

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040712

Please Read
Application and
Notes, if Any,
Attached

PERMIT ISSUED
JUL 15 2004
CITY OF PORTLAND
shall comply with all

This is to certify that 10 Dana Street LLC/DBB Construction, Inc.
has permission to kitchen renovation-restructuring
AT 1111 12th St 032 1200001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information

Notification Inspection must be given and when permit is issued before this building or structure is started or used-in. IF NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. OK
Health Dept. _____
Appeal Board _____
Other NOT REQUIRED

[Handwritten Signature]
6/15/04

City of Portland Building Inspection Dept.

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 390 Congress Street, 04101 Tel: (207) 874-8700, Fax: (207) 874-8716

Permit No. 04-10712	PERMIT ISSUED Issue Date JUN 15 2004	TBL 032 7001001
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Location of Construction: 10 Dana St Business Name:	Owner Name: 10 Dana Street LLC Contractor Name: RJB Construction, Inc	Owner Address: 10 Dana St. Ste. 30 Contractor Address: 155 Center Street Auburn	City of Portland Phone: 642-6124 Phone: 2077806530
-----------------------------------------------------------	--------------------------------------------------------------------------------	------------------------------------------------------------------------------------------	----------------------------------------------------------------

License/Builder's Name	Name:	Permit Type: Alterations - Commercial	Zone: B-3
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Permit Fee: \$426.00	Cost of Work: \$45,000.00	City District: 1
FILED WITH: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Lic Group B	Code: 3B

Proposed Project Description: kitchen renovation-no change sq ft	Signature: <i>[Signature]</i>
---------------------------------------------------------------------	----------------------------------

Permit Taken By: yrdines	Date Applied For: 06/02/2004	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permit is invalid if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zoning Reviews <input type="checkbox"/> Standard <input checked="" type="checkbox"/> No Addition's After Issued This permit part of approval <input type="checkbox"/> Flood Zone <input type="checkbox"/> Setback <input type="checkbox"/> Sign Plan WA - Major - MM - ok with condition - S Date: 6/9/04	Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Text Addition <input type="checkbox"/> Approved <input type="checkbox"/> Denial	Historic Preservation <input type="checkbox"/> No Historic Landmark <input type="checkbox"/> Does Not Apply Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved as Condition <input type="checkbox"/> Denial Any exterior work also requires A Separate review and approval
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CERTIFICATION

I hereby certify that I am the owner or agent of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the contractor's authorized representative shall have the authority to enter all areas covered by such permit to any reasonable limit to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-3703, Fax: (207) 874-8716

Permit No:	Date Applied For:	City:
04-0213	06/02/2004	052 Y001001

Location of Examination:	Owner Name:	Owner Address:	Phone:
10 Dana St	10 Dana Street LLC	10 Dana St, Sec 300	() 747-6154
Business Name:	Contractor Name:	Contractor Address:	Phone:
	RISU Construction, Inc	155 Center Street Auburn	(207) 883-6139
License/Owner's Name:	Phone:	Permit Type:	
		Alterations - Commercial	

Proposed Use:	Proposed Project Description:
Kitchen renovation	Kitchen renovation-no change sq ft

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schimpek	Approval Date: 06/09/2004
Notes:	1) This permit is only for the interior rearranging of the kitchen area. NO ADDITIONS are approved with this application.		
Dept: Building	Status: Pending	Reviewer:	Approval Date:
Notes:	OK to Issue: 1		
Dept: Fire	Status: Pending	Reviewer:	Approval Date:
Notes:	OK to Issue: 1		




All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>36 WHARF ST. PORTLAND, ME 04101</u>		
Total Square Footage of Proposed Structure: <u>N/A</u>	Square Footage of lot: <u>N/A</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>232</u> Block# <u>V</u> Lot# <u>021</u>	Owner: <u>G V F PROPERTIES LLC</u>	Telephone: <u>783-7222</u>
Lessor/Buyer's Name (if Applicable): <u>N/A</u>	Applicant name, address & telephone: <u>DAN KAY c/o GUYTON TRAPE</u> <u>36 WHARF ST PORTLAND, ME 04101</u> <u>547-6134</u>	Cur Of <u>45000</u> Value: <u>45000</u> Fee: \$ <u>426</u>
Current use: <u>RESTAURANT</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed Use: <u>RESTAURANT</u>		
Project description: <u>KITCHEN RENOVATION</u>		
Contractor's name, address & telephone: <u>RBR CONSTRUCTION INC</u> <u>155 CENTER ST. AUGUSTA, ME 04710</u>		
Who should we contact when the permit is ready: <u>ROBERT DEAN</u> <u>783-6339</u>		
Mailing address: <u>SAME</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. No stop work order will be issued and a \$1000.00 fee if any work starts before the permit is picked up. PHONE: <u>783-6339</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner/agent of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application or further authorized agent. I agree to conform to all applicable laws of this jurisdiction in connection with the permit for work described in this application. I certify that the Code Officer's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to the permit.

Signature of applicant: 	Date: <u>5-26-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Cinque Terre

RISTORANTE ATTURE
— VERMONT, MAINE —

30 WINDY STREET
PORTLAND, MAINE 04101

207.347.6154

www.inquirymail.com
2/2002

DATE: June 2, 2002

TO: City of Portland

RE: Kitchen remodel project, description of work to be done

Kitchen fixtures are being relocated within the existing kitchen space to provide for better flow and easier cleaning. The existing non-load-bearing partition wall within the kitchen is being removed. This wall extends from floor to the level of the suspended ceiling. It serves as a screen to block views into the dishwashing area.

