

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0314	Issue Date: <b>PERMIT ISSUED</b> MAR 13 2006	CBL: 032 V001001
Owner Name: 10 DANA STREET LLC	Owner Address: 10 DANA ST. STE 300	Phone: 
Business Name: 	Contractor Name: HardyPond Construction	Contractor Address: 1039 Riverside St. Suite Portland ME 04106 Phone: 207 797 6066
Lessee/Buyer's Name 	Phone: 	Permit Type: 
Past Use: Commercial/ Bookstore	Proposed Use: Commercial/ INTERIOR DEMOLITION ONLY/ to create vacant space for future tenant associated w/ permit #06-03 15	Permit Fee: 
		Cost of Work: \$0.00
		CEO District: 1
	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>INTERIOR</i> Type: <i>JEMO</i> <i>CR-4</i> <i>JL/OC</i>
Proposed Project Description: INTERIOR DEMOLITION ONLY/ to create vacant space for future tenant associated w/ permit #06-03 15	Signature: 	Signature: <i>[Signature]</i>
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature: 	Date: 

Permit Taken By: ldobson	Date Applied For: 03/08/2006	<b>Zoning Approval</b>		
<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:	

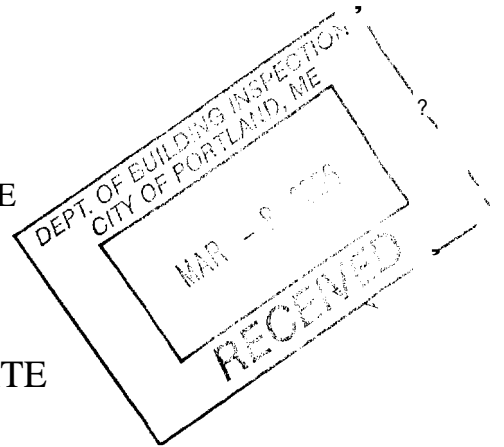
**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101



ACCESSIBILITY CERTIFICATE

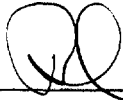
Designer: David Lloyd, Archetype, P.A.

Address of Project: 10 Dana Street

Nature of Project: Conversion of existing; mercantile space to restaurant.

\_\_\_\_\_  
\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

Signature: 

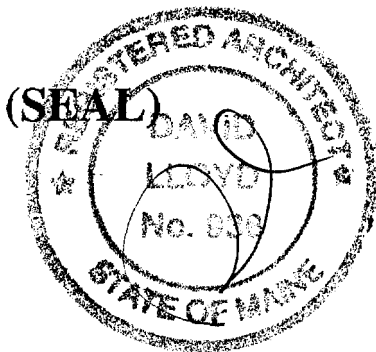
Title: Architect

Firm: Archetype, P.A.

Address: 48 Union Wharf

Portland, ME 04101

Phone: (207) 772-6022



NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: Archetype, P.A.

RE: Certificate of Design

DATE: 3/8/06

These plans and / or specifications covering construction work on:


10 Dana Street Restaurant 1st Floor

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Signature: 

Title: Architect

Firm: Archetype, P.A.

Address: 48 Union Wharf  
Portland, ME 04101

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED MAR 13 2006 Permit Number: 060314 CITY OF PORTLAND

This is to certify that 10 DANA STREET LLC / Henry Pond Construction has permission to INTERIOR DEMOLITION ONLY/ to create vacant space for future tenant associated w/ permit #06-0315 AT 10 DANA ST PERMIT # 032 V001001

provided that the person or persons performing or accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other Department Name

Handwritten signature and date 3/10/06 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

FROM DESIGNER: Archetype, P.A.

DATE: 3/8/06

Job Name: 10 Dana Street

Address of Construction: 10 Dana Street 1 St Floor, Portland, ME

**2003 International Building Code**

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) Existing B, New A-7.

