

# PROPOSED NEW RESTAURANT

PORTLAND, ME 04101  
 SUZIE ST. PIERRE  
 79 PORTLAND ST.  
 PORTLAND, ME 04101  
 207-590-9388

MARTIN B. DASSA, AIA  
 ARCHITECT - LICENSE #3365  
 5 COTTONWOOD LANE  
 FALMOUTH, ME 04105  
 207-899-0574

CLIFFORD TREMBLAY, LEED AP  
 ASSOCIATE  
 59 STATE STREET APT 52  
 PORTLAND, ME 04101  
 617-942-0884

CBL: 033 A005, A006, & A007  
 PROJECT NUMBER:

DATE: 08/11/2014

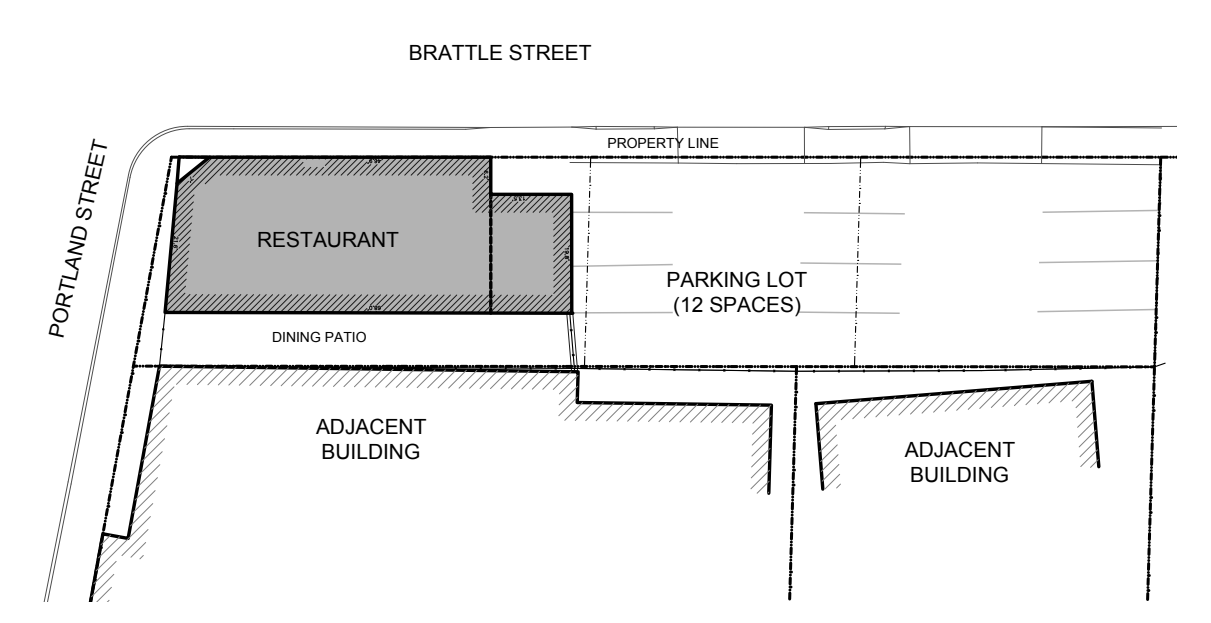
- REVISIONS:
- 1 BUILDING PER. 07/29/14
  - 2 BUILDING PER. 08/11/14

