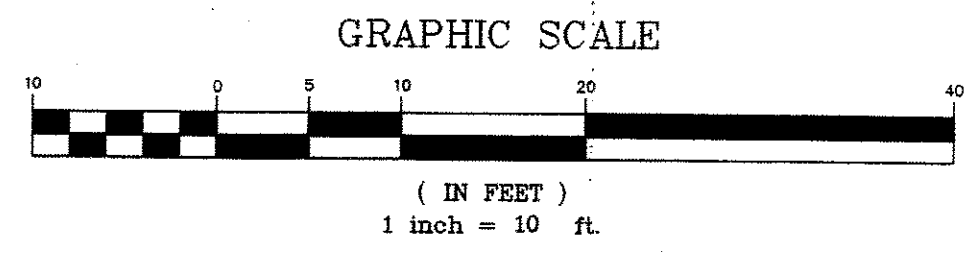


GENERAL NOTES

1. THE RECORD OWNER OF THE PROPERTY IS CHASE LEAVITT & COMPANY, INC, BY DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD), IN DEED BOOK 3112 PAGE 320.
2. THIS PROPERTY IS SHOWN AS LOT 1 IN BLOCK V ON THE CITY OF PORTLAND TAX ASSESSORS MAP 32.
3. PLAN REFERENCES:
 - A. PLAN OF LAND, STANDARD BOUNDARY SURVEY FOR ERIC CIANGETTE, BY OWEN HASKELL (JOB # 88145P), DATED JULY 26, 1988 AND LAST REVISED ON APRIL 12, 1989.
 - B. CITY OF PORTLAND PLAN OF DANA STREET, DATED FEB. 1926, ON FILE AT THE PORTLAND ENGINEERS OFFICE, DRAWING NUMBER 114.
 - C. PLAN OF PROPERTY IN PORTLAND MAINE, MADE FOR CITY OF PORTLAND, WHARF STREET, BY H. I. & E. C. JORDAN, DATED MAY 31, 1918 AND LAST REVISED SEPTEMBER 13, 1978.
 - D. COMMERCIAL STREET FROM MOULTON STREET TO CROSS STREET, BY THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT, DATED APRIL 27, 1943, FILE NUMBER 624/2.
4. REGARDING THE PORTION OF THE PREMISES SOUTHERLY OF THE BUILDINGS IN A PAVED PASSAGEWAY RUNNING BETWEEN DANA STREET AND PLUM STREET. THE PORTION OF THE PASSAGEWAY THAT IS ADJACENT TO THE NORTHWESTERLY SIDELINE OF THE PROPERTY NOW OR FORMERLY OWNED BY GRANITE FACE LIMITED PARTNERSHIP IS SUBJECT TO EASEMENT RIGHTS AS GRANTED IN A DEED FROM HARBOR REALTY COMPANY TO EDWARD J. CARR AND THOMAS E. CARR DATED JANUARY 31, 1961 AND RECORDED IN BOOK 2588 PAGE 182. CERTAIN STRUCTURES IN THIS PORTION OF THE PASSAGEWAY MAY BE LIMITING THESE RIGHTS TO USE THE PASSAGEWAY.
5. WITH REGARD TO THAT PORTION OF PLUM STREET LYING BETWEEN WHARF STREET AND LAND NOW OR FORMERLY OF GRANITE FACE LIMITED PARTNERSHIP. THE CITY STILL MAINTAINS OWNERSHIP OF THAT RIGHT OF WAY, HOWEVER, BOTH GRANITE FACE LIMITED PARTNERSHIP AND THE CHASE LEAVITT AND COMPANY, INC PROPERTY'S WERE CONVEYED EASEMENT RIGHTS WHICH WILL REMAIN IF THE RIGHT OF WAY IS EVER DISCONTINUED. FURTHERMORE, THAT PORTION OF PLUM STREET ADJACENT TO THE CINQUE TERRE RESTAURANT HAS A REVOCABLE LICENSE AGREEMENT. THIS AGREEMENT IS BETWEEN THE CITY OF PORTLAND AND CINQUE TERRE, LLC FOR USE OF THIS PROPERTY FOR A HANDICAP ACCESSIBLE RAMP, AN OUTDOOR SEATING AREA, AND FENCING. THE AGREEMENT WAS DATED ON MARCH 2, 2001 AND IS REVOCABLE UPON SIX MONTH WRITTEN NOTICE BY THE CITY.
6. SEE THE SURVEYORS REPORT FOR FURTHER DETAIL ON THE BOUNDARY.
7. UNDERGROUND UTILITIES MAY EXIST ON OR NEAR THE PROPERTY, DIG SAFE AND UTILITY COMPANIES SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION.
8. PILASTER, PLINTH, LINTEL, EAVE, AND GUTTER OVERHANGS EXIST ON MOST OF THE BUILDINGS SHOWN HEREON. SOME MAY BE ENCROACHMENTS ONTO THE LOCUS PROPERTY. THE EXISTING FORE MENTIONED ITEMS THAT OVERHANG THE STREETS WERE EXCEPTED OUT BY THE CITY IN 1918.
9. THE OWNERS OF LOT ONE AND LOT TWO SHALL ENTER INTO AN EASEMENT AGREEMENT RELATED TO THE PARTY WALL BETWEEN THE BUILDINGS AND CREATING CERTAIN OTHER EASEMENTS.

LEGEND

| EXISTING | DESCRIPTION | PROPOSED |
|----------|------------------------|----------|
| --- | PROPERTY/ROW | --- |
| --- | EASEMENT | --- |
| □ | MONUMENT | □ |
| ○ | IRON PIPE/ROD | ○ |
| C1/L1 | CURVE/LINE NO. | C1/L1 |
| ▨ | BUILDING | ▨ |
| ▨ | EDGE PAVEMENT | ▨ |
| --- | CURBLINE | --- |
| 8"W | WATER | --- |
| 8"S | SEWER | --- |
| 12"SD | STORM DRAIN | --- |
| OHE | OVERHEAD ELEC. TEL. | --- |
| UOE | UNDERGROUND ELEC. TEL. | --- |
| GV | GATE VALVE | --- |
| LP | LIGHT POLE | --- |
| CB | CATCH BASIN | --- |
| SM | SEWER MANHOLE | --- |
| TM | TELEPHONE MANHOLE | --- |
| EM | ELECTRIC MANHOLE | --- |
| UM | UNKNOWN MANHOLE | --- |
| WF | STOCKADE FENCE | --- |



| | | | |
|---|---------|----------------|---|
| REV: A | BY: MWE | DATE: 12-17-01 | STATUS: REVISED NOTE 9 FOR PROPOSED EASEMENTS |
| THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC. | | | |
| LOT DIVISION PLAN | | | |
| OF: CHASE LEAVITT BUILDING 10 DANA STREET PORTLAND, MAINE | | | |
| FOR: THE DUNHAM GROUP ONE PORTLAND SQUARE PORTLAND, MAINE | | | |
| <i>MAXIFIED 1/26/2012</i> | | | |
| DESIGN BY: MWE | | | |
| DRAWN BY: MWE | | | |
| CHECKED BY: MWE | | | |
| DATE: 12-7-01 | | | |
| SCALE: 1"=10' | | | |
| FIELD BK: 683 | | | |
| PROJ. NO: 01310EC | | | |
| DRAWING: 01310LD | | | |
| Sebago Technics <i>Engineering & Planning for the Future</i> One Chobot Street Westbrook, Me 04098-1339 Tel (207) 856-0277 | | | SHEET 1 OF 1 |