--- CONTOURS
--- EDGE OF PAVEMENT	--- BUILDING
--- CONTOURS	--- GAS LINE
--- BUILDING	--- OHE OVERHEAD ELECTRIC
--- GAS LINE	--- WATER LINE
--- TEL	--- SEWER
--- OHE OVERHEAD TELEPHONE	--- FOUNDATION DRAIN
--- OHE OVERHEAD ELECTRIC	--- DRIFSTRIP W/ FOUNDATION DRAIN
--- S SANITARY SEWER	--- SPOT GRADE
--- EX UNDERGROUND ELECTRIC OR TELEPHONE	--- SURFACE DRAINAGE
--- FA UNDERGROUND FIRE ALARM	--- IRON PIPE TO BE SET
--- W WATER LINE	--- RELOCATED STOCKADE FENCE
--- CHAINLINK FENCE	--- CHAINLINK FENCE
--- STOCKADE FENCE	--- GUARDRAIL & POSTS
--- SPOT ELEVATION	--- MODULAR BLOCK WALL
--- TELEPHONE MANHOLE	--- TOP OF WALL ELEVATION
--- UTILITY POLE	--- SILT FENCE
--- TREE/SHRUB	--- TREE/SHRUB
--- NOW OR FORMERLY TAX MAP-BLOCK-LOT NUMBER	--- WALL MOUNTED AREA LIGHT
	--- "DOWN" LIGHT FROM OVERHANG OR PORCH CEILING (SEE ARCH)
	--- RIFRAP SLOPE
	--- BARK/MULCH BED
	--- PAVEMENT
	--- MULTIFAMILY BUILDING

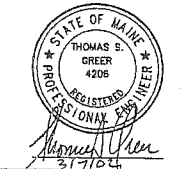
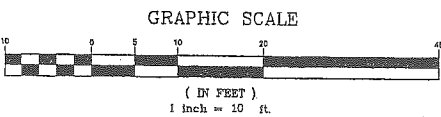


SUBDIVISION PLAN APPROVED BY THE CITY OF PORTLAND PLANNING BOARD

DATE

SUBDIVISION AND SITE PLAN

SCALE: 1"=10'



REV.	DATE	DESCRIPTION
1	3/7/02	REV'D PER CITY REVIEW COMMENTS

OWNER: PEOPLES REGIONAL OPPORTUNITY PROGRAM  
 510 CUMBERLAND AVE. PORTLAND ME  
 49 HANOVER STREET  
 PORTLAND, MAINE

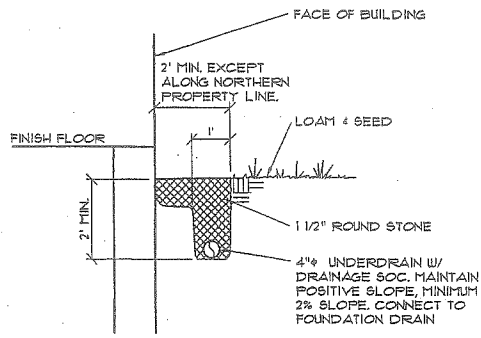
PINKHAM & GREER  
 CONSULTING ENGINEERS, INC.  
 FALMOUTH, MAINE

SUBDIVISION AND SITE PLAN

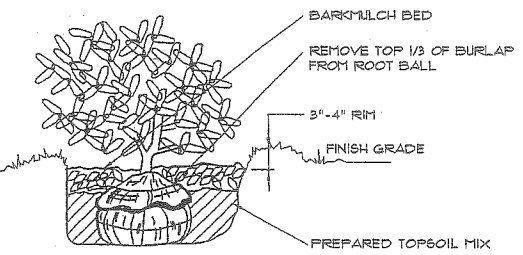
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 DATE: FEB. 19, 2002 DESG BY: TSG  
 PROJECT: D1402 CHK BY: TSG

PLOT DATE: 3-7-02  
 FILE SCALE: 1"=1  
 CAD FILE: 01402

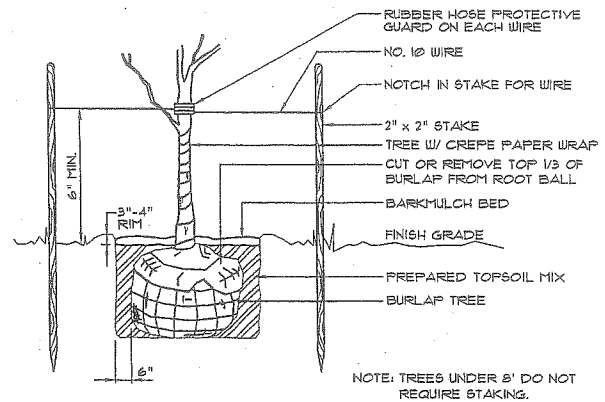
NOTE:  
PROVIDE CLEANOUTS AT JUNCTURES WHERE THERE ARE SHARP ANGLES IN THE PIPE LAYOUT AND/OR LOCATIONS WHERE IT IS CONVENIENT TO ACCESS THE LENGTH OF PIPE TO MAINTAIN IF IT IS PLUGGED.



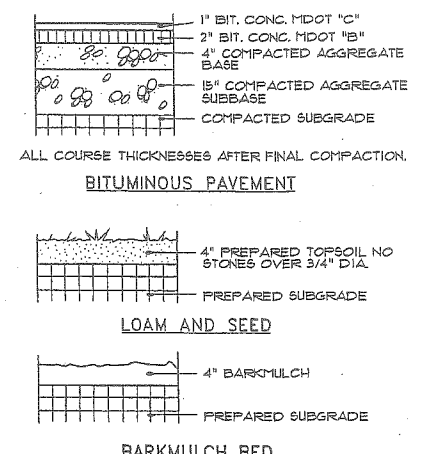
4 STONE DRIPSTRIP SECTION NOT TO SCALE



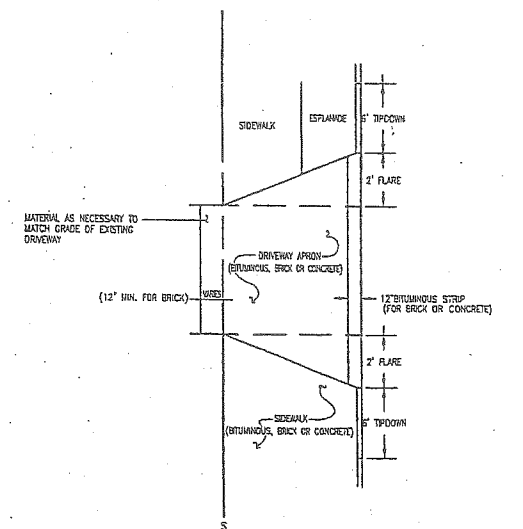
3 SHRUB PLANTING DETAIL NOT TO SCALE



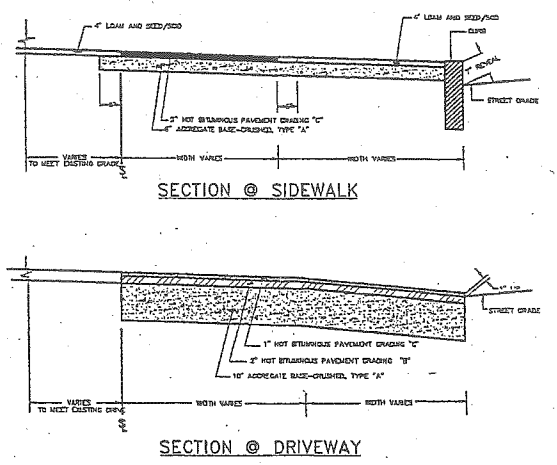
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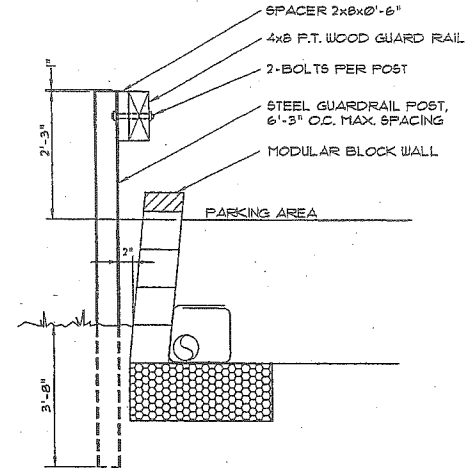
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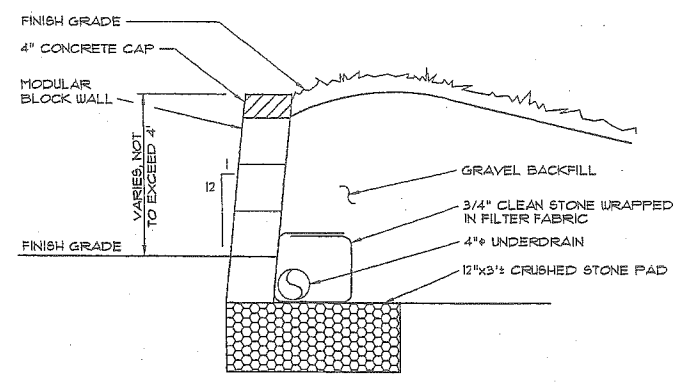
8 SIDEWALK & DRIVEWAY CONSTRUCTION NOT TO SCALE