The exhaust hood will be relocated by rotating it 90 degrees and will be attached to the ceiling beams via threaded rods. A non-load-bearing backing wall for cook tops will be built at the back of the hood line with construction studs clad in stainless on the cooking side and sheet rock on the back side sufficient thickness for fire rating creating a partition within the kitchen space. A second stud wall will be built of metal studs over the face of a brick exterior wall to allow for attachment of stainless steel cladding. Appropriate walls of the kitchen will also be clad of stainless steel to a height of 8'

Plumbing and electrical supply will be moved to accommodate relocated fixtures within the existing kitchen space. A nonbearing screen wall will be relocated in the dining room to block sight lines into the kitchen dish area. No door or window changes are being made. Exhaust passes from LP gas fired hot water booster for dishwasher will be vented via a circular hole in the exterior brick wall. Exhaust gasses from the existing oil fired furnace will be vented through a second circular opening in that same exterior wall.

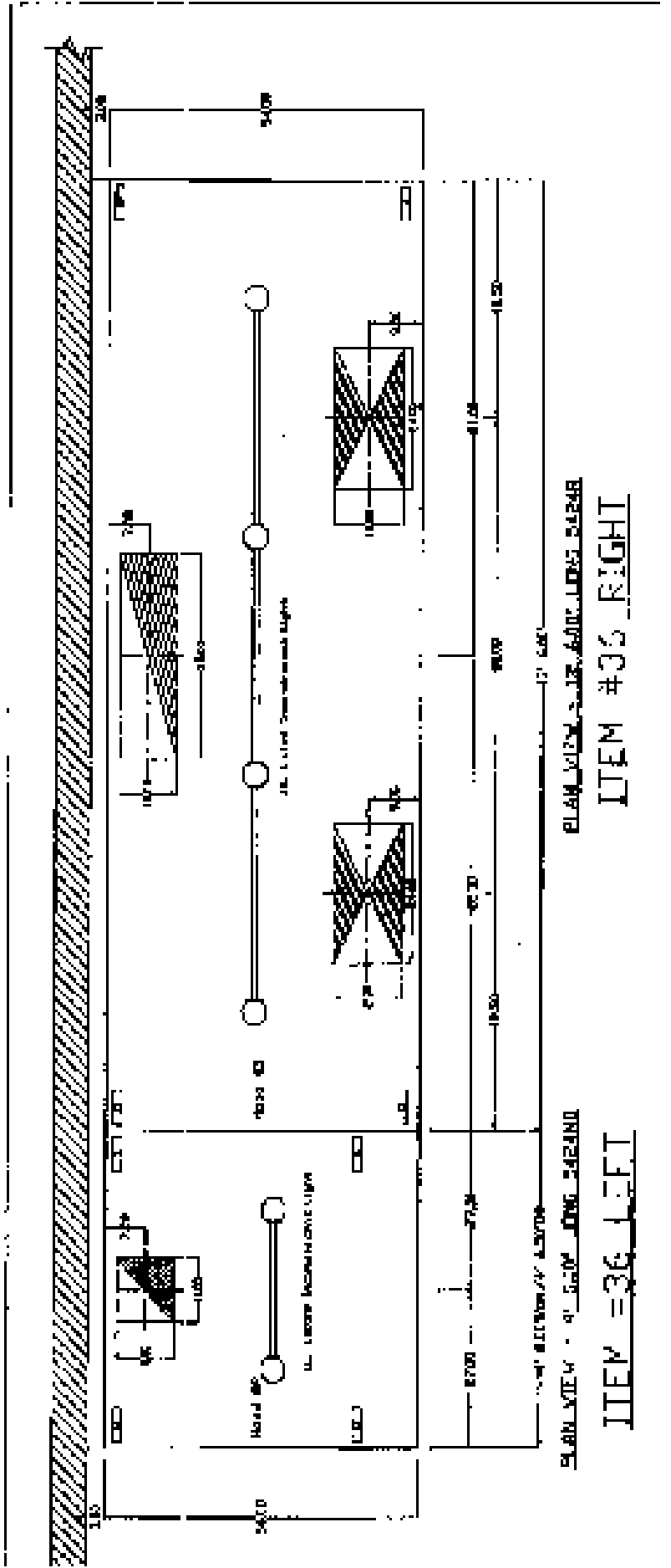
The current use is a kitchen. The continued will be as kitchen space with no change of square footage.

Sincerely,

Dan Kary
DK sb

*Exhaust from dishwasher hood vented out through
brick wall.*

Attention: Item
 207-347-6157
 5 pages



HOOD INFORMATION

HOOD NO.	MODEL	LENGTH	HIC CODE	EXHAUST FLOW		TOTAL CAPACITY		ROOM CONSTRUCTION	FLOOR COVERING
				CFM	FT/HR	CFM	FT/HR		
1	424 424-C	31' 6 1/2" x 40 1/2"	360	30'	400	30'	214 SS HEAVY	CONC	
2	5424 424	41' 6 1/2" x 40 1/2"	610	30'	300	30'	420 SS Steel Decking	CONC	LEFT
3	5424 E	17' 6 1/2" x 40 1/2"	410	30'	300	30'	420 SS White Enamel	CONC	RIGHT



HOOD INFORMATION

HOOD NO.	TYPE	TIME	LUMENS	LUMENS/INCH	TYPE	DISTANCE	QUALITY CONTROL		CIRCUIT
							TYPE	SIZE	
1	Motion Dash	1	12'	10'	Fluorescent	40"	100%	100%	100%
2	25' Traffic w/ Handrail	2	15'	15'	Fluorescent Light	40"	100%	100%	100%
3	25' Traffic w/ Handrail	3	15'	15'	Fluorescent Light	40"	100%	100%	100%

