

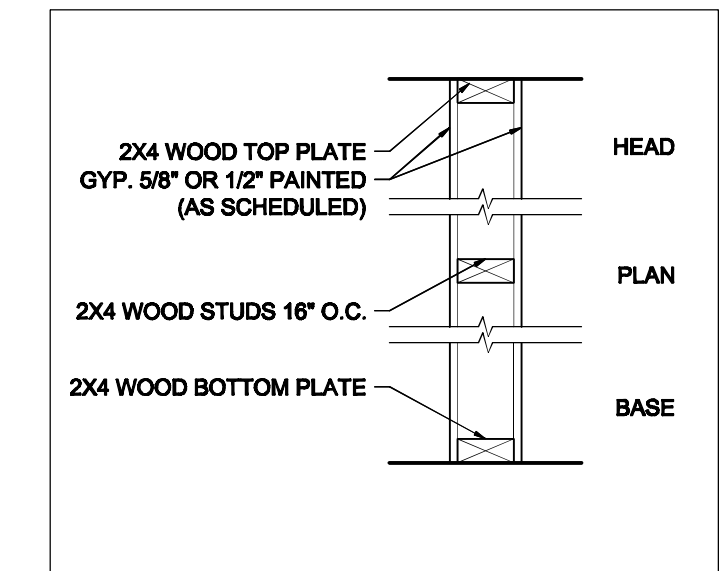
# PROPOSED NEW RESTAURANT

PORTLAND, ME 04101

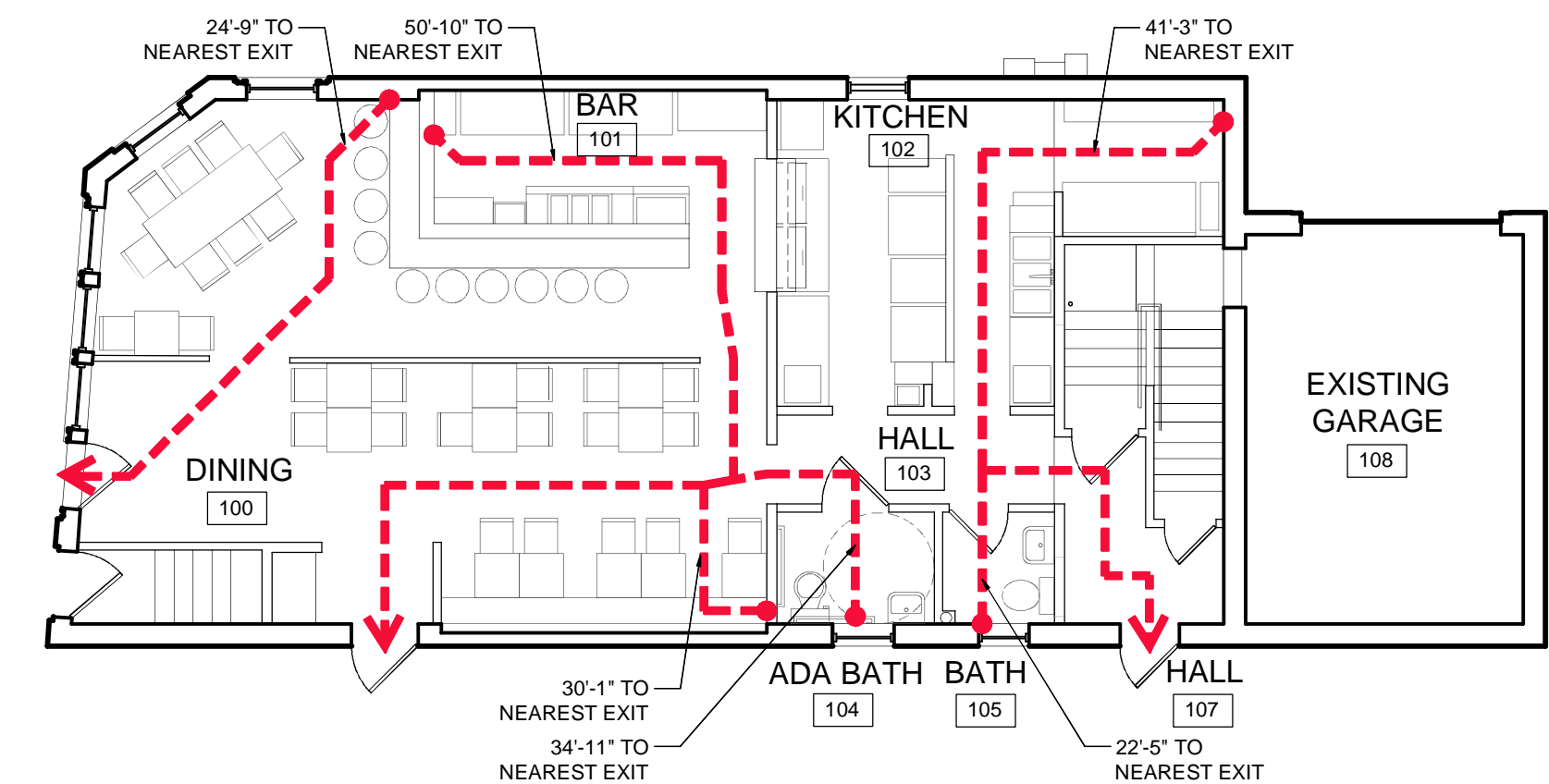
SUZIE ST. PIERRE  
79 PORTLAND ST.  
PORTLAND, ME 04101  
207-590-9388

MARTIN B. DASSA, AIA  
ARCHITECT - LICENSE #3365  
5 COTTONWOOD LANE  
FALMOUTH, ME 04105  
207-899-0574

CLIFFORD TREMBLAY, LEED AP  
ASSOCIATE  
59 STATE STREET APT 52  
PORTLAND, ME 04101  
617-942-0884



1 TYP. NEW WALL SECTION  
SCALE: 1" = 1'-0"



2 EGRESS DIAGRAM - GROUND LEVEL  
SCALE: 1/8" = 1'-0"

ALL EGRESS PATHS ARE LESS THAN 200'-0" MAX. FOR TYPE B OCCUPANCY W/O SPRINKLER SYSTEM

## NARRATIVE

The existing building is two stories with a full basement and attached one car garage. The ground level is 1,347 SF, the second level is 1,347 SF, the basement level is 1347 SF, and 264 SF garage. The total gross square footage for the building is 4,305 SF.

The proposed restaurant shall occupy the first floor with storage and some equipment in the basement. The alteration will include installation of a dining room, bar, kitchen, and a new grade level door to future outdoor dining. There will be no additions to the existing building footprint.

The alteration will include moving the front entrance to conform to the standards of ADA accessibility guidelines and by adding a unisex and regular toilet.

The existing stair to the basement will be upgraded to a code compliant riser and tread relationship, with inside access to the existing Garage at landing level.

