

# PROPOSED NEW RESTAURANT

PORTLAND, ME 04101  
 SUZIE ST. PIERRE  
 79 PORTLAND ST.  
 PORTLAND, ME 04101  
 207-590-9388

MARTIN B. DASSA, AIA  
 ARCHITECT - LICENSE #3365  
 5 COTTONWOOD LANE  
 FALMOUTH, ME 04105  
 207-899-0574

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 ASSOCIATE  
 59 STATE STREET APT 52  
 PORTLAND, ME 04101  
 617-942-0884

| Room             | Level    | Floor                 | Walls   | Ceiling                 |
|------------------|----------|-----------------------|---|-------------------------|
| 100 - Dining     | Main     | Ceramic Tile          | GWB - Paint, Exist Brick, Wood, & Plaster - Paint | Reused Tin; GWB - Paint |
| 101 - Bar        | Main     | Ceramic Tile          | Exist Brick & Plaster - Paint                     | Reused Tin              |
| 102 - Kitchen    | Main     | VCT                   | GWB - Paint, Exist Plaster - Paint                | Reused Tin              |
| 103 - Hall       | Main     | Ceramic Tile          | Wood & GWB - Paint                                | Reused Tin              |
| 104 - ADA Bath   | Main     | Ceramic Tile          | GWB - Paint                                       | GWB - Paint             |
| 105 - Bathroom   | Main     | Ceramic Tile          | GWB - Paint                                       | GWB - Paint             |
| 106 - Apt. Entry | Main     | VCT                   | Exist Plaster - Paint                             | GWB - Paint             |
| 107 - Hall       | Main     | VCT                   | GWB - Paint, Exist Plaster - Paint                | GWB - Paint             |
| 108 - Garage     | Main     | Concrete              | Brick   | Unfinished              |
| 001 - Basement   | Basement | VCT or Epoxy Coat TBD | Exist Concrete & Brick                            | Unfinished, GWB - Paint |
| 002 - Storage    | Basement | VCT or Epoxy Coat TBD | GWB - Paint                                       | GWB - Paint             |
| 003 - Bathroom   | Basement | VCT or Epoxy Coat TBD | GWB - Paint                                       | GWB - Paint             |

| Door  | Level    | Room       | Door Type              | Size                   | Manufacturer | Type | Material      | Finish | Hardware       |
|-------|----------|------------|------------------------|------------------------|--------------|------|---------------|--------|----------------|
| 100.1 | Main     | Dining     | Entry                  | 3'-0" x 7'-0" x 1 3/4" | TBD          | TBD  | Wood & Glass  | Paint  | Panic Hardware |
| 100.2 | Main     | Dining     | Entry                  | 3'-0" x 7'-0" x 1 3/4" | TBD          | TBD  | Wood & Glass  | Paint  | Panic Hardware |
| 103.1 | Main     | Hall       | 6 Panel                | 2'-6" x 6'-8" x 1 1/4" |              |      | Wood          | Paint  | Brass          |
| 103.2 | Main     | Hall       | 1.5 Hr. Rated          | 2'-6" x 6'-8" x 1 1/4" |              |      | Metal         | Paint  | Brass          |
| 104.1 | Main     | ADA Bath   | 5 Panel                | 2'-8" x 6'-8" x 1 1/4" | TBD          | TBD  | Wood          | Paint  | Brass          |
| 105.1 | Main     | Women Bath | 5 Panel - Reused       | 2'-8" x 6'-8" x 1 1/4" |              |      | Wood          | Paint  | Brass          |
| 106.1 | Main     | Apt. Entry | Entry - Existing       | 2'-8" x 7'-0" x 1 3/4" |              |      | Wood          | Paint  | Brass          |
| 107.1 | Main     | Hall       | Entry - Existing       | 2'-8" x 6'-8" x 1 3/4" |              |      | Metal & Glass | Paint  | Brass          |
| 107.2 | Main     | Hall       | 5 Panel - Existing     | 2'-4" x 6'-8" x 1 1/4" |              |      | Wood          | Paint  | Brass          |
| 107.3 | Main     | Hall       | 6 Panel - 1.5 Hr Rated | 3'-0" x 6'-8" x 1 1/4" |              |      | Wood          | Paint  | Brass          |
| 002.1 | Basement | Storage    | 6 Panel                | 2'-4" x 6'-8" x 1 1/4" | TBD          | TBD  | HC            | Paint  | Brass          |
| 003.1 | Basement | Bathroom   | 6 Panel                | 2'-4" x 6'-8" x 1 1/4" | TBD          | TBD  | HC            | Paint  | Brass          |

## NARRATIVE

The existing building is two stories with a full basement and attached one car garage. The Ground Level is 1,610 SF gross and the Basement Level 1347 SF gross making the scope of work 2,957 SF gross.