HOOD OPTIMIZE

HOOD NO.	OPTION	DESCRIPTION	DATE	BY
1	FIELD	WARRANTY	10/10/83	Front, Left
2	FIELD	WARRANTY	10/10/83	Front, Left
	BACKLASH	2000' High x 2000' Long	Vertical Panel	100 SS
	LEFT END PANEL	54" Top Width, 48" Bottom Width, 48" High	40 SS	
	BACK STAFF	3' Wide		
3	FIELD	WARRANTY	10/10/83	Front, Left
	BACKLASH	2000' High x 2000' Long	Vertical Panel	40 SS
	LEFT END PANEL	54" Top Width, 48" Bottom Width, 48" High	40 SS	
	BACK STAFF	3' Wide		

CUSTOMER APPROVAL TO MANUFACTURE

Approved as Noted _____

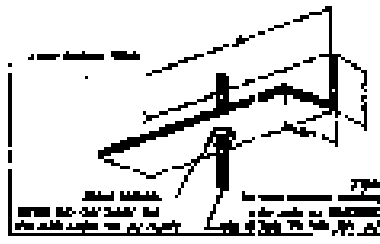
Approved with NO Exception From _____

Order and Backlog _____

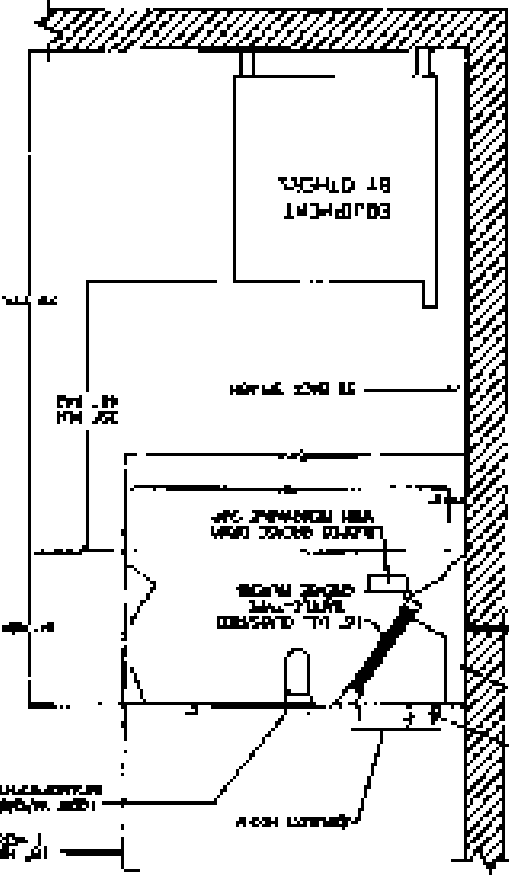
Signature _____

Post Title _____ Date _____

HANGING PANEL DETAIL



SECTION VIEW - FRONT VIEW
 ITEM #36 LEFT



1/2" = 1'-0"
 1/4" = 1'-0"
 1/8" = 1'-0"

IT IS THE RESPONSIBILITY OF THE ARCHITECT TO VERIFY THAT THE HANGING PANEL IS COMPATIBLE WITH THE CEILING SYSTEM AND TO PROVIDE NECESSARY DETAILS FOR THE INSTALLATION.

GENERAL NOTES

1. HANGING PANEL SHALL BE AS SHOWN.
2. HANGING PANEL SHALL BE INSTALLED TO THE CEILING SYSTEM.
3. HANGING PANEL SHALL BE INSTALLED TO THE CEILING SYSTEM.
4. HANGING PANEL SHALL BE INSTALLED TO THE CEILING SYSTEM.
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8. HANGING PANEL SHALL BE INSTALLED TO THE CEILING SYSTEM.
9. HANGING PANEL SHALL BE INSTALLED TO THE CEILING SYSTEM.
10. HANGING PANEL SHALL BE INSTALLED TO THE CEILING SYSTEM.

BUILDING CODES

1990 IBC
 2003 IBC
 2006 IBC

SECTION 1100 - CEILING SYSTEMS

1100-01 - SUSPENDED CEILING SYSTEMS

1100-02 - GYPSUM BOARD CEILING SYSTEMS

1100-03 - METAL PANEL CEILING SYSTEMS

1100-04 - PLASTER CEILING SYSTEMS

1100-05 - CONCRETE CEILING SYSTEMS

TABLE 1

CEILING SYSTEM	MINIMUM CLEARANCE	MINIMUM HEIGHT
SUSPENDED CEILING SYSTEMS	1'-0"	8'-0"
GYPSUM BOARD CEILING SYSTEMS	1'-0"	8'-0"
METAL PANEL CEILING SYSTEMS	1'-0"	8'-0"
PLASTER CEILING SYSTEMS	1'-0"	8'-0"
CONCRETE CEILING SYSTEMS	1'-0"	8'-0"

CALCULATIONS UTILIZED

ALL CALCULATIONS SHALL BE PERFORMED BY THE ARCHITECT OR ENGINEER OF RECORD. THE ARCHITECT OR ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CALCULATIONS.

