

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that MOULTON STREET REALTY, LLC - CABOT CREAMERY

Located At 5 MOULTON ST

Job ID: 2012-05-3944-SIGN

CBL: 032-S-005-001

has permission to Reface existing awning, on existing frame, no signage, Cabot Creamery provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

JMB *8/15/12*

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-3944-SIGN	Date Applied: 5/8/2012	CBL: 032- S-005-001	
Location of Construction: 163 COMMERCIAL ST. (5 MOULTON ST)	Owner Name: MOULTON STREET REALTY, LLC (Joseph Malone)	Owner Address: 5 MOULTON ST PORTLAND, ME 04101	Phone: 207-772-2422
Business Name: Cabot Creamery Coop	Contractor Name: Maine Bay Canvas	Contractor Address: 53 Industrial Way, Portland, ME 04103	Phone: (207) 878-8888
Lessee/Buyer's Name: Sue Hellier	Phone: 207-400-2600	Permit Type: SIGN - PERM - Signage - Permanent	Zone: B-3
Past Use: Retail - Cabot Creamery Coop	Proposed Use: Same - retail ^{recover} Cabot Creamery Coop - add awning - 50" long (no signage)	Cost of Work: 2000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	Inspection: Use Group: M Type: N/A Doc - 2009 Signature: <i>[Signature]</i> 6/15/12
Proposed Project Description: replace awning		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>5/15/12</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/15/12</i> <i>D. Andrews</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Final inspection at completion of installation

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-05-3944-SIGN

Located At: 5 MOULTON ST

CBL: 032- S-005-001

Conditions of Approval:

Zoning

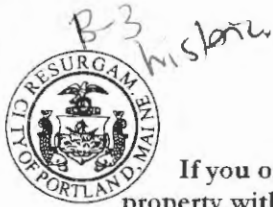
1. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
2. This permit is being issued to recover the awning with new fabric. There will be no signage on the awning.

Historic

1. Logo to be eliminated from awning. Patterned fabric and address # are approved as proposed.

Building

1. Encroachments into public ways must be a minimum of 8' above grade for signs and 7' for awnings per section 3202 of IBC 2009.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. Signage and Awning Installation to comply with Chapters 16 (Structural Loads), 31 (Materials) & 32 (ROW Height & Encroachments) of the IBC 2009 building code.



Signage/Awning Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

5 Moulton St

Location/Address of Construction: 163 COMMERCIAL STREET; PORTLAND

Tax Assessor's Chart, Block & Lot Chart# <u>32</u> Block# <u>S</u> Lot# <u>5</u>	Owner: <u>JOSEPH MALONE</u> <u>MOULTON STREET REALTY, LLC</u>	Telephone: <u>207.772.2422</u>
Lessee/Buyer's Name (If Applicable) <u>CABOT CREAMERY COOP</u> <u>ONE HOME FARM WAY</u> <u>MONTPELIER VT 