The site contains twelve parking spaces along Brattle Street.

Code Information - City of Portland, Maine

All work shall be performed and all materials supplied must conform with all applicable codes, regulations, and requirements of the governing jurisdiction and utility companies.

These include the following:

- (1) City of Portland Code of Ordinances Part II Chapter 6 Buildings and Building Regulations Articles I through VI, Chapter 11 Food & Food Handling Article II Food Handling Establishments, Chapter 14 Land Use, and other chapters as applicable.
- Zone: B2b (Community Business Zone) in which restaurants are allowed. There will be no change to the existing parking.
- Site Planning: Interior change of use under 5,000 SF do not require Site Plan Review.
- (a) A new Certificate of Occupancy will be required.
- (b) Sign Permit will be filed separately.
- (2) International Building Code 2009 (IBC)
- (3) International Existing Building Code 2009 (IEBC)
- (4) International Energy Conservation Code 2009 (IECC)
- (5) Electrical Code
- (6) National Fire Protection Association 2009 (NFPA) (NFPA 101: Life Safety Code 2009)
- (7) Gas Code: NFPA 54 ANSI Z223.1
- (8) National Fuel Gas Code
- (9) Plumbing Code: State of Maine Plumbing Code
- (10) ADA 2010 Standards for Accessible Design, IEBC (comply with all applicable sections)

All with amendments if applicable.