The proposed restaurant shall occupy the first floor with storage and some equipment in the basement. The alteration will include installation of a dining room, bar, kitchen, and a new grade level door to future outdoor dining. There will be no additions to the existing building footprint.

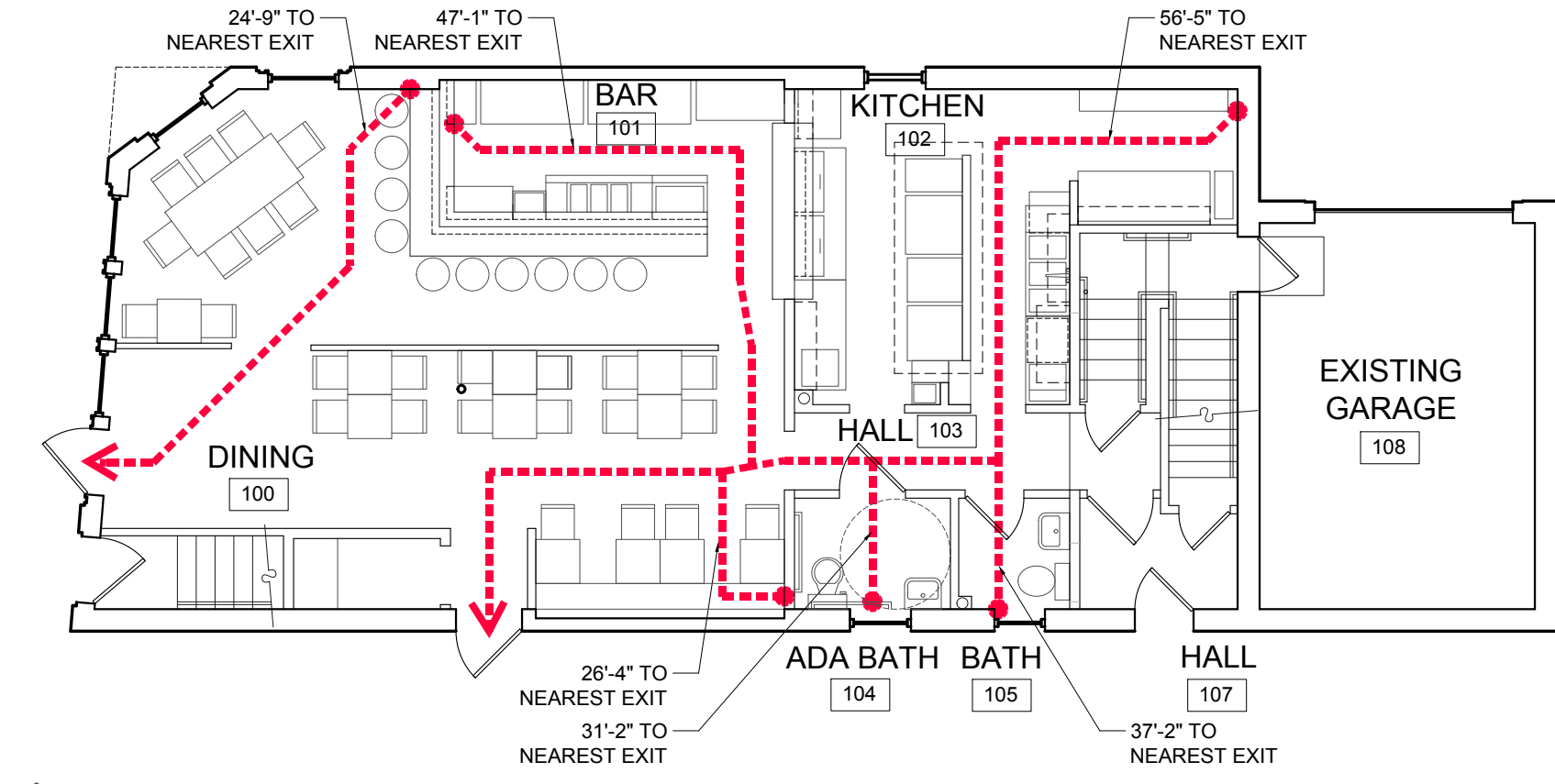
The alteration will include moving the front entrance to conform to the standards of ADA accessibility guidelines and by adding a unisex and regular toilet.