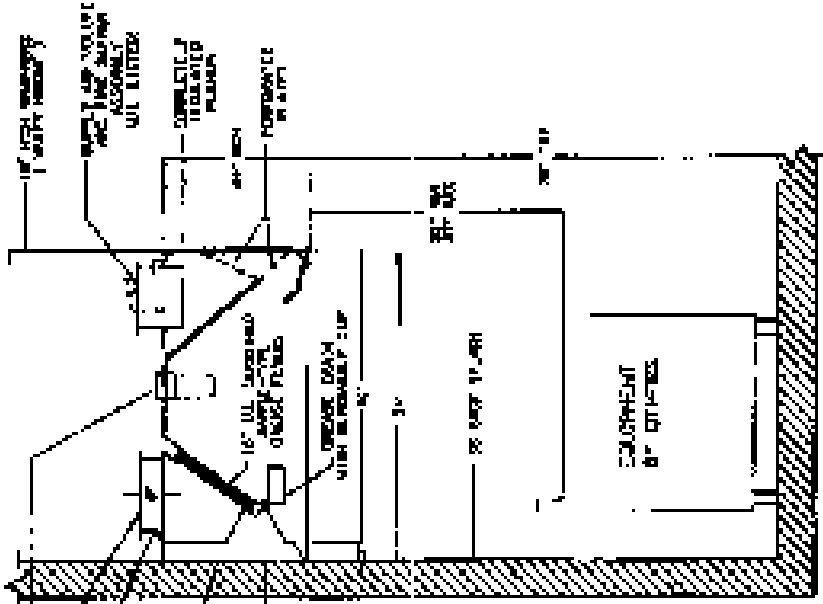
DATE: 10/15/2010

BY: [Signature]

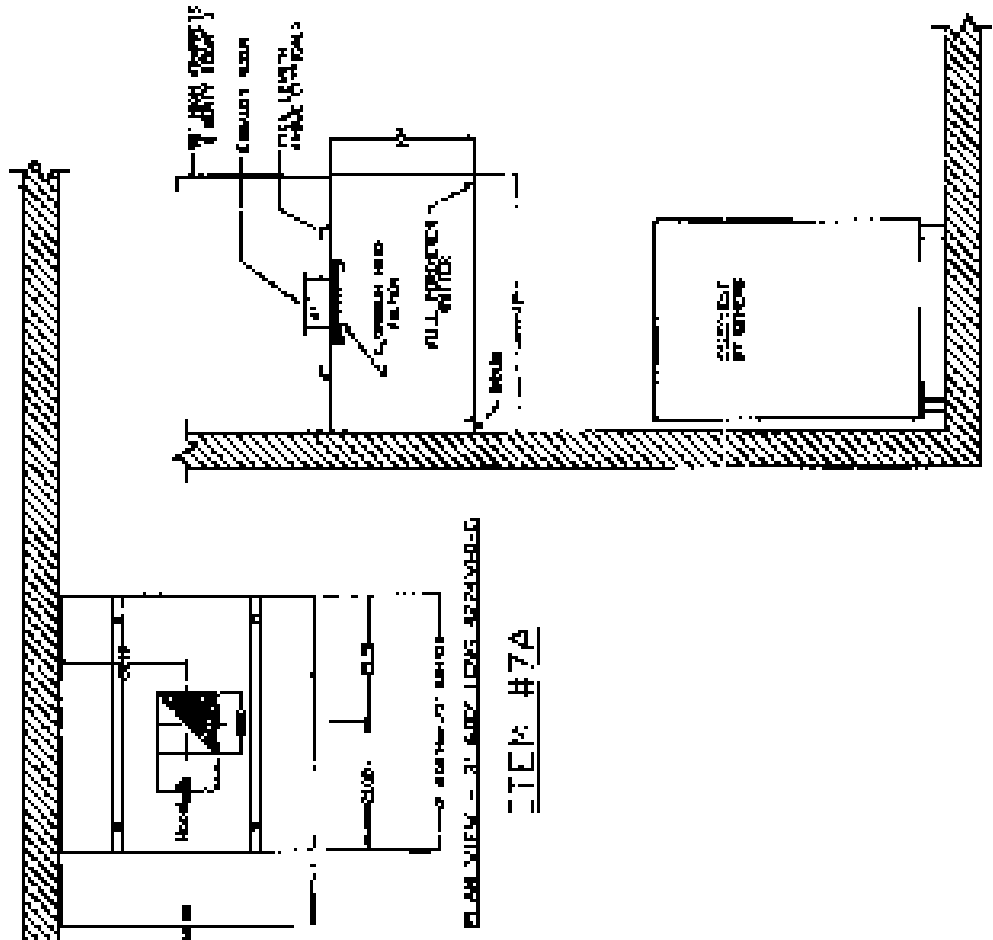
REV	DATE	BY

STEP

CAPTIVE AIR HEADS ARE BUILT IN COMPLIANCE WITH AFPA 888 AND ARE RECOGNIZED BY MSP INTERNATIONAL



1. THE MANUFACTURER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE AIR HEAD AND FOR THE PROVISION OF ALL NECESSARY PARTS AND MATERIALS.