7 BITUMINOUS SIDEWALK & DRIVEWAY CONSTRUCTION NOT TO SCALE



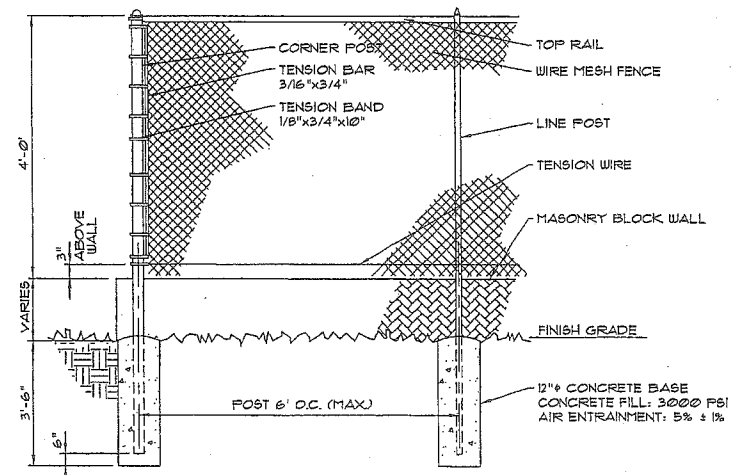
6 STEEL GUARD RAIL DETAIL NOT TO SCALE



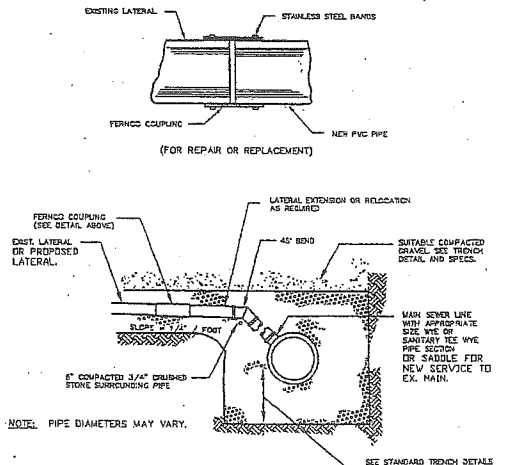
5 MODULAR BLOCK WALL NOT TO SCALE

NOTE:  
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1. LOCATIONS AND ELEVATIONS OF STUES SHOWN ON THE PLANS ARE TO BE CONSIDERED AS APPROPRIATE AND MAY BE ADJUSTED AS DIRECTED TO SUIT FIELD CONDITIONS.  
2. HOUSE CONNECTIONS AND CATCH BASIN CONNECTIONS TO THE MAIN LINE OF THE SEWER SHALL CONSIST OF AN APPROPRIATE 1\"/>



10 CHAINLINK FENCE DETAIL NOT TO SCALE



9 TYP. EXISTING LATERAL CONNECTION NOT TO SCALE

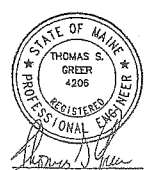
REV.	DATE	DESCRIPTION
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OWNER: PEOPLES REGIONAL OPPORTUNITY PROGRAM  
510 CUMBERLAND AVE. PORTLAND ME  
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PORTLAND, MAINE

PINKHAM & GREER  
CONSULTING ENGINEERS, INC.  
FAMOUTH, MAINE

DETAILS

SCALE: AS SHOWN DRN BY: JDC  
DATE: FEB. 19, 2002 DESG BY: TSG  
PROJECT: 01402 CHK BY: TSG



49 HANOVER STREET  
 PROP FAMILY HOUSING  
 PORTLAND, MAINE

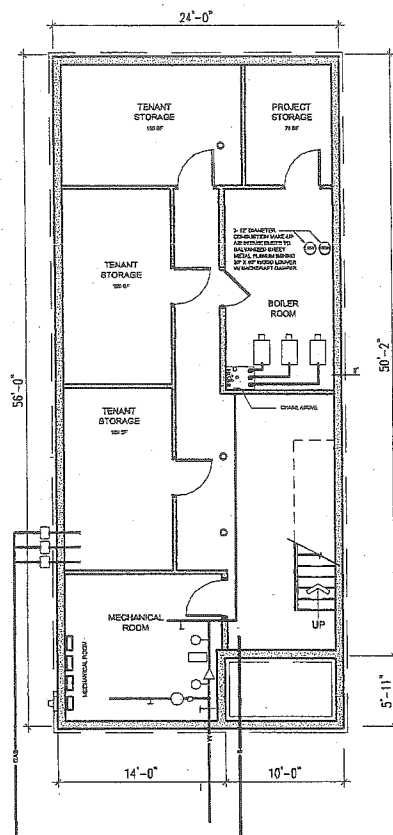
TFH ARCHITECTS  
 100 COMMERCIAL STREET  
 PORTLAND MAINE 04101  
 TELEPHONE 207 775 6141  
 ARCHITECTURE PLANNING

REVISIONS:  
 1 March 6, 2002

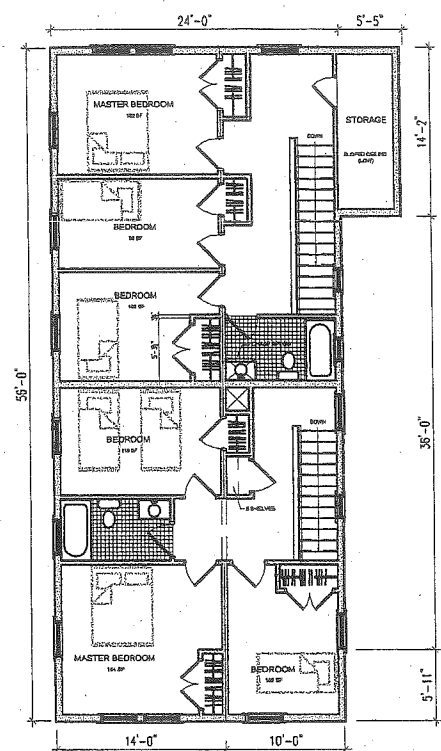
DATE: 2/28/02  
 PROJECT No. 0114  
 DRAWN BY: CSC  
 CHECKED BY: TST  
 SCALE: AS NOTED

SHEET TITLE:  
 FLOOR PLANS

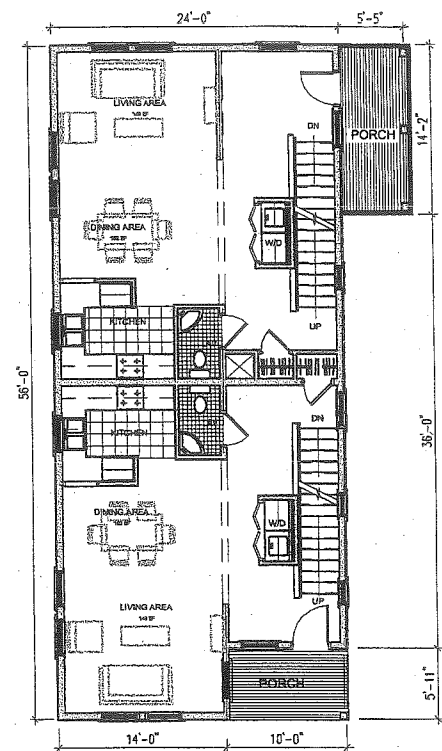
A1-1



4 BASEMENT  
 1/16" = 1'-0"

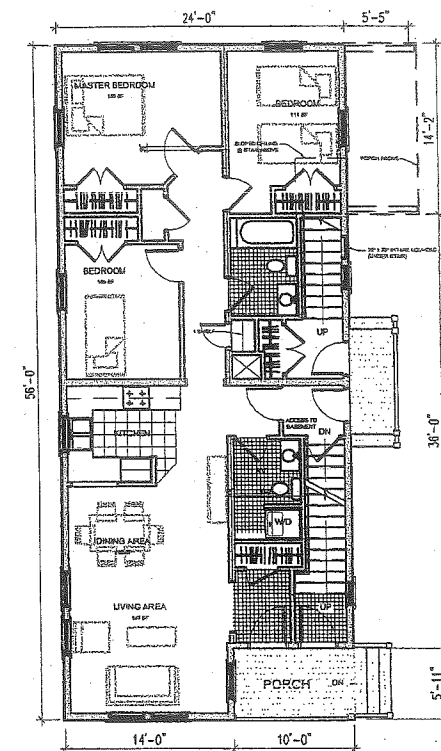


3 THIRD FLOOR  
 1/16" = 1'-0"



2 SECOND FLOOR  
 1/16" = 1'-0"

REVISION 1:  
 Exterior Steps & Landing Added to Plans  
 Dimensions added to Building Elevations



1 FIRST FLOOR  
 1/16" = 1'-0"

PROGRESS PRINT ONLY  
 Not for Construction

49 HANOVER STREET  
PROP FAMILY HOUSING  
PORTLAND, MAINE



TFP ARCHITECTS  
100 COMMERCIAL STREET  
PORTLAND MAINE 04101  
TELEPHONE 207 775 6141  
ARCHITECTURE PLANNING

REVISIONS:

1 March 6, 2002

DATE: 2/27/02

PROJECT No. 0114

DRAWN BY: CSC

CHECKED BY: TST

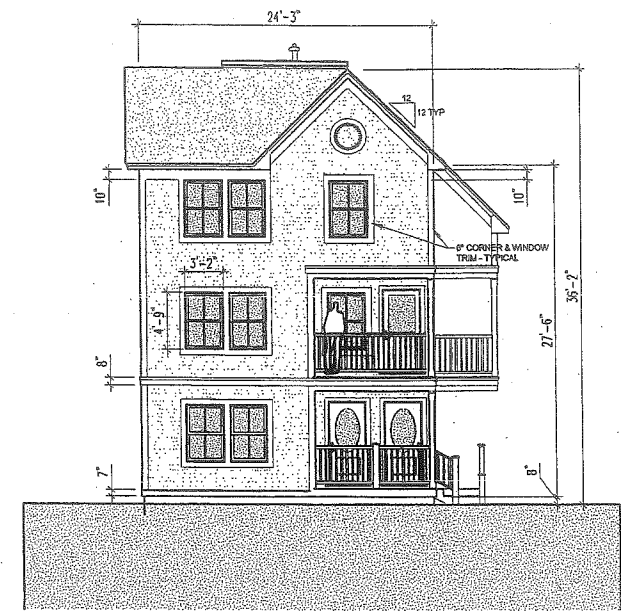
SCALE: AS NOTED

SHEET TITLE:  
ELEVATIONS

A2-1



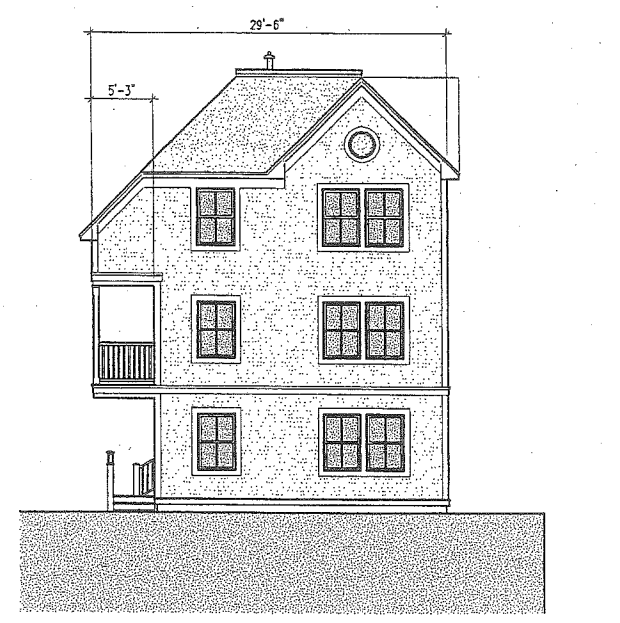
2 NORTH  
1/16" = 1'-0"



1 WEST  
1/16" = 1'-0"



4 SOUTH  
1/16" = 1'-0"



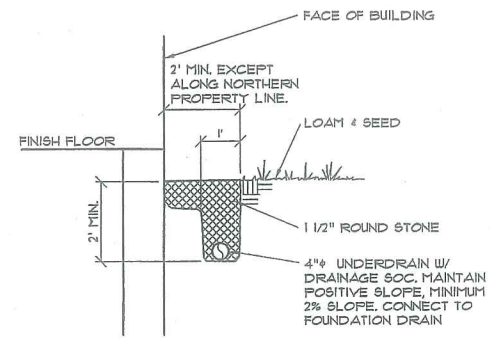
3 EAST  
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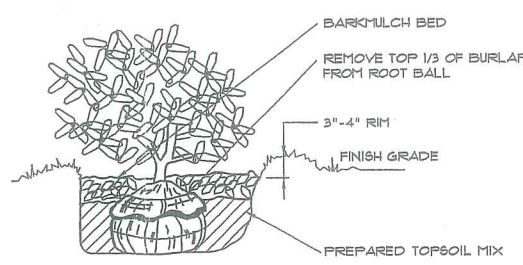
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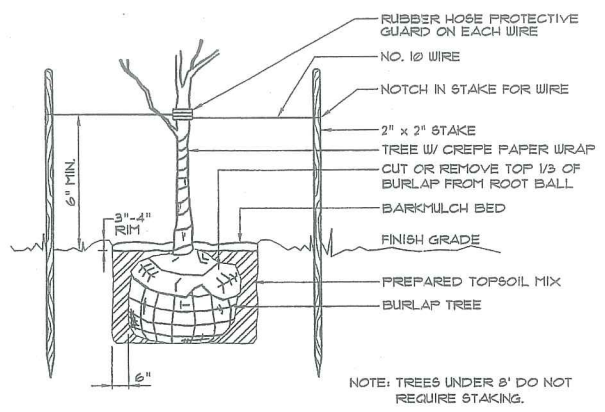
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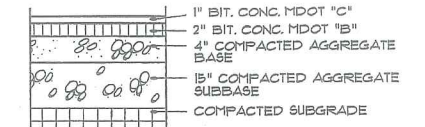
4 STONE DRIPSTRIP SECTION NOT TO SCALE



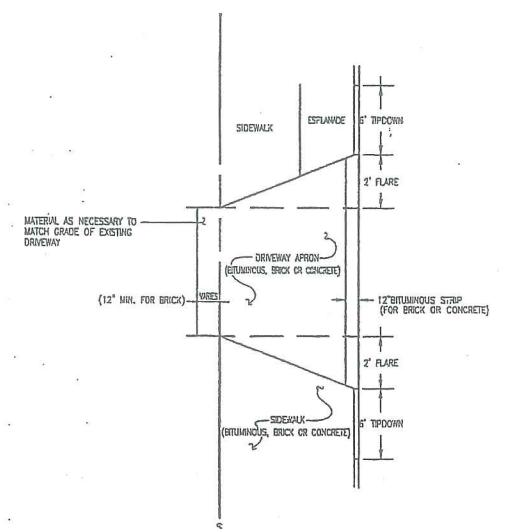
3 SHRUB PLANTING DETAIL NOT TO SCALE



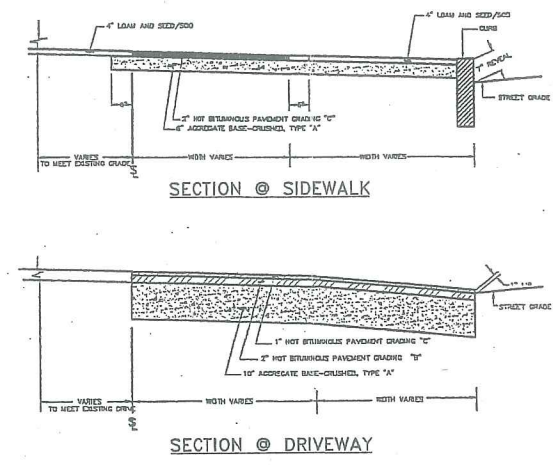
2 TREE PLANTING DETAIL NOT TO SCALE



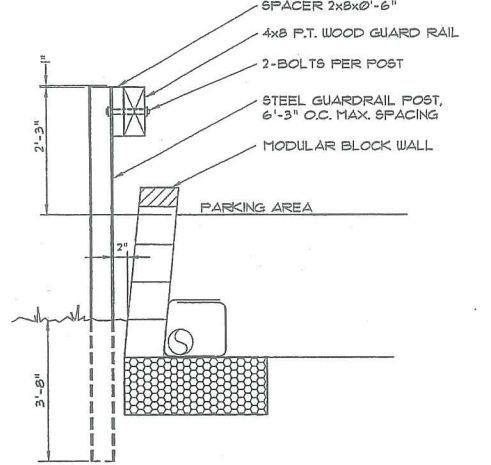
1 SURFACING DETAILS NOT TO SCALE



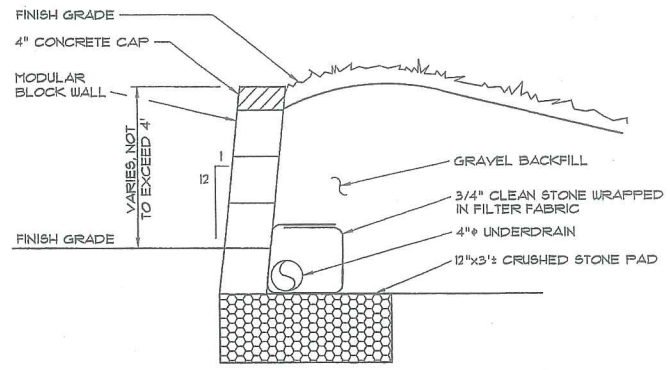
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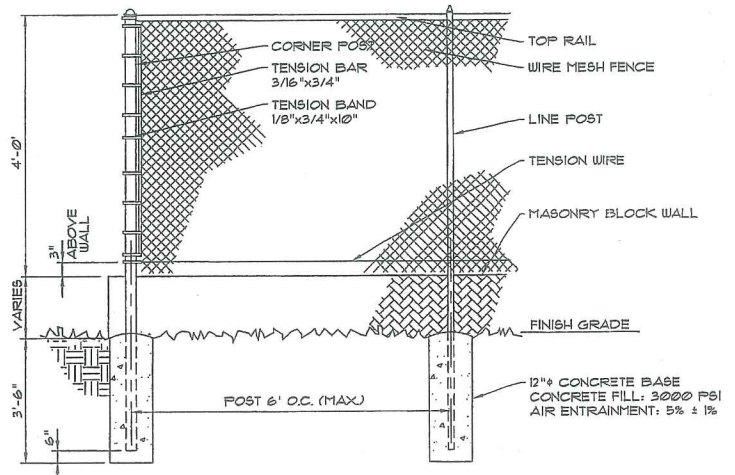
6 STEEL GUARD RAIL DETAIL NOT TO SCALE