The existing stair to the basement will be upgraded to a code compliant riser and tread relationship, with inside access to the existing Garage at landing level.

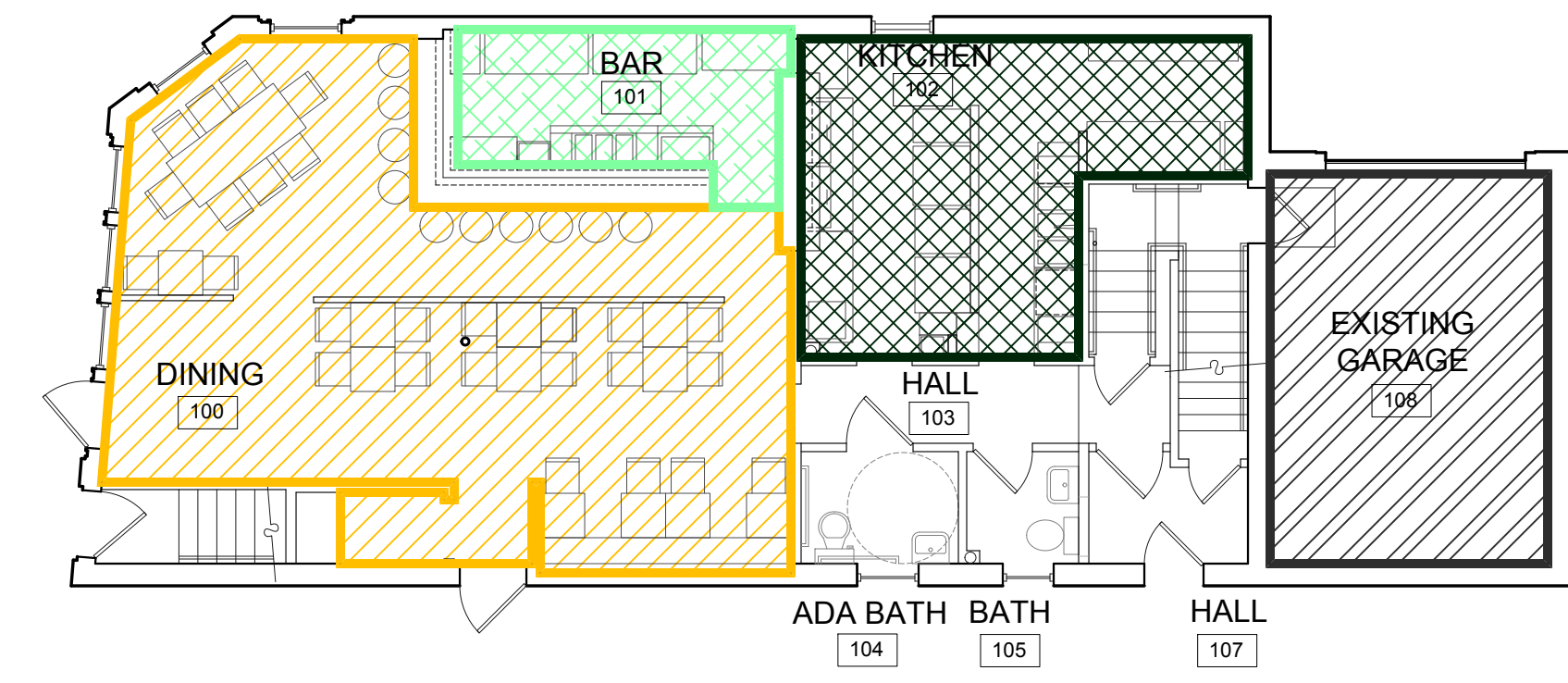
The site contains twelve parking spaces along Brattle Street.