FLAME VIEW - 2. AIR HEADS ARE AVAILABLE

ITEM #7A

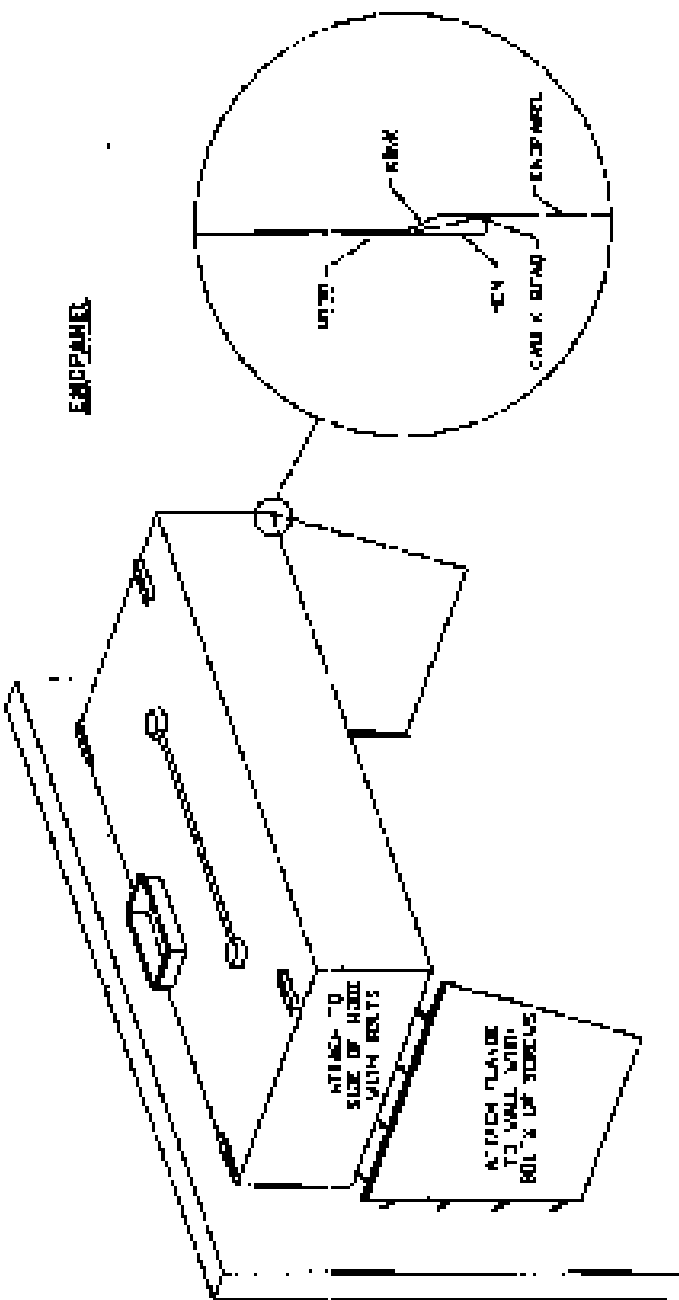
SECTION MARK - MODEL 4824-010 FOR FULL DIMENSIONED DRAWING

ITEM #7A

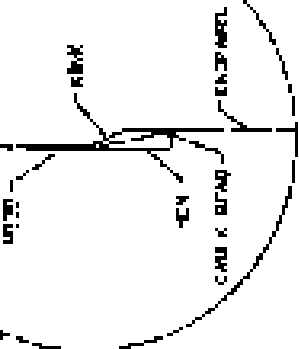
SECTION MARK - MODEL 824-3
ITEM #36 RIGHT

CAPTIVE AIR

JOB	02-504 Terry H.S.
LOCATION	Portland, ME
DATE	05/25/1964
BY	J. Campbell
SCALE	3/4"



SUPPLIER



ATTACH TO
SIDE OF HOOD
WITH SCREWS

ATTACH FLANGE
TO WALL WITH
BOLTS OR STUDS

INNER

RING

FLANGE

CABLE BUSHING

TempStar GPX

Door Type

Short Form Specifications

Line No. _____

This shall be Jackson TempStar GPX Updraft Unit, Inc. with venting dish resting. Electrical characteristics to be _____ with 60 cps 60° phase connection with a 58 second intermittent cycle using 27 gal ozone @ 80°F. Final rinse water per hour. Stainless steel construction including hand, remote wash tank, and adjustment feet. A 5/8" NPT remote mounted gas booster heater with nitrogen purge capability shall be mounted to the existing frame. An standard 1/2" dia vent pipe shall be used.