IBC 2009 - International Building Code - Code Review

Section 303: Use and Occupancy Classification: Assembly Group A - Exception 1 - Occupant load of less than 50 shall be classified as Group B.

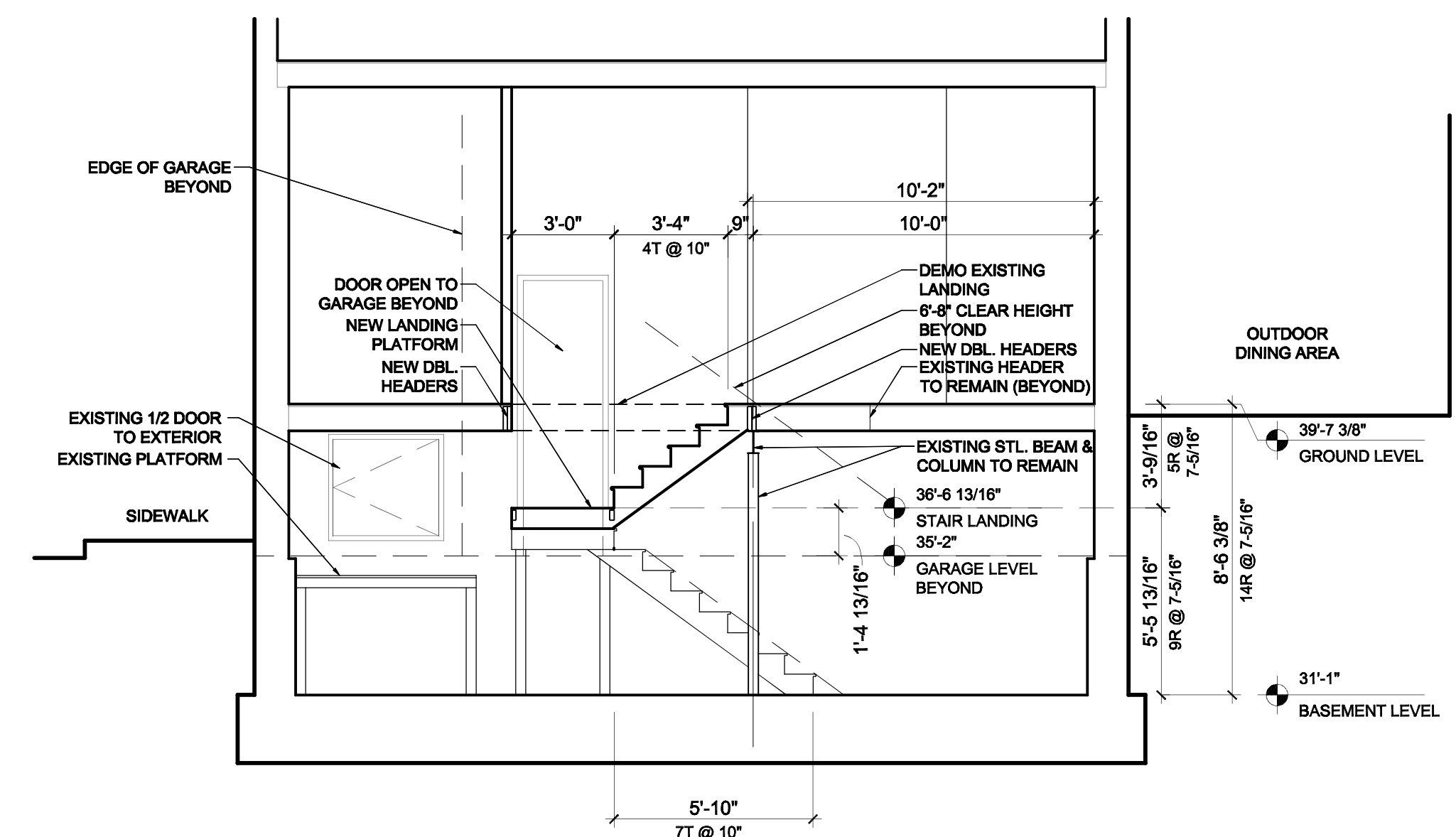
Section 601: Table 601 Fire-Resistance Rating Type III B - Requires zero hour fire rating except for exterior load bearing walls, which need to be two-hour rated. Existing exterior walls are 12" Brick. Building elements are non-combustible: floor construction includes steel columns, steel beam, and wood joists on first, second, and roof levels; first floor with wood joists and wood floor; and ceiling of wood and steel covered with tin non-combustible ceiling.