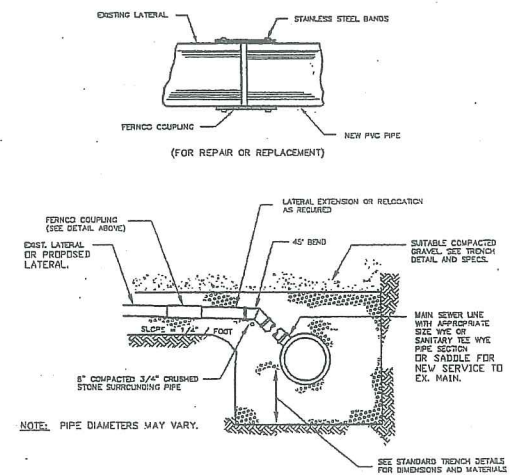
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10 CHAINLINK FENCE DETAIL NOT TO SCALE



9 TYP. EXISTING LATERAL CONNECTION NOT TO SCALE

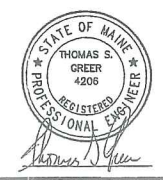
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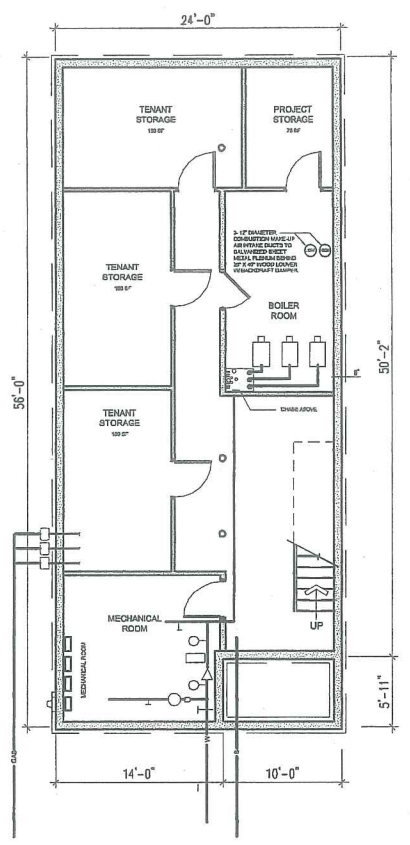
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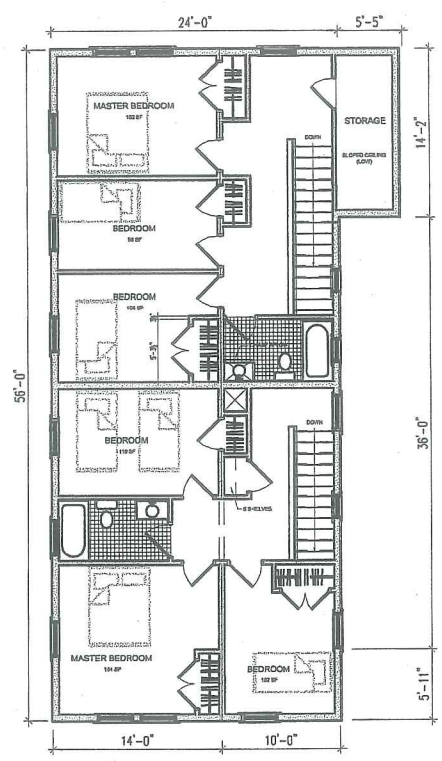
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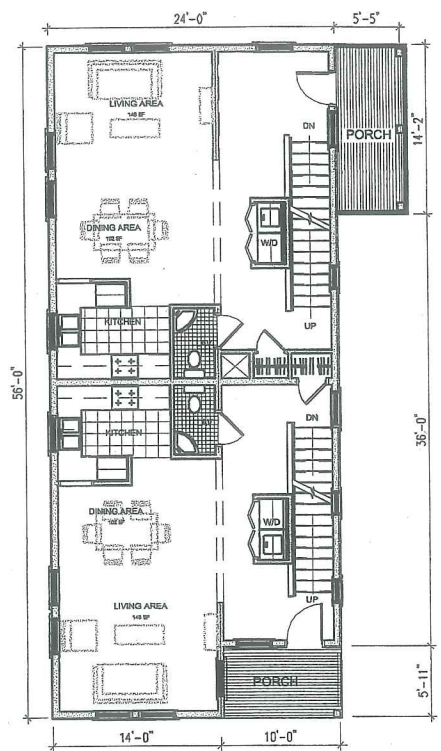
A1-1



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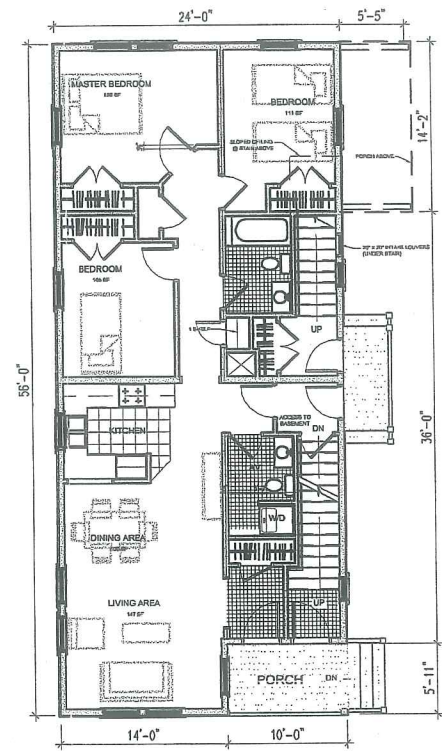


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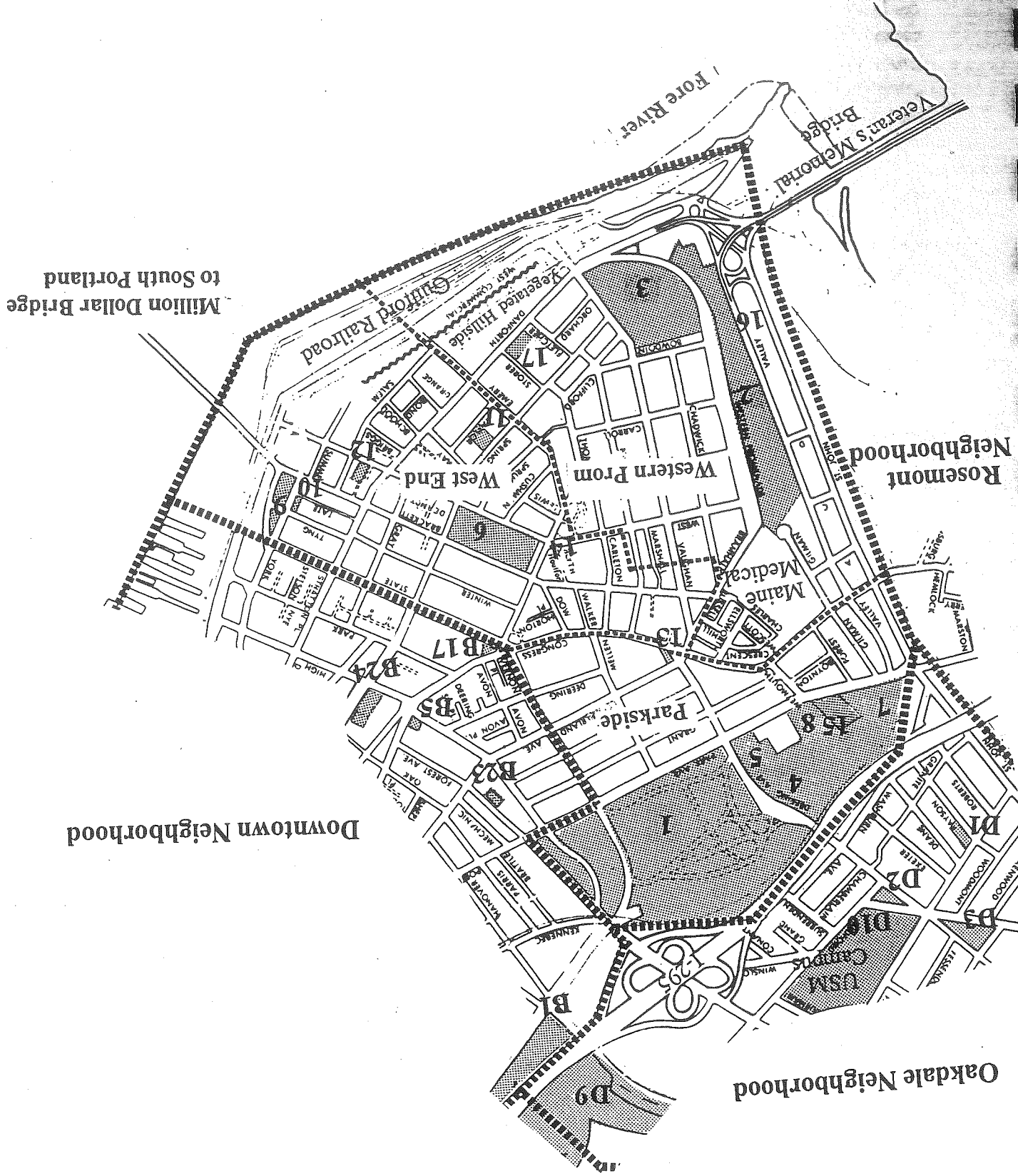
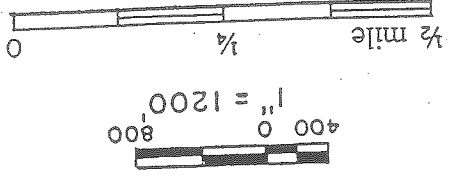
PROGRESS PRINT ONLY  
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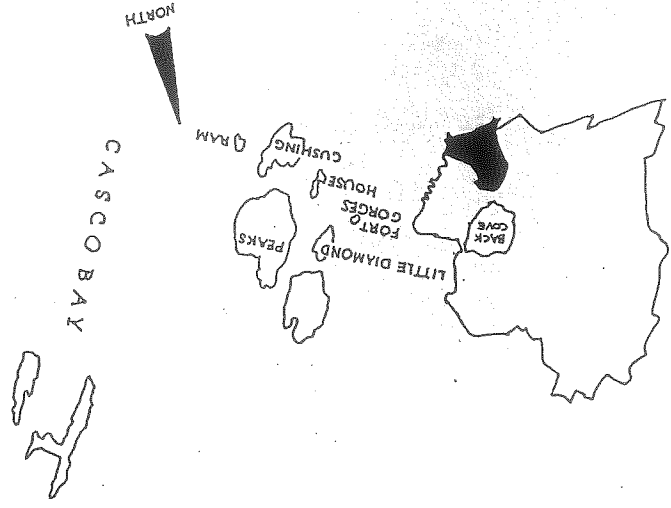
# WEST END NEIGHBORHOOD PROFILE