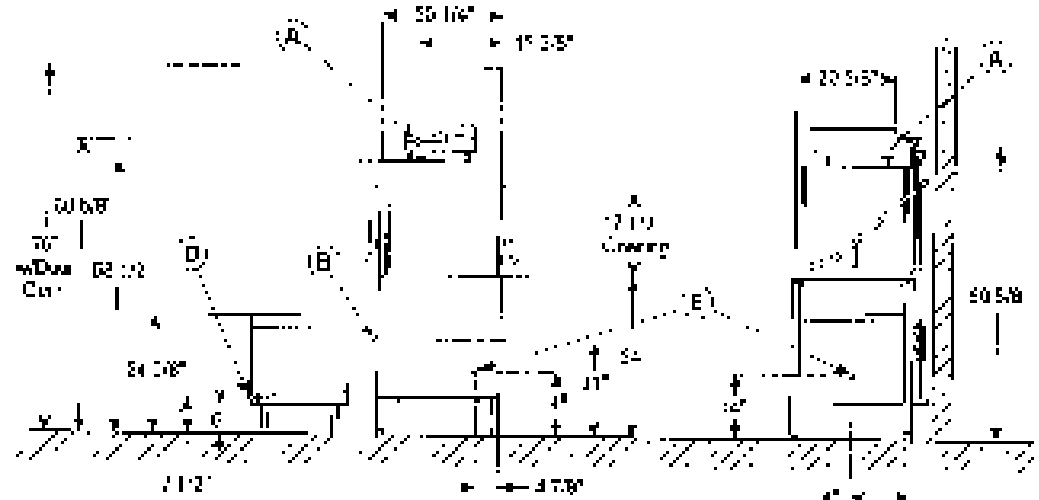
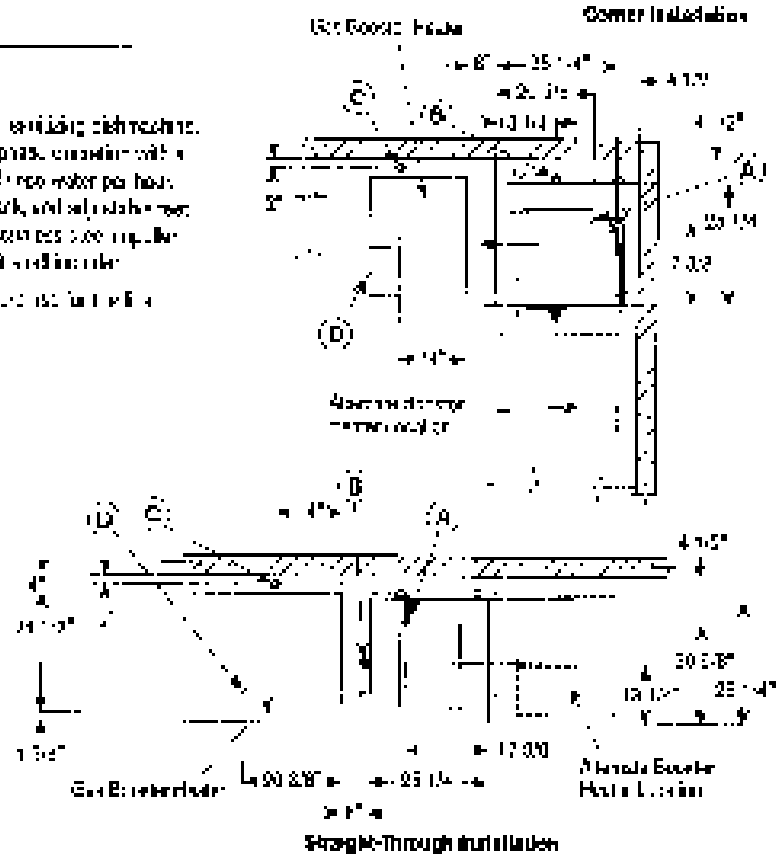
- Remote mounted gas booster heater final 80°F temperature and 1/2" dia vent pipe.
- Ring of flow restrictors for all utilities.
- Top mounted control box with dual on/off switches connected to main service disconnect and a Deion tap switch as standard.
- Front dress Panel
- Dual spray nozzles
- Automatic fill
- Wash water pressure regulator
- Full remote operation and light through to cover operation.

Unit shall be NSF and U Approved

A Wash nozzle in the wash tank and final rinse is provided by the booster heater.

Jackson provides the interconnections for the water from the dishwash into the process heater.

Do not make use of the water meter, no separate electrical connections.



LEGEND:

- A - Electrical control on (see sheet below)
- B - 1/2" NPT 1/2" WPT water inlet
- C - 1/2" NPT gas inlet
- D - Remote remote electrical connection (200 VAC, 200 W, 16 Amps)
- E - 1/2" NPT water connection

All dimensions in inches

A = see sheet Specifications for 1/2" NPT flow. For more details contact the factory.

Approximate Total

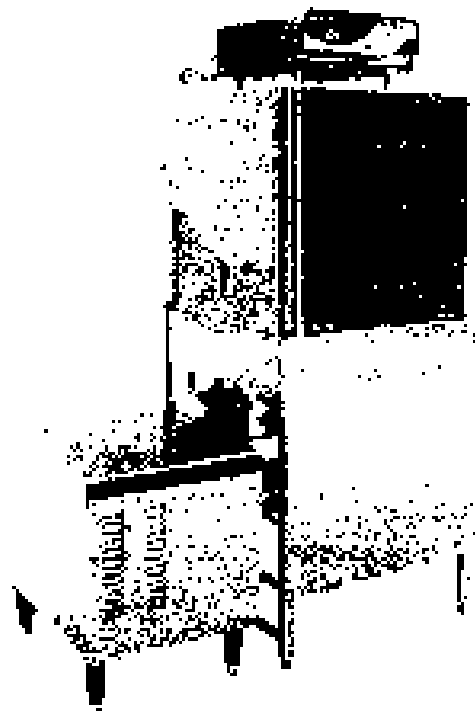
Load Range	
115-400V	16.2
208/240V	6.8
208/240V	8.6
208/240V	6.0
208/240V	6.6



www.jacksonmfg.com
1-888-806-3672



PIR000048 01/26/2006
© 2006 Jackson Manufacturing, Inc. All Rights Reserved



Standard Features

- Flow control range – 1 to 3 gals per cycle
- 67% water per load
- Full automatic cycle – 65 seconds
- Heating water pressure regulator
- Friendly manual pre-heat water
 - Cycles 130 min to 90°F to save time use as required (UPF) with minimum long cycle to standard
 - Recirculation heated wash through S/S coils to wash line to maintain 150°F minimum temperature
- Electric motor and fan
 - Auto on
 - Auto start
 - Safety lock switch
 - Temperature on the floor mats and low water protection
- Operates on one 115 volt ac line
- High pressure, all stainless steel wash pump and bearings
- Preheating all detergent and low wash and rinse times
- 12 1/4" door opening accepts 18" trays
- Ultra standard 20" x 20" drainage
- High light fixtures
 - Time mounted control box
 - 1/2" diameter hole straight through for center
 - Adjustable solid top
 - 2-1/2" purchase additive signal connector hose box
 - Heavy duty wash arm – 1/4" 304 series S/S