Type of Construction Type 3

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 3003 IRC Yes

Is the Structure **mixed** use? Y if yes, separated or non separated (see Section 302.3) Separated

Supervisory alarm system? Y Geotechnical/Soils report required?( See Section 1802.2) N/A

STRUCTURAL DESIGN CALCULATIONS

                     Submitted for all structural members  
(106.1, 106.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS  
(1603)

Uniformly distributed floor live loads (1603.1.1, 1607)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

**N/A**

Wind loads (1603.1.4, 1609)

- Design option utilized (1609.1.1, 1609.6)
- Basic wind speed (1609.3)
- Building category and wind importance factor,  $I_w$  (Table 1604.5, 1609.5)
- Wind exposure category (1609.4)
- Internal pressure coefficient (ASCE 7)
- Component and cladding pressures (1609.1.1, 1609.6.2.2)
- Main force wind pressures (1609.1.1, 1609.6.2.1)

Earthquake design data (1603.1.5, 1614 - 1623)

- Design option utilized (1814.1)
- Seismic use group ("Category") (Table 1604.5, 1618.2)
- Spectral response coefficients,  $S_Ds$  &  $S_{D1}$  (1615.1)
- Site class (1615.1.5)

                     Live load reduction  
(1603.1.1, 1607.9, 1607.10)

                     Roof live loads (1603.1.2, 1607.11)

                     Roof snow loads (1603.1.3, 1608)

                     Ground snow load,  $P_g$  (1608.2)

                     If  $P_g > 10$  psf, flat-roof snow load,  $P_f$   
(1608.3)

                     If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
(Table 1608.3.1)

                     If  $P_g > 10$  psf, snow load importance factor,  $I_s$  (Table 1604.5)

                     Roof thermal factor,  $C_t$  (Table 1608.3.2)

                     Sloped roof snowload,  $P_s$  (1608.4)

                     Seismic design category (1616.3)

                     Basic seismic-force-resisting system  
(Table 1617.6.2)

                     Response modification coefficient,  $R$ ,  
and deflection amplification factor,  $C_d$   
(Table 1617.6.2)

                     Analysis procedure (1616.6, 1617.5)

                     Design base shear (1617.4, 1617.5.1)

Flood loads (1603.1.6, 1612)

                     Flood hazard area (1612.3)

                     Elevation of structure

Other loads

                     Concentrated loads (1607.4)

                     Partition loads (1607.5)

                     Impact loads (1607.8)

                     Misc. loads (Table 1607.6, 1607.6.1,  
1607.7, 1607.12, 1607.13, 1610,  
1611, 2404)



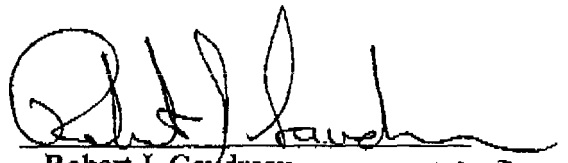
# HARDYPOND CONSTRUCTION

1039 RIVERSIDE ST. - SUITE 11  
PORTLAND, MAINE 04103  
(207)797-6066  
FAX (207)797-8986

To: Lannie Dobson  
City of Portland

8 March 2006

I, Robert Gaudreau, authorize Dan Kary's use of the 1<sup>st</sup> floor space at 10 Dana Street, Portland ME.

  
Robert J. Gaudreau OWNER

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-03 14	<b>Date Applied For:</b> 03/08/2006	<b>CBL:</b> 032 V001001
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<b>Location of Construction:</b> 10 DANA ST	<b>Owner Name:</b> 10 DANA STREET LLC	<b>Owner Address:</b> 10 DANA ST . STE 300	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> HardyPond Construction	<b>Contractor Address:</b> 1039 Riverside St Suite 11 Portland	<b>Phone</b> (207) 797-6066
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial/ INTERIOR DEMOLITION ONLY/ to create vacant space for future tenant associated w/ permit #06-0315	<b>Proposed Project Description:</b> INTERIOR DEMOLITION ONLY/ to create vacant space for future tenant associated w/ permit #06-0315
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<b>Comments:</b> 3/9/2006-ldobson: Fees associated with building permit 06-0315
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