## LEGEND

- 1. Deering Oaks
- 2. Western Promenade
- 3. Western Cemetery
- 4. Fitzpatrick Stadium
- 5. King Middle School
- 6. Reiche School
- 7. Hadlock Field
- 8. Ice Arena
- 9. Harbor View Park
- 10. Tyng Tate Tot Lot
- 11. McIntyre/Taylor Street Park
- 12. Clark Street Park
- 13. Bramhall Square
- 14. Andrews Square
- 15. Expo
- 16. Valley Street Playground
- 17. Privately Owned Open Space
- 17. Waynette School
- B1. Marginal Way Parking Lot/Festival Site
- B5. Congress Square
- B17. Longfellow Square
- B23. YMCA
- B24. YWCA
- D1. Nathan Clifford School
- D2. Bedford Park
- D3. Fessenden Park
- D9. Preble Street Field
- D10. USM Campus

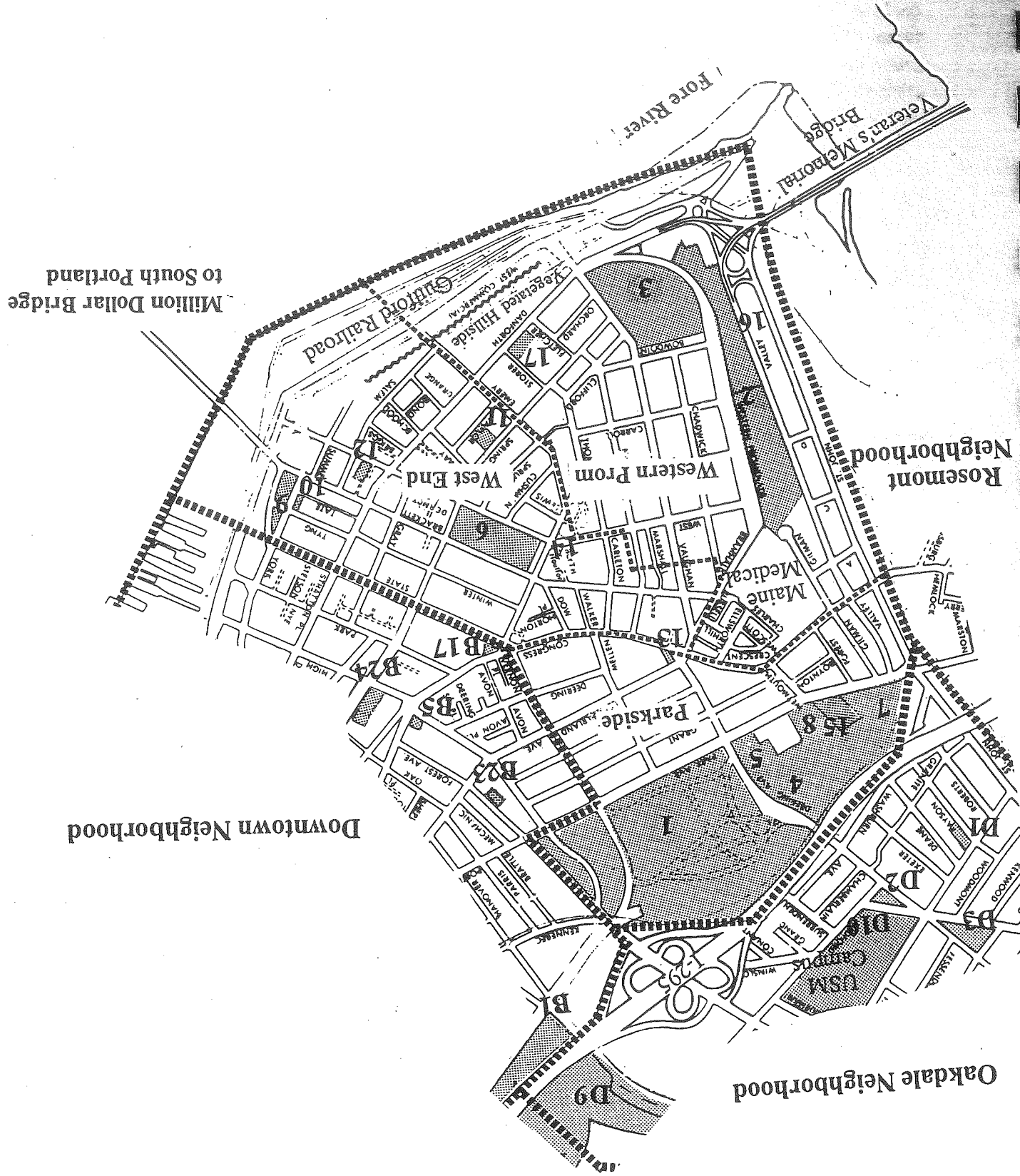
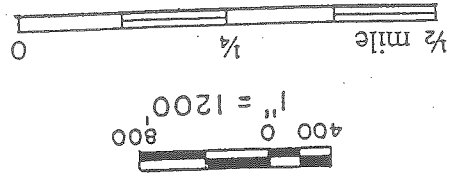