Power/Connections

Electrical Rating	
Wash Pump Motor Horsepower	3/4
Recirculation Motor Horsepower	1/2
Gas Requirements	
Natural Gas (Hot Water Return)	
Maximum	16.5
Minimum	5.0
LP (Propane Gas) (Hot Water Return)	
Maximum	3.0
Minimum	1.0
Gas Connection (NPT)	1/2"
Volume Free Adapter (Standard)	4"
Water Requirements	
Min Temperature (Minimum °F)	110
Gal/Load per Hour	270
Gal/min per Rack	1.0
Wash Time Size (IPS) (Minimum) (Inches)	112
Drain Time Size (IPS) (Minimum) (Inches)	1112
Flow Pressure (PSI)	15.95

Performance/Capacities

Operating Capacity		Operating Temperatures	
Racks per Load	67	Wash – 97 (Minimum)	150
Dishes per Hour	1425	Rinse – 95 (Minimum)	150
Cups per Hour	1425	Dimensions (Inches)	
Operating Cycle (Seconds)		Width	26 1/4
Wash Time	45	Depth	26 1/4
Drain Time	3	Height	54 1/2
Rinse Time	1	Standard Rack Height	34
Total Cycle	50	Wash Chamber (Minimum)	4
Tank Capacity (Gallons)		Inside Clearance (Height)	17 1/4
Wash Tank (Minimum)	0	Shipping Weight (lb)	
Wash Pump Capacity (GPM)		150	100
Gas Recirc. Capacity (CFM)		Shipping Size (Inches)	
Input	25,000	Width	85
Output	40,000	Depth	40
		Height	75

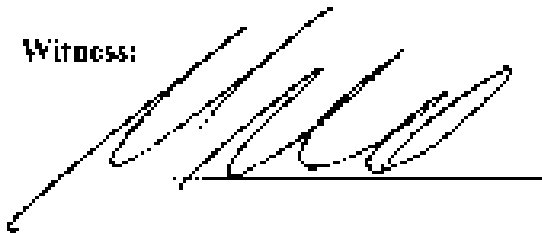
ASSIGNMENT OF PURCHASE AND SALE AGREEMENT


For Good and Valuable Consideration, the receipt and sufficiency whereof is hereby acknowledged, the undersigned, Daniel J. Kary, hereby sells, transfers, and assigns to GVF Properties, LLC, a Maine Limited Liability Company, his entire right, title, and interest in and to a certain Contract for the Sale of Commercial Real Estate dated May 5, 2003 by and between Nevemore, LLC as Seller, and Daniel Kary, as Purchaser, calling for the purchase of certain real estate and buildings located at 36 Wharf Street, Portland, Maine, as the same may be modified or amended from time to time.

In consideration of the within assignment, GVF Properties, LLC hereby expressly assumes all liabilities and obligations of the said Daniel Kary under the terms of the aforesaid Agreement.

In Witness Whereof, the parties have hereunto set their hands and seals effective this 13th day of June, 2003.

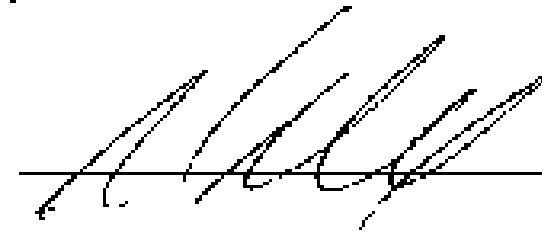
Witness:

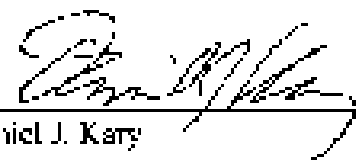




Daniel J. Kary

GVF Properties, LLC




By: 

Daniel J. Kary
Its Member

SEEN AND AGREED TO:

Nevemore LLC

By: 

Print Name: Thomas W. Mouton
Its: Manager

Post it Fax Note	7611	Date: 6/13/03	Page: 6
To: GVF LLC	From: Dan Kary		
Customer: A.R. Chastagne	Re: GVF Properties		
Name:	Phone:	GVF Properties	
Fax: 1-72-3256	Fax:		

QUITCLAIM WITH COVENANT DEED

Nevermore LLC, a Maine limited liability company with a place of business in Portland, Maine, grants to GVP Properties, LLC, a Maine limited liability company with a mailing address of c/o 287 Main Street, Suite 403, Lewiston, Maine 04240, with quitclaim covenant, a parcel of land and all buildings and improvements thereon located at 36 Wharf Street, City of Portland, Cumberland County Maine, such parcel of land being more particularly bounded and described as follows:

Beginning on the southerly sideline of Wharf Street as described in the Certificate of Taking of Property by the City of Portland dated September 18, 1978 and recorded in the Cumberland County Registry of Deeds in Book 4336, Page 83 at a point that is described in said certificate as being the Southeast corner of a passageway once known as Plum Street;

Thence North $72^{\circ} 57' 15''$ East along said southerly sideline of Wharf Street a distance of 52.2 feet to the property conveyed by Chase, Leavitt & Co., Inc. to 10 Dana Street, LLC by deed dated December 18, 2001 and recorded in the Cumberland County Registry of Deeds in Book 17105, Page 182;

Thence South $16^{\circ} 34' 12''$ East along said property conveyed to 10 Dana Street, LLC a distance of 49.45 feet to land now or formerly of Granite Face Limited Partnership described in a deed recorded in the Cumberland County Registry of Deeds in Book 11489, Page 314,

Thence South $67^{\circ} 45' 42''$ West along said land now or formerly of Granite Face Limited Partnership a distance of 49.64 feet to the easterly sideline of said Plum Street passageway (also sometimes known as Plum Street Extension);

Thence North $19^{\circ} 50' 44''$ West along said easterly sideline of said Plum Street passageway a distance of 54.01 feet to the point of beginning. Said parcel containing approximately 2,630 square feet.