SCALE: 1/4" = 1'-0" OR AS NOTED

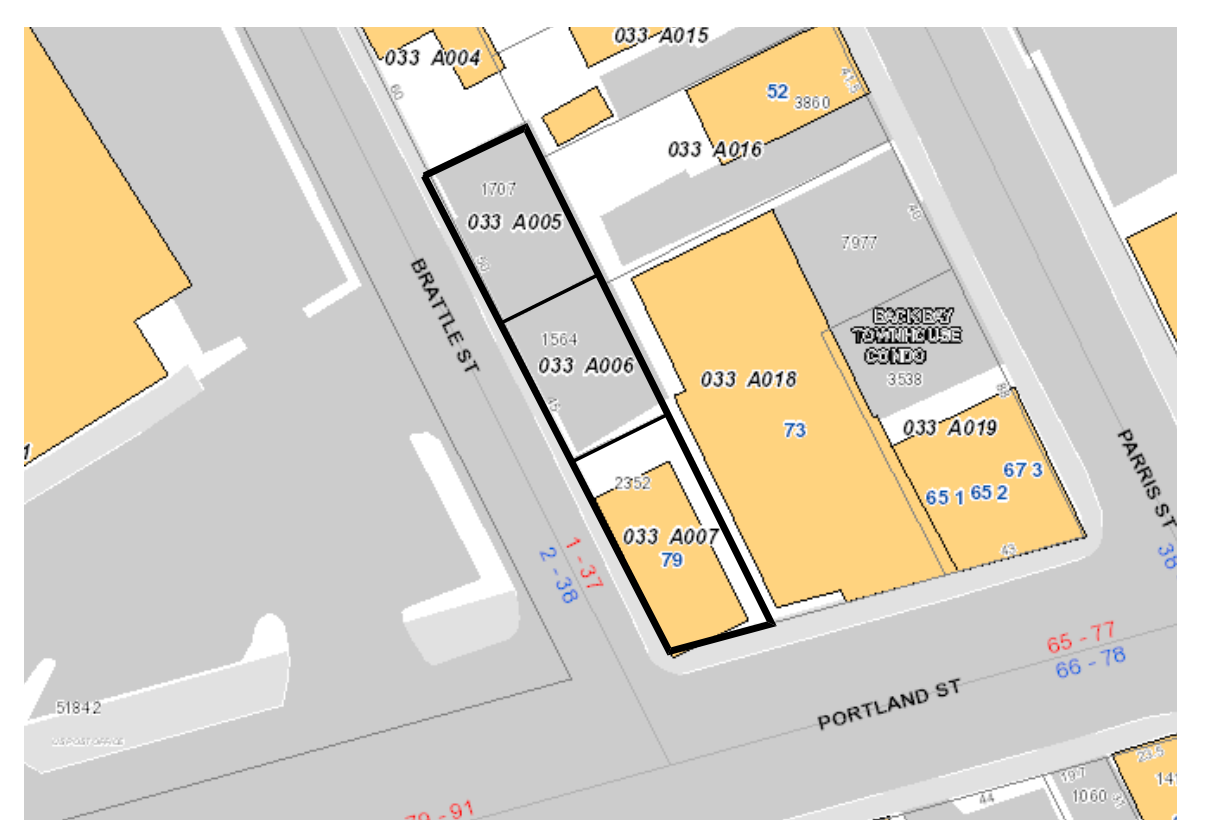
DRAWING NAME:  
**GROUND & BASEMENT LEVELS**

DRAWING NUMBER:

# A100



5 SITE PLAN  
 SCALE: 1/32" = 1'-0"



4 TAX MAP - PARCEL LOCATION - ZONE B2b  
 SCALE: 1/64" = 1'-0"



3 BUILDING IMAGE  
 SCALE: NTS

**LEGEND**

	REVISIONS		SECTION MARK
	DOOR TAGS		DRAWING NUMBER
	ROOM TAGS		WALL TYPE DETAIL
	NEW WALLS		

**DRAWING LIST**

Sheet	Description
A100	GROUND & BASEMENT LEVELS
A101	SECTIONS & SUPPLEMENT DOCUMENTS