## CODE SUMMARY - PROPOSED 1ST FLOOR RESTAURANT

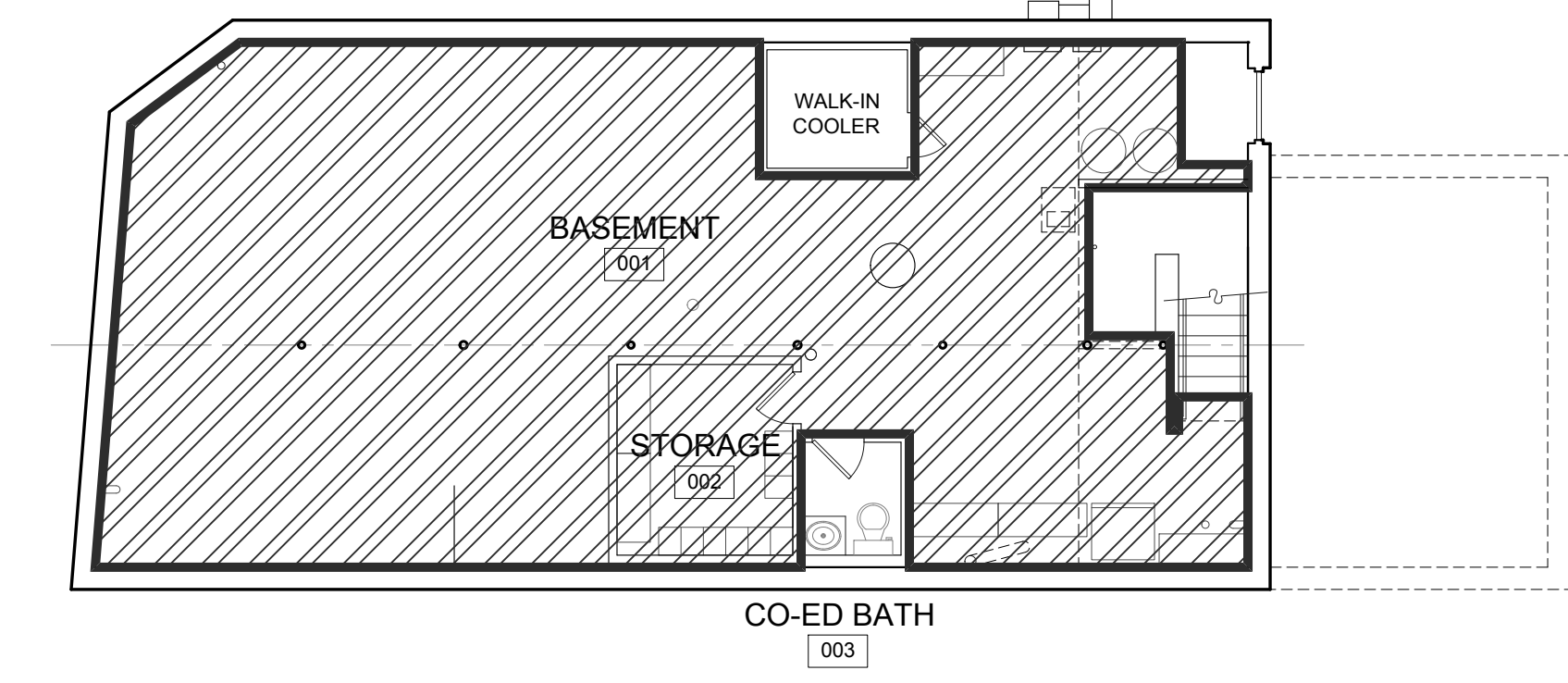
| Project Address                   | 79 Portland Street<br>Portland, ME 04101  |
|-----------------------------------|---|
| Project Type                      | New Restaurant on 1st floor of existing building. Keep existing 2nd floor Residence (R-3) and 1st floor Garage (S-2).   |
| First Floor Existing Area         | 1,610 SF  |
| Building Code                     | City of Portland, IBC 2009, NFPA 101-2009   |
| IBC 2009                          | CODE REF.   |
| Occupancy Type                    | B (Business), less than 50 occupants  |
| Occupant Load                     | 49, see occupant load table   |
| Egress Width                      | 36"   |
| Egress Door                       | Min. 32"  |
| Common Path of Egress Travel      | Per Section 1028.8 Exception 1  |
| Exit Passageway                   | 75' max. (occupant load less than 50)   |
| Exit Access Travel Distance       | 36" (occupant load less than 50)  |
| Minimum Number of Exits           | 1 (occupant load less than 50), providing 2   |
| Aisles / Aisles Accessways        | Aisles serving assembly areas as per Section 1028.36 min. where aisles serve <50 seats<br>30' min. where aisles serve 14 max. seats   |
| Portable Fire Extinguishers       | Within 30' of commercial cooking equipment  |
| Manual Alarm Actuation            | Required  |
| Exhaust Hood                      | Go above roof, have clean out, hinged fan   |
| Furnishing / Decorations          | Flame resistant   |
| NFPA 101 2009                     | CODE REF.   |
| Occupancy Type                    | Mercantile (low hazard). See chapter 36 & 37<br>Class C (occupies less than 3,000 SF)<br>Based on telephone conversation with State Fire Marshall Office - Both existing use and proposed use are the same (Mercantile). Therefore there is no change of use with respect to this alteration. |
| Occupant Load                     | 49, see occupant load table   |
| Req. separation btwn. occupancies | Min. 2 hour typical   |
| Min. Door Leaf Width              | 32" min. clear opening  |
| Min. Corridor Width               | 36" min. clear opening  |
| Aisle Width                       | 36" min.  |
| Number of Exits                   | Single exit OK (Class C Mercantile)   |
| Common Path                       | 75' max. (unsprinklered)  |
| Dead-end Corridor                 | 20' max. (unsprinklered)  |
| Travel Distance                   | 150' max. (unsprinklered)   |
| Illumination of Egress            | Per 7.8   |
| Emergency Lighting                | Required for Mercantile Class A & B only (not Class C)  |
| Egress Signage                    | Per 7.10  |
| Kitchen Equipment Protection      | Per 9.2.3   |
| Interior Finishes                 | All interior wall & ceiling finishes to be Class A & B  |
| Fire Alarm Initiation             | Auto Fire detection system, + min.<br>1 manual fire alarm box   |
| Fire Extinguishers                | Per 9.7.4.1   |
| Corridor / Use Area Separation    | 2 hr. - Protect all shafts btwn. floors with 2 hr. rating   |
| Hood Vents                        | Comply with NFPA 96   |