Together with all rights appurtenant to said parcel, in, over or under the adjacent portions of said Plum Street passageway and Wharf Street, including the right to maintain any pilaster, plinth, lintel, eave and gutter overhangs from the building on the parcel herein described.

The conveyance herein is subject to the rights and easements granted by and between 10 Dana Street, LLC and Nevermore LLC in that certain Easement Agreement dated December 18, 2001, and recorded in the Cumberland County Registry of Deeds in Book 17105, Page 184, as modified by the Amended and Restated Easement Agreement executed on or about the date hereof by 10 Dana Street, LLC and Nevermore LLC and to be recorded in the Cumberland County Registry of Deeds herewith.

For the source of Nevermore LLC's title, see Warranty Deed from Chase, Leavitt & Co., Inc. to Nevermore LLC dated December 18, 2001, and recorded in the Cumberland County Registry of Deeds in Book 17105, Page 182.

1234
TA

IN WITNESS WHEREOF, Thomas W. Moulton, the duly authorized Manager of Nevermore LLC, has executed this instrument this 13th day of June, 2003.

WITNESSETH:

NEVERMORE LLC

[Signature]
Name: Tom S. Hanson

By [Signature]
Thomas W. Moulton, its Manager

State of Maine
County of Androscoggin

June 13, 2003

PERSONALLY APPEARED before me the above-named Thomas W. Moulton, Manager of Nevermore LLC as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said company.

[Signature]
Print name: Tom S. Hanson
Notary Public: Attorney
My commission expires: N/A

009785*

EX 17105 PG 182

WARRANTY DEED

CHASE, LEAVITT & CO., INC., a Maine corporation having a place of business in the City of Portland, County of Cumberland and State of Maine, grants to SEVERMORE LLC, a Maine limited liability company having a place of business in the City of Portland, County of Cumberland and State of Maine and with a mailing address of 21 West Street, Portland, Maine 04102, with Warranty Covenants, certain and said buildings on Wharf Street in the City of Portland, County of Cumberland and State of Maine, more fully described in SA/100141.F, a studied form and incorporated herein by reference.

Witness my hand and seal this 28th day of December, 2001.

MAINE REAL ESTATE TAP AND

WITNESS:

CHASE, LEAVITT & CO. INC.

J. R. Bass

Alison Leavitt
By Alison Leavitt
In President

STATE OF MAINE
NUMBER 2001-05.

December 18, 2001

Personally appeared the above named Alison Leavitt in her capacity as President of Chase, Leavitt & Co., Inc., and acknowledged the foregoing instrument to be her free act and deed in said capacity and the Seal act and deed of Chase, Leavitt & Co., Inc.

Before me,

John R. Bass
Attorney Public/Maine Attorney at Law
John R. Bass
Printed Name

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Schedule A

Description of 36 Wharf Street Parcel

A certain lot or parcel of land located at or near 36 Wharf Street in the City of Portland, County of Cumberland and State of Maine, together with the buildings and improvements thereon, more particularly bounded and described as follows:

Beginning on the southerly sideline of Wharf Street as described in the Certificate of Taking of Property by the City of Portland dated September 18, 1978 and recorded in the Cumberland County Registry of Deeds in Book 4125, Page 43 at a point that is described in said certificate as being the Southeast corner of a passageway more known as Plum Street.

Thence North 72° 57' 13" East along said southerly sideline of Wharf Street a distance of 52.21 feet to the property conveyed by Chase, Lewis & Co. Inc. to Dana Street, L.L.C. by deed dated December 18, 2001 and to be recorded in the Cumberland County Registry of Deeds.

Thence South 16° 54' 13" East along said property conveyed to Dana Street, L.L.C. a distance of 49.45 feet to land now or formerly of Granite Face Limited Partnership described in a deed recorded in the Cumberland County Registry of Deeds in Book 31450, Page 314.

Thence South 67° 45' 42" West along said land now or formerly of Granite Face Limited Partnership a distance of 49.54 feet to the easterly sideline of said Plum Street passageway (also sometimes known as Plum Street Extension).

Thence North 19° 50' 44" West along said easterly sideline of said Plum Street passageway a distance of 14.01 feet to the point of beginning. Said parcel containing approximately 2,630 square feet.

Together with all rights appurtenant to said parcel, in, over or under the adjacent portions of said Plum Street passageway and Wharf Street, including the right to maintain any pipes, plumb, trench, pipe and gutter overhangs from the building on the parcel herein described.

The parcel herein described, together with said property conveyed to Dana Street, L.L.C. being the same premises conveyed to Chase, Lewis & Co. Inc. by Paul L. Sullivan and Philip F. Sullivan by deed dated December 12, 1969 and recorded in the Cumberland County Registry of Deeds in Book 3112, Page 320.

EXCERPT FROM MAP AS DESCRIBED IN

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CUMBERLAND COUNTY

John B. O'Brien

Schedule A

Deed to NEWMARK LLC