Vicinity Map

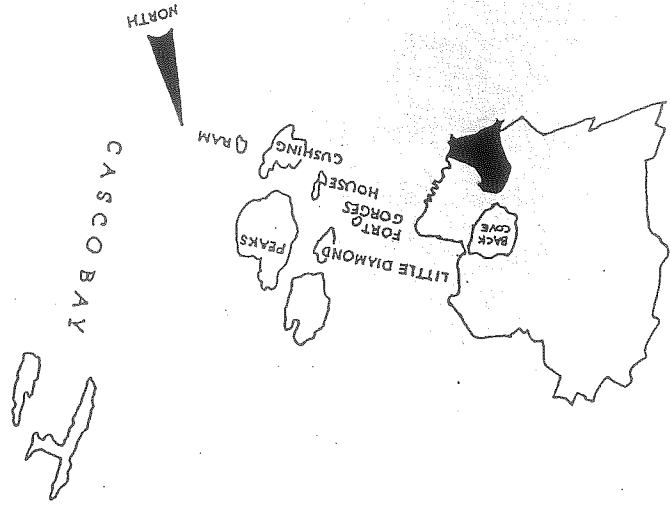


# WEST END NEIGHBORHOOD PROFILE

- LEGEND**
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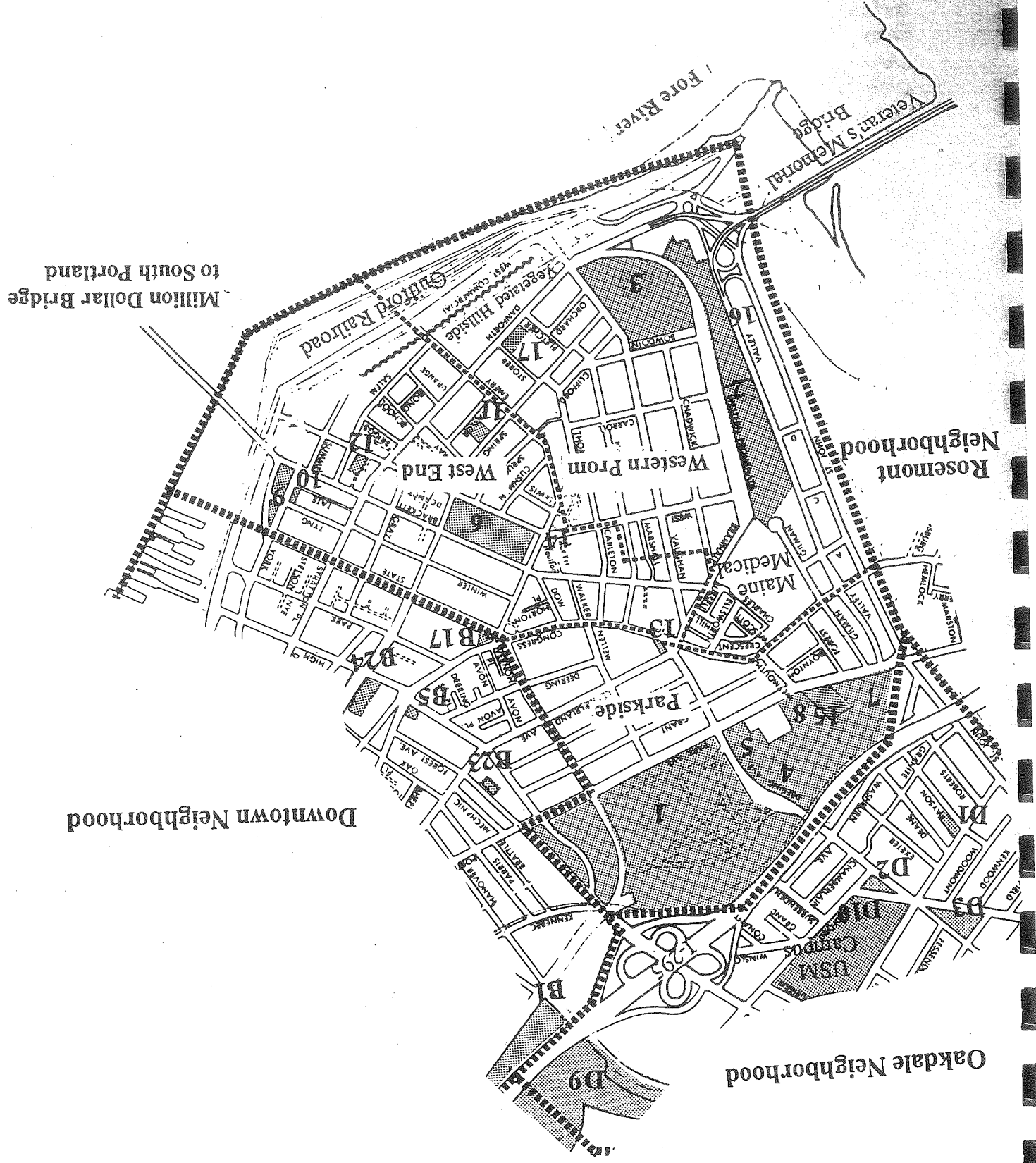
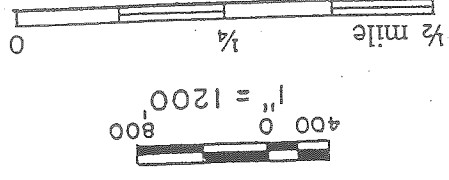
Vicinity Map



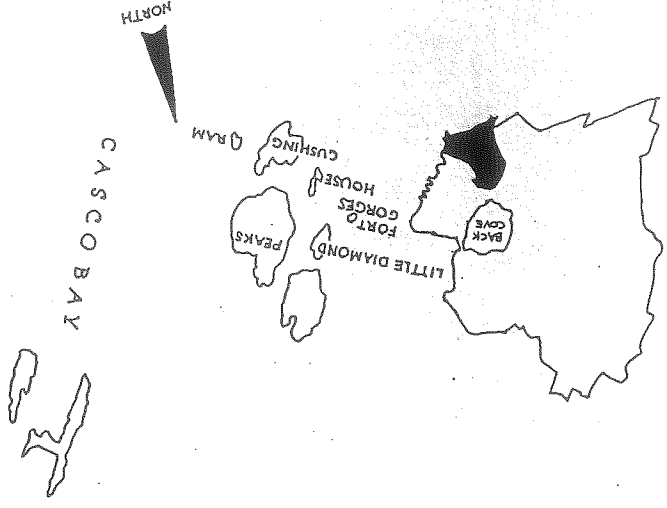
# WEST END NEIGHBORHOOD PROFILE

## LEGEND

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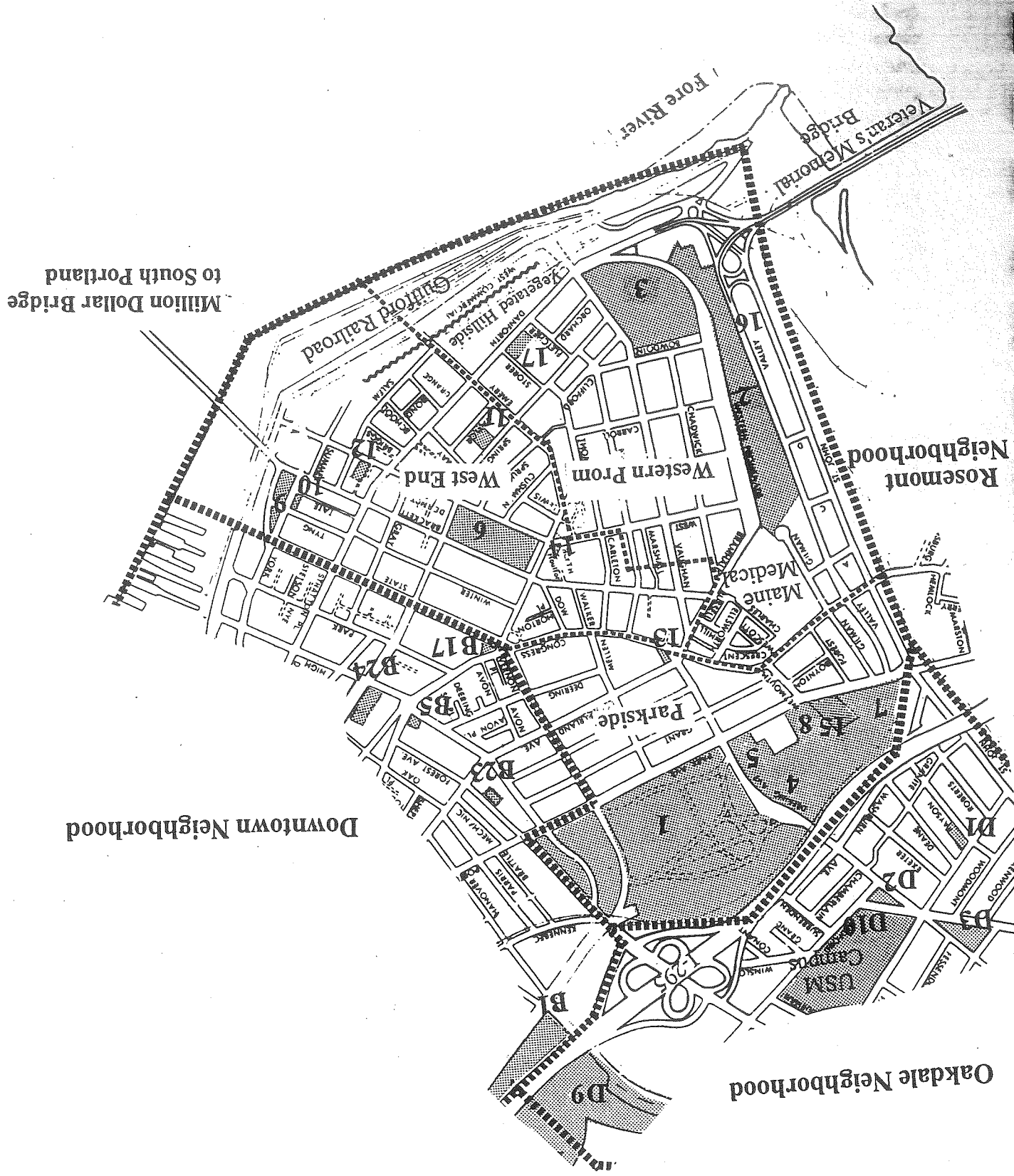
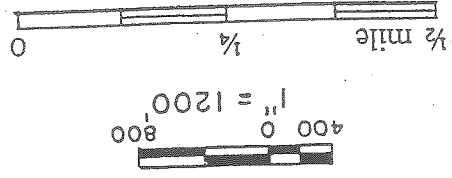


Vicinity Map

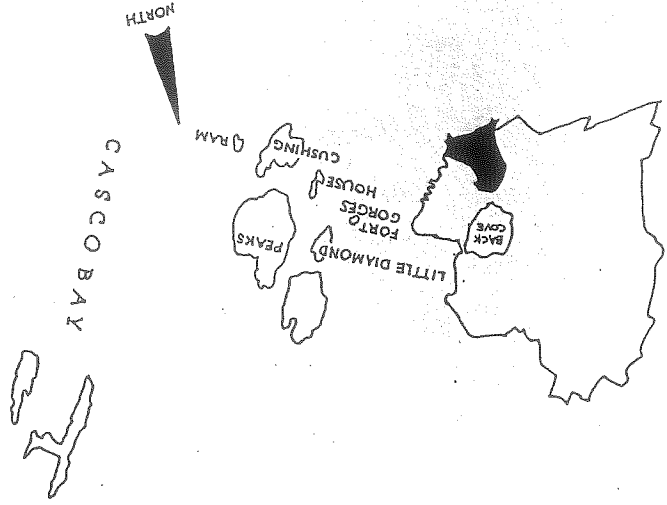


# WEST END NEIGHBORHOOD PROFILE

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  - 4. Fitzpatrick Stadium
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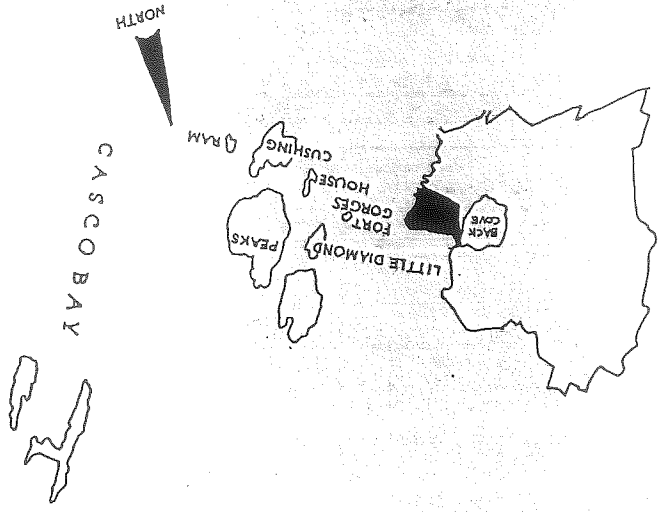