9 EGRESS DIAGRAM - GROUND LEVEL  
 SCALE: 1/8" = 1'-0"



8 OCCUPANCY LOAD DIAGRAM - GROUND LEVEL  
 SCALE: 1/8" = 1'-0"



7 OCCUPANCY LOAD DIAGRAM - BASEMET LEVEL  
 SCALE: 1/8" = 1'-0"

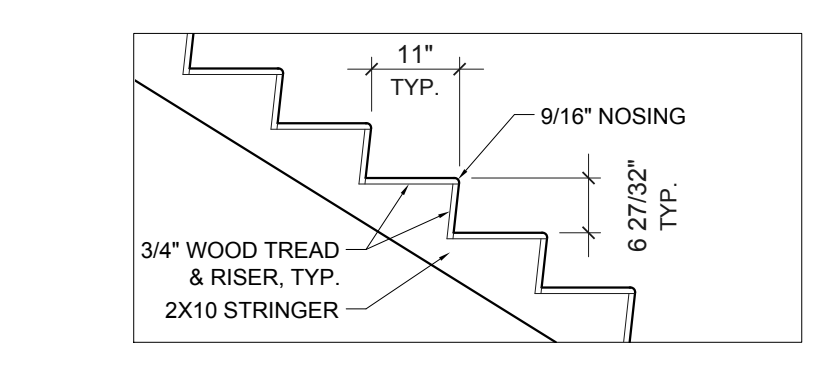
| Space                      | Sq. Ft. | Sq. Ft. Per Occ. | Stricter Code | Occupants | Requesting |
|----------------------------|---------|------------------|---------------|-----------|------------|
| Dining                     | 540     | 15               | Same          | 36        | 40         |
| Bar                        | 95      | 100              | NFPA          | 1         | 1          |
| Kitchen                    | 228     | 100              | NFPA          | 3         | 3          |
| Garage (S-2)               | 219     | 200              | IBC           | 1         | 1          |
| Storage (Bemt.)            | 1050    | 300              | SAME          | 4         | 4          |
| Excluded*                  | 511     |                  |               |           |            |
| <b>Total Occupant Load</b> |         |                  |               | <b>45</b> | <b>49</b>  |