Section 906: Portable Fire Extinguishers - Provide portable fire extinguishers as required by code.

Section 907 Fire Alarm and Detection Systems - Provide exit lights and fire alarm detection systems as required by code.

Room	Level	Floor	Walls	Ceiling
100 - Dining	Main	Ceramic Tile	GWB - Paint, Exist Brick, Wood, & Plaster - Paint	Existing Tin; GWB - Paint
101 - Bar	Main	Ceramic Tile	Exist Brick & Plaster - Paint	Existing Tin
102 - Kitchen	Main	VCT	GWB - Paint; Exist Plaster - Paint	Existing Tin
103 - Hall	Main	Ceramic Tile	Wood & GWB - Paint	Existing Tin
104 - ADA Bath	Main	Ceramic Tile	GWB - Paint	GWB - Paint
105 - Bathroom	Main	Ceramic Tile	GWB - Paint	GWB - Paint
106 - Apt. Entry	Main	VCT	Exist Plaster - Paint	GWB - Paint
107 - Hall	Main	VCT	GWB - Paint; Exist Plaster - Paint	GWB - Paint
108 - Garage	Main	Concrete	Brick	Unfinished
001 - Basement	Basement	VCT or Epoxy Coat TBD	Exist Concrete & Brick	Unfinished
002 - Storage	Basement	VCT or Epoxy Coat TBD	GWB - Paint	GWB - Paint
003 - Bathroom	Basement	VCT or Epoxy Coat TBD	GWB - Paint	GWB - Paint

Door	Level	Room	Door Type	Size	Manufacturer	Type	Material	Finish	Hardware
100.1	Main	Dining	Entry	3'-0" x 7'-0" x 1 3/4"	TBD	TBD	Wood & Glass	Paint	Panic Hardware
100.2	Main	Dining	Entry	3'-0" x 7'-0" x 1 3/4"	TBD	TBD	Wood & Glass	Paint	Panic Hardware
104.1	Main	ADA Bath	5 Panel	2'-8" x 6'-8" x 1 1/4"	TBD	TBD	Wood	Paint	Brass
105.1	Main	Women Bath	5 Panel - Reused	2'-8" x 6'-8" x 1 1/4"	-----	-----	Wood	Paint	Brass
106.1	Main	Apt. Entry	5 Panel - Existing	2'-8" x 7'-0" x 1 3/4"	-----	-----	Wood	Paint	Brass
107.1	Main	Hall	Entry - Existing	2'-8" x 6'-8" x 1 3/4"	-----	-----	Metal & Glass	Paint	Brass
107.2	Main	Hall	5 Panel - Existing	2'-4" x 6'-8" x 1 1/4"	-----	-----	Wood	Paint	Brass
107.3	Main	Hall	5 Panel - Reused	3'-0" x 6'-8" x 1 1/4"	-----	-----	Wood	Paint	Brass
002.1	Basement	Storage	6 Panel	2'-4" x 6'-8" x 1 1/4"	TBD	TBD	HC	Paint	Brass
003.1	Basement	Bathroom	6 Panel	2'-4" x 6'-8" x 1 1/4"	TBD	TBD	HC	Paint	Brass



1 STAIR SECTION  
SCALE: 1/4" = 1'-0"



CBL: 033 A005, A006, & A007

PROJECT NUMBER:

DATE: 06/18/2014

REVISIONS:

SCALE: 1/4" = 1'-0" OR AS NOTED

DRAWING NAME:

## SECTIONS & SUPPLEMENT DOCUMENTS

DRAWING NUMBER:

# A101