Vicinity Map



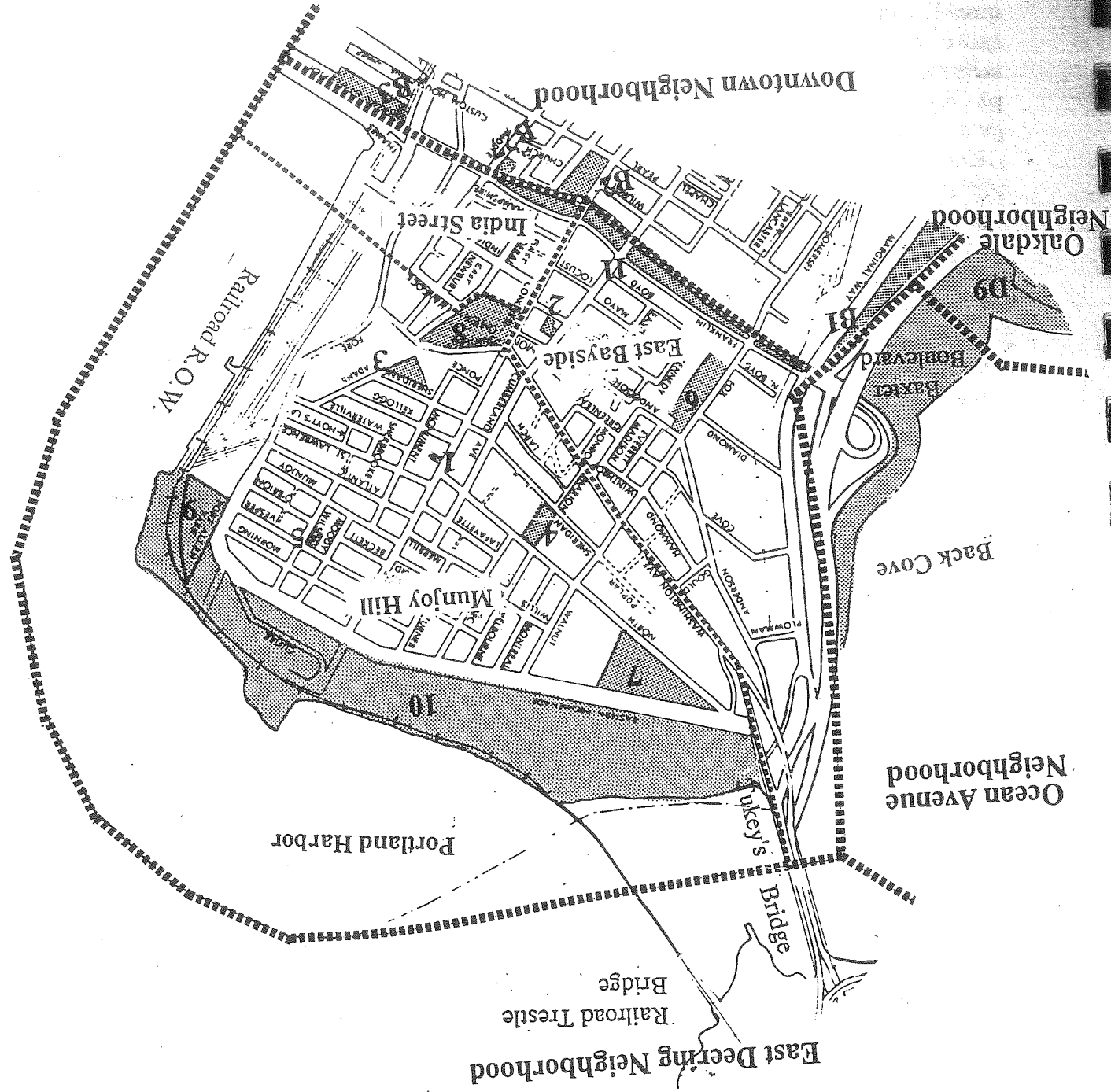
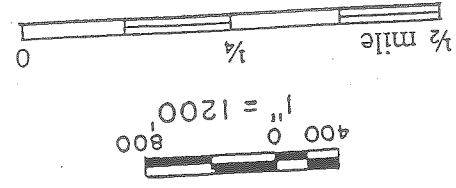
# EAST END NEIGHBORHOOD PROFILE

Vicinity Map



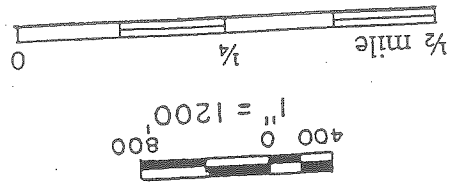
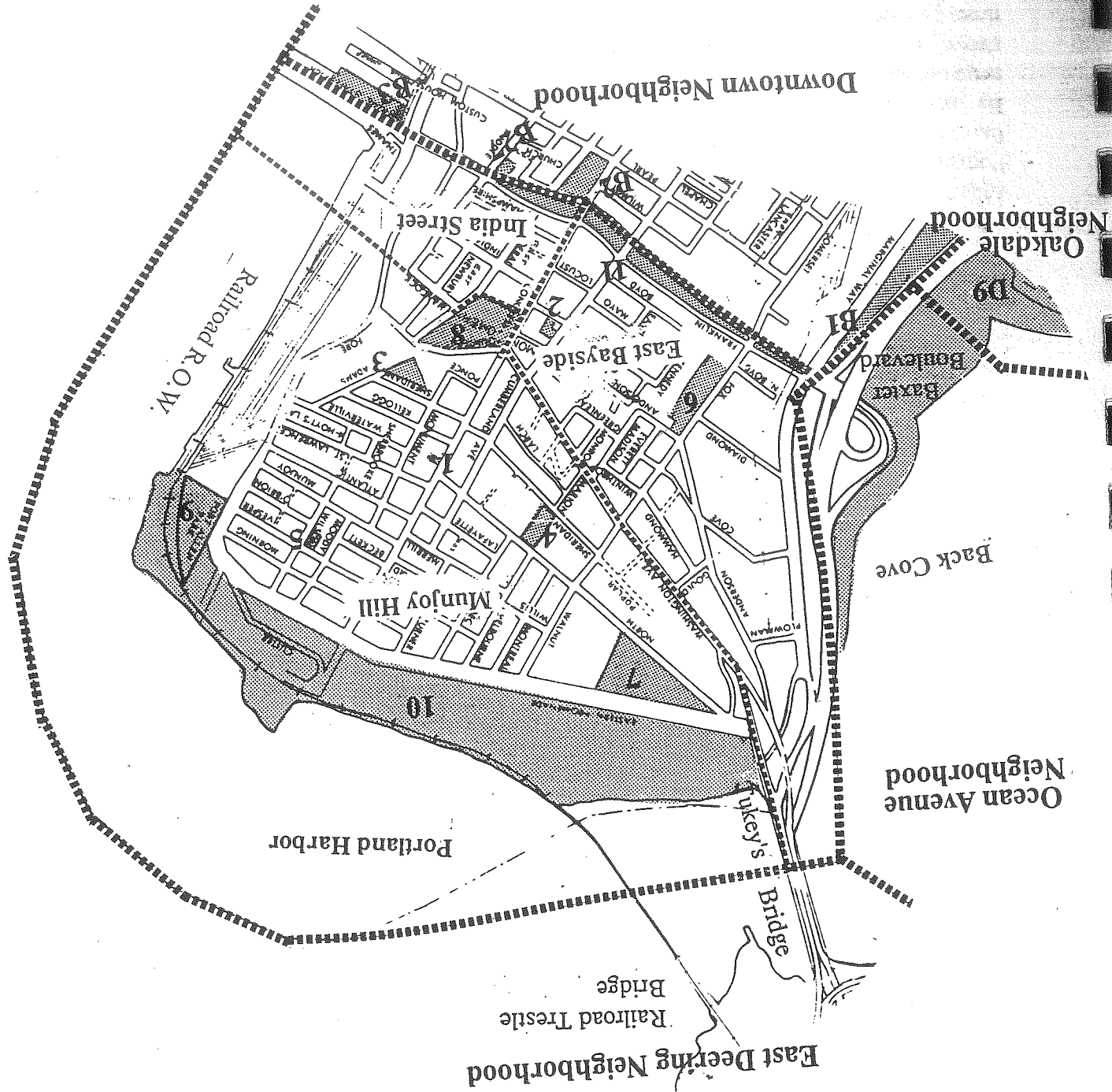
- |      |  |
|------|--|
| 1.   | Portland Observatory                   |
| 2.   | Peppermint Park                        |
| 3.   | Munjoy/South                           |
| 4.   | Ft. Sumner Park                        |
| 5.   | Adams School                           |
| 6.   | Bayside Playfield                      |
| 7.   | Jack School                            |
| 8.   | Eastern Cemetery                       |
| 9.   | Ft. Allen Park                         |
| 10.  | Eastern Promenade                      |
| 11.  | Franklin Street Arterial               |
| B1.  | Marginal Way Parking Lot/Festival Site |
| B2.  | Lincoln Park                           |
| B3.  | Maine State Pier                       |
| B27. | Public Safety Building                 |
| D9.  | Preble Street Field                    |