\*Halls, Bathrooms, Stairs, & Unoccupiable Storage

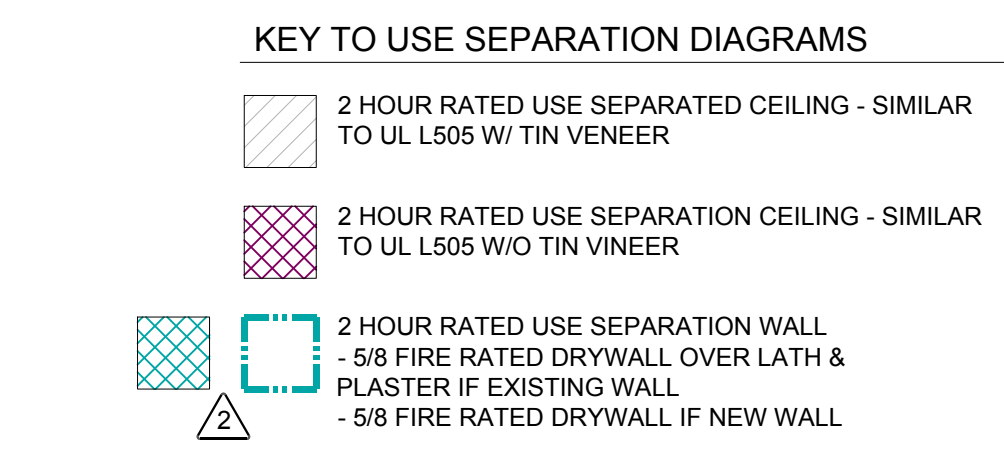
|       | Main Level | Basement | Total |
|-------|------------|----------|-------|
| Net   | 1445       | 1196     | 2641  |
| Gross | 1610       | 1347     | 2957  |



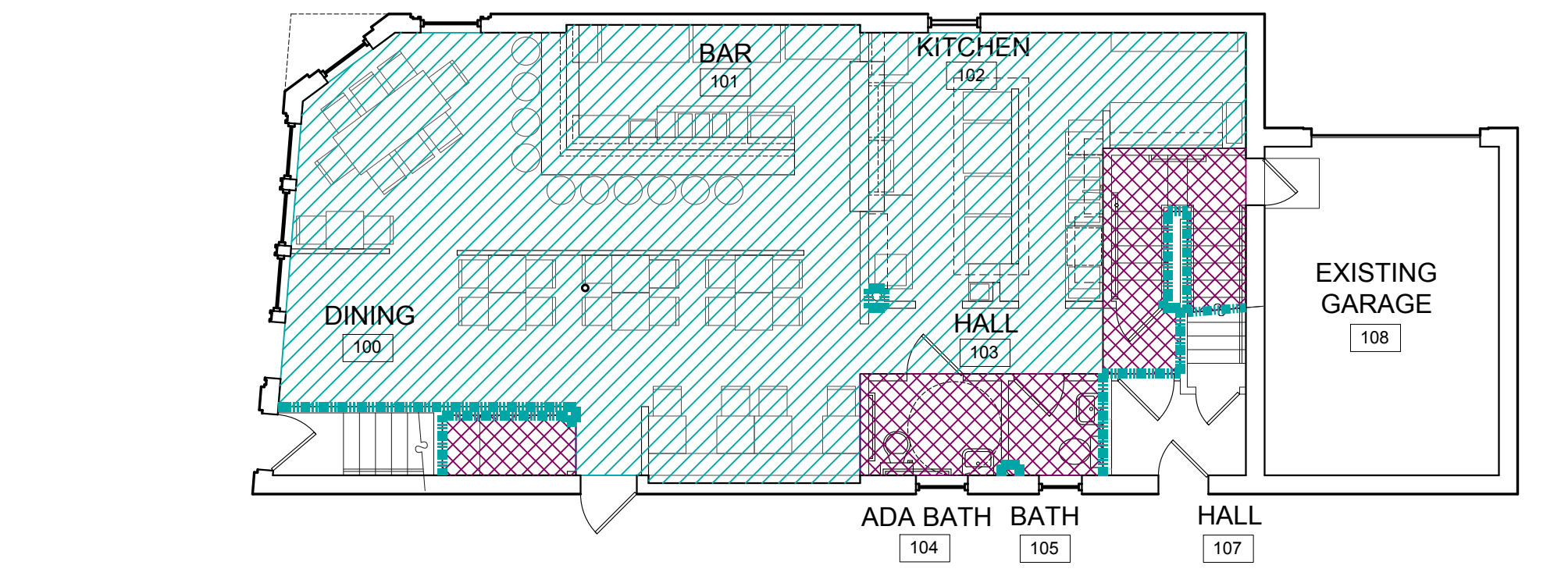
5 CEILING SECTION - 2 HR USE SEPARATION  
 SCALE: 1" = 1'-0"