**NOTES**

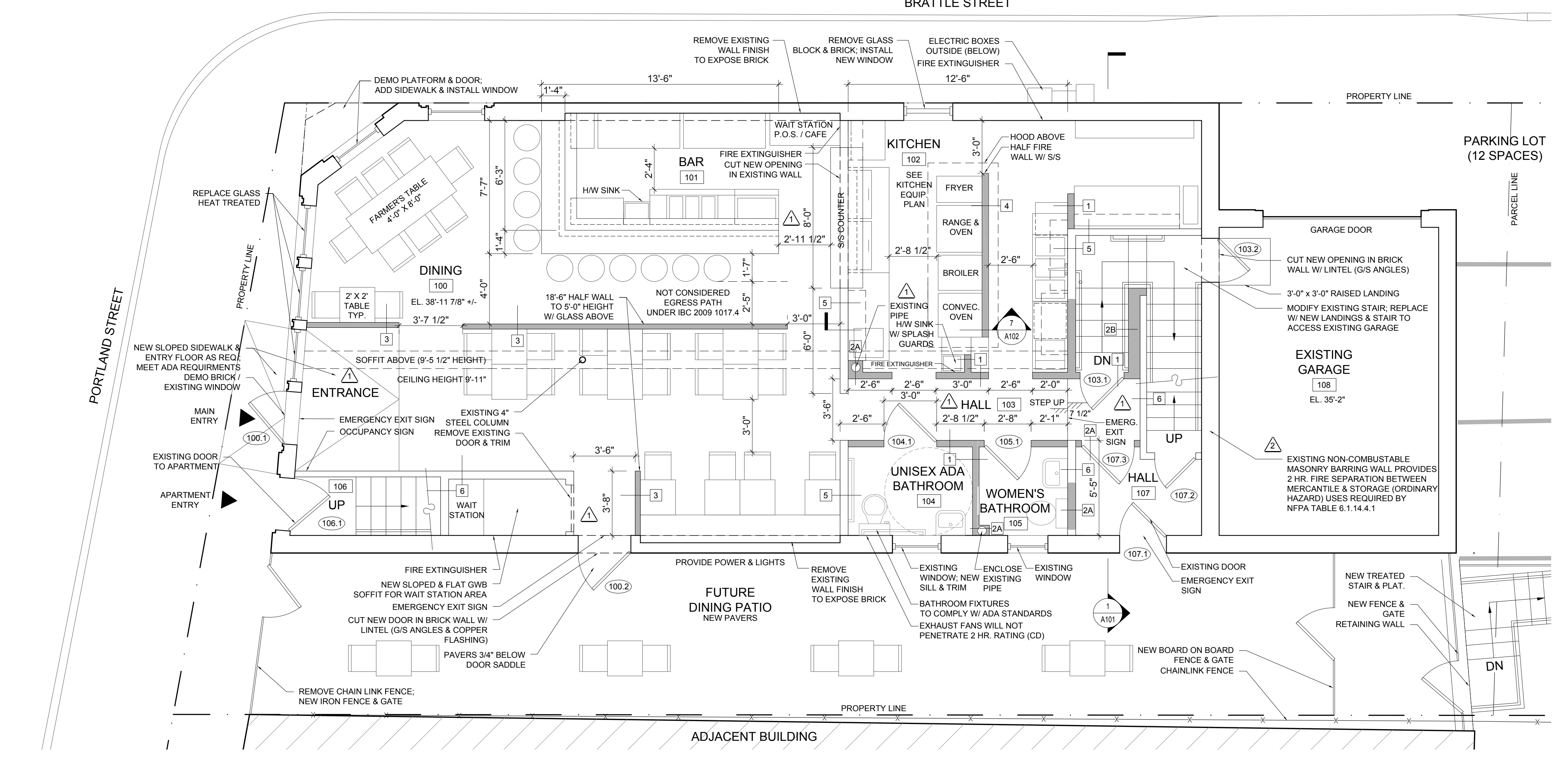
Electrical: To be revised as needed, all work to comply with code. Separate electrical permitting application to be submitted by contractor.

HVAC: To be revised as needed, all work to comply with code. Separate HVAC permitting application to be submitted by contractor, including Kitchen Hood.