## LEGEND

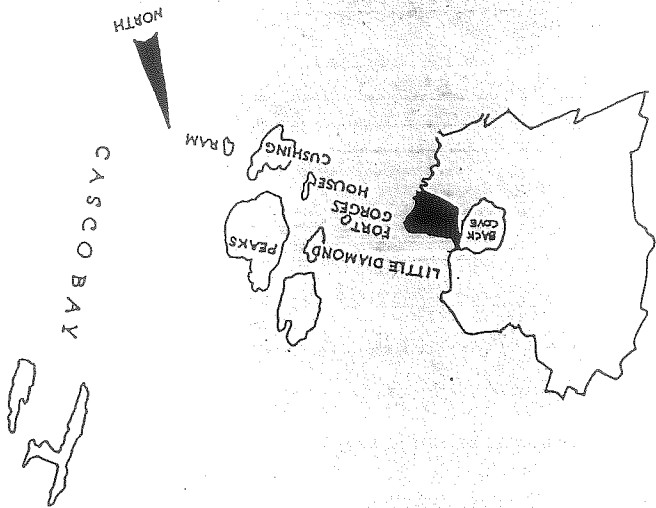


# EAST END NEIGHBORHOOD PROFILE

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  - 5. Adams School
  - 6. Bayside Playfield
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  - 8. Eastern Cemetery
  - 9. Ft. Allen Park
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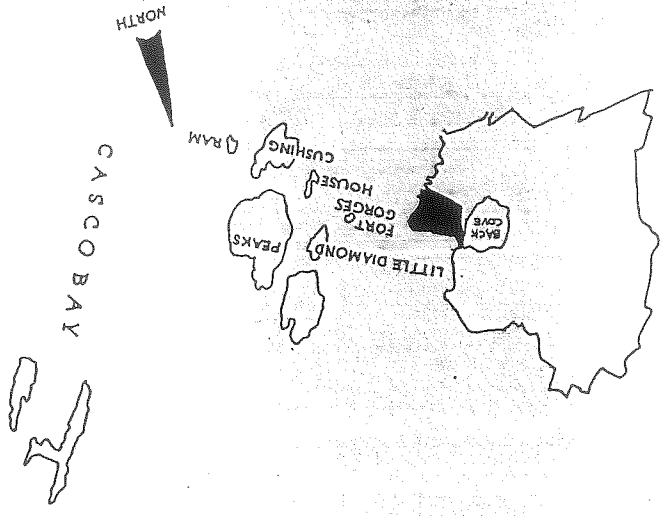


Vicinity Map



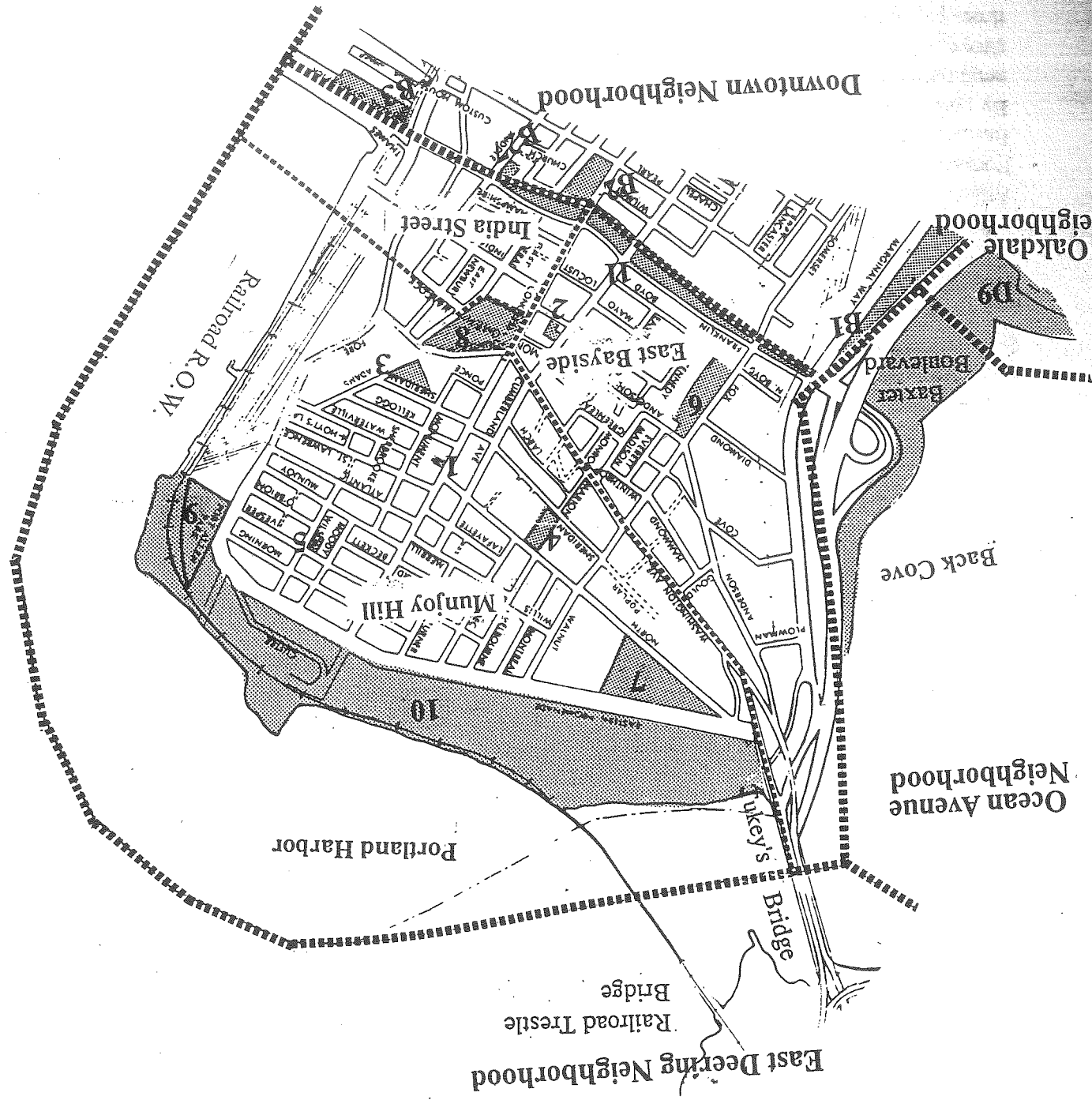
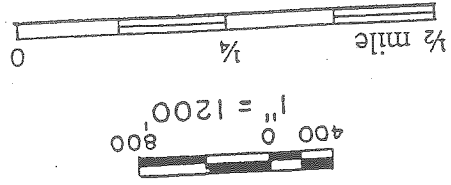
# EAST END NEIGHBORHOOD PROFILE

Vicinity Map



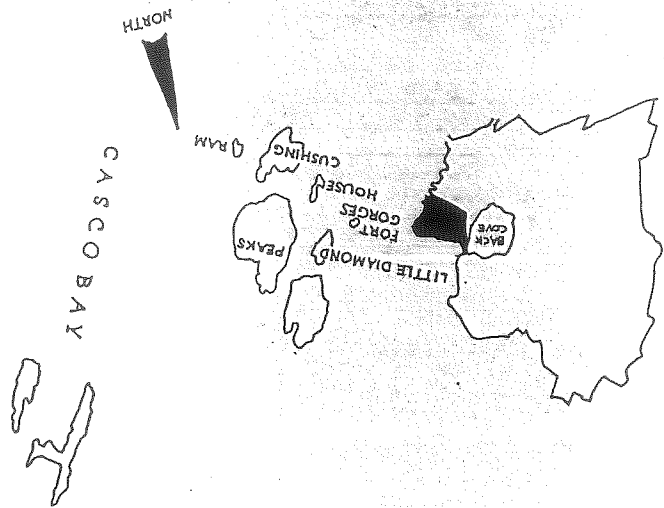
- 1. Portland Observatory
- 2. Peppermint Park
- 3. Munjoy/South
- 4. Ft. Summer Park
- 5. Adams School
- 6. Bayside Playfield
- 7. Jack School
- 8. Eastern Cemetery
- 9. Ft. Allen Park
- 10. Eastern Promenade
- 11. Franklin Street Arterial
- B1. Marginal Way Parking Lot/Festival Site
- B2. Lincoln Park
- B3. Maine State Pier
- B27. Public Safety Building
- D9. Preble Street Field

## LEGEND



# EAST END NEIGHBORHOOD PROFILE

Vicinity Map



- 1. Portland Observatory
- 2. Peppermint Park
- 3. Munjoy/South
- 4. Ft. Sumner Park
- 5. Adams School
- 6. Bayside Playfield
- 7. Jack School
- 8. Eastern Cemetery
- 9. Ft. Allen Park
- 10. Eastern Promenade
- 11. Franklin Street Arterial
- B1. Marginal Way Parking Lot/Festival Site
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## LEGEND