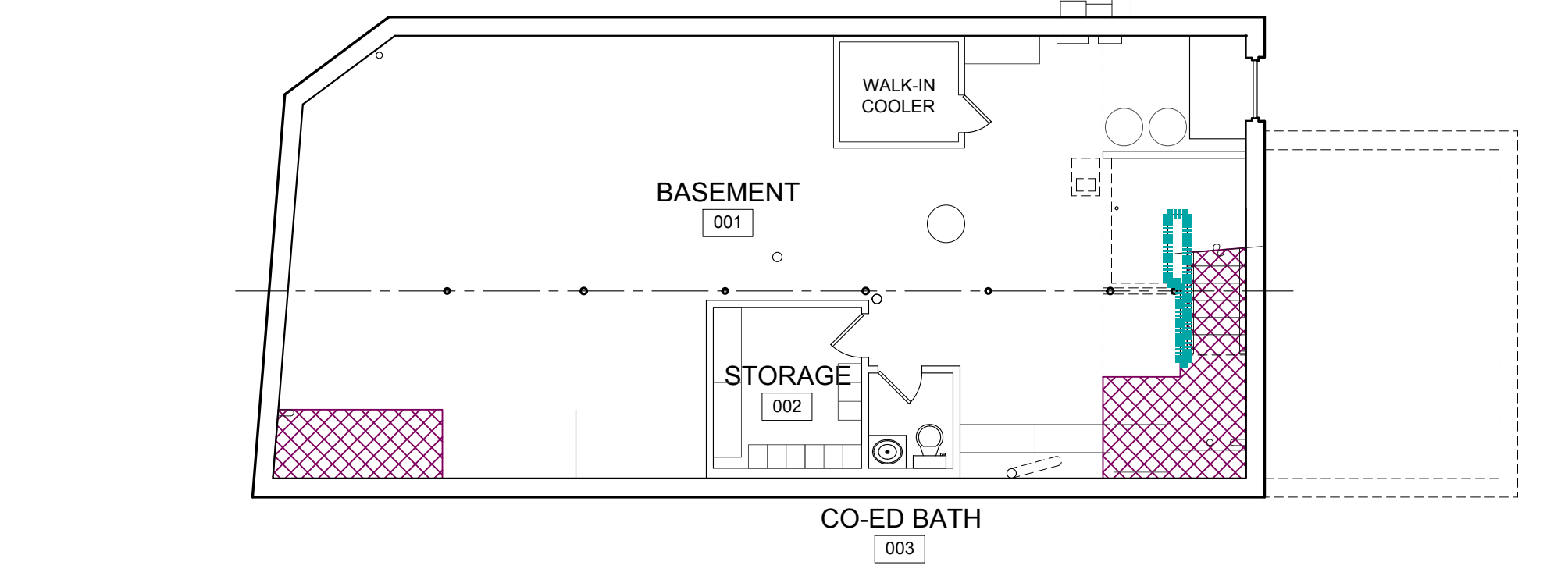
6 STAIR SECTION DETAIL  
 SCALE: 1/2" = 1'-0"



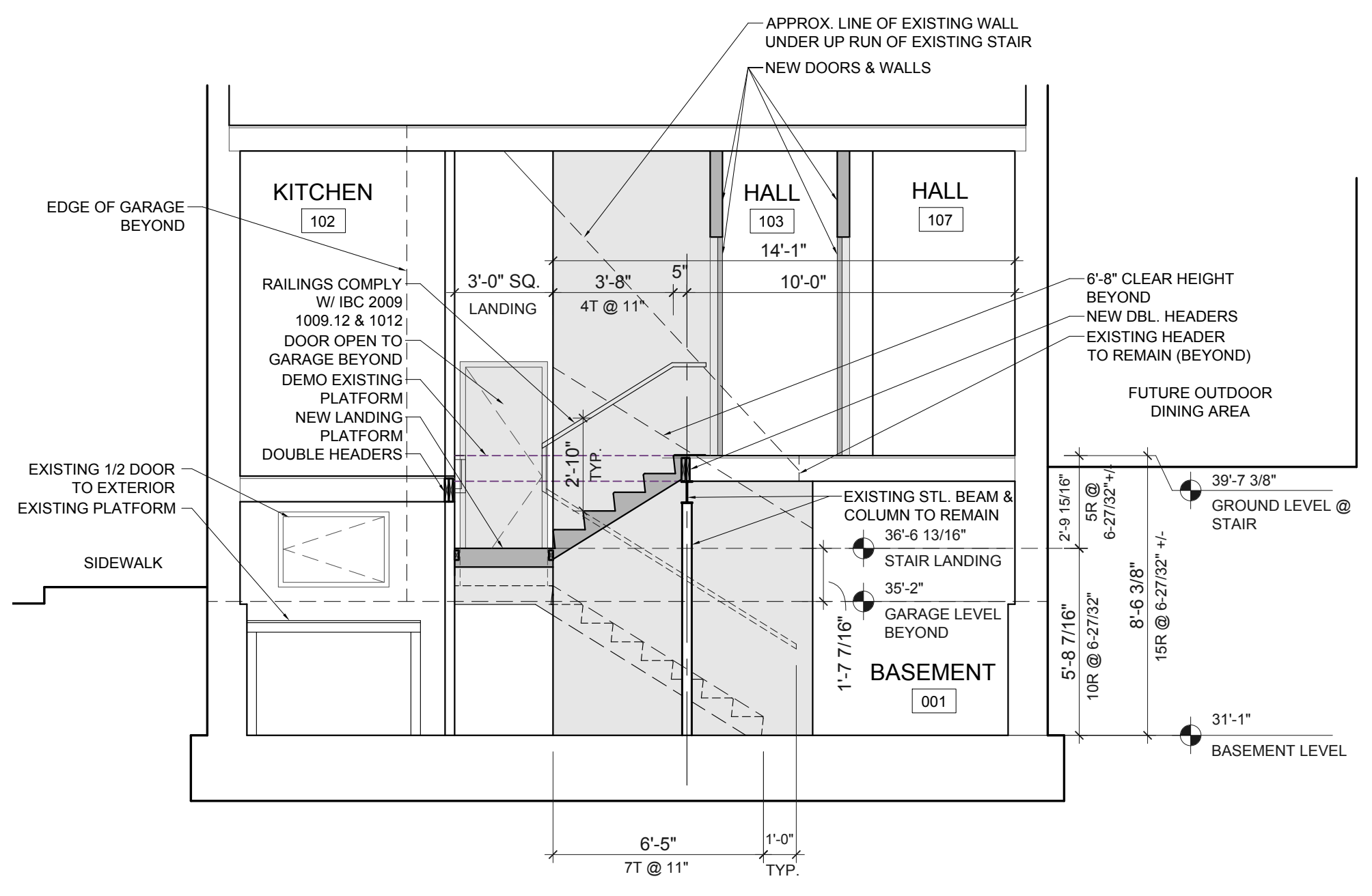
NOTE: ADJUST IN FIELD FOR 2 HOUR RATED USE SEPARATION WHERE REQUIRED.



3 USE SEPARATION DIAGRAM - GROUND LEVEL  
 SCALE: 1/8" = 1'-0"



2 USE SEPARATION DIAGRAM - BASEMENT LEVEL  
 SCALE: 1/8" = 1'-0"



1 STAIR SECTION - SEE A101-4 FOR 2 HR. USE SEPARATION  
 SCALE: 1/4" = 1'-0"

4 USE SEPARATION DIAGRAM - STAIR SECTION  
 SCALE: 1/8" = 1'-0"

CBL: 033 A005, A006, & A007

PROJECT NUMBER:

DATE: 08/11/2014

REVISIONS:

- 1 BUILDING PER. 07/29/14
- 2 BUILDING PER. 08/11/14

SCALE: 1/4" = 1'-0" OR AS NOTED

## SECTIONS & SUPPLEMENT DOCUMENTS

DRAWING NUMBER:

# A101