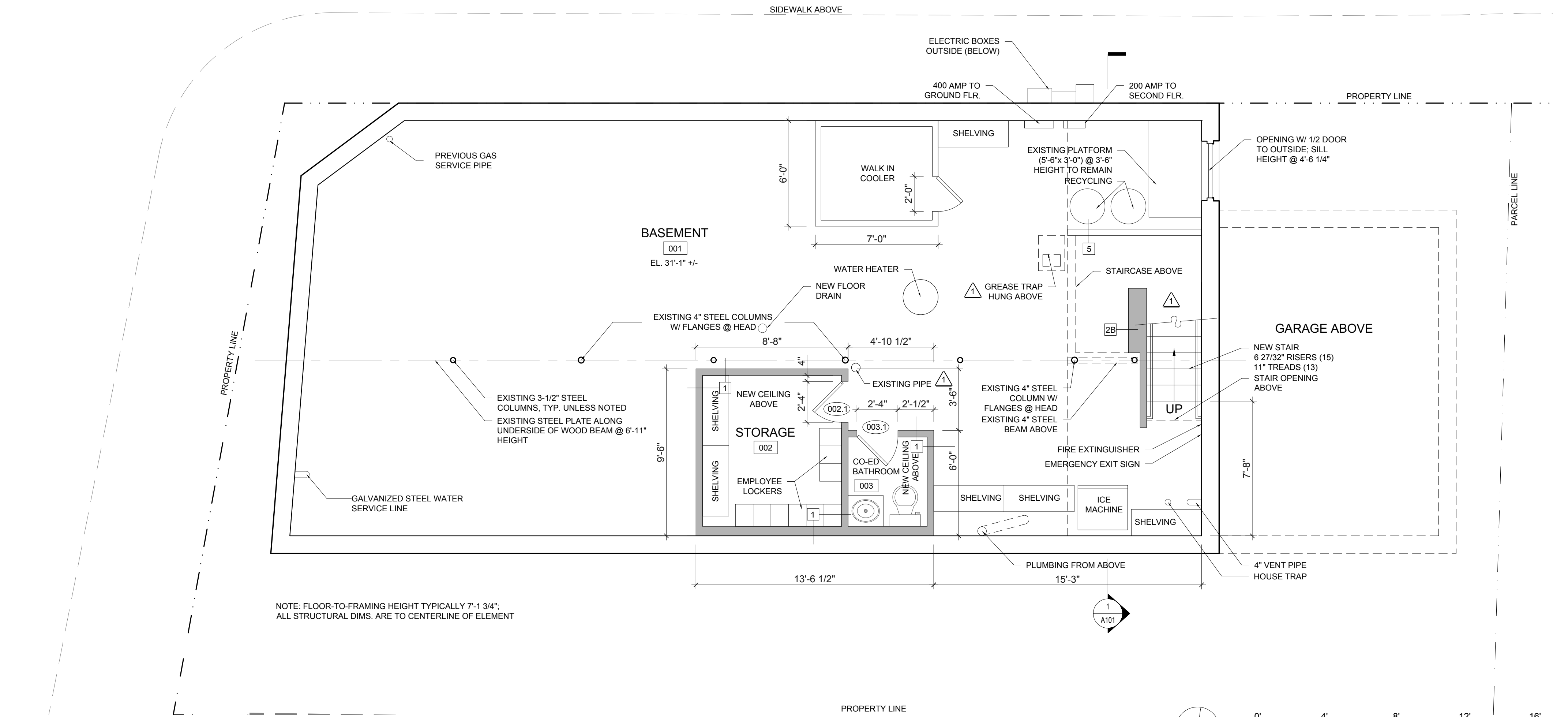
Plumbing: Existing piping and fixtures to be reused when possible, all work to comply with current codes. Separate permitting application to be submitted by contractor.

Signage: To be revised as needed, all work to comply with code. Separate Signage permitting application to be submitted by contractor.

All hatched walls in plan are new construction.



2 GROUND LEVEL - SEE A101-4 FOR 2 HR. USE SEPARATION  
 SCALE: 1/4" = 1'-0"



1 BASEMENT LEVEL - SEE A101-2 FOR 2 HR. USE SEPARATION  
 SCALE: 1/4" = 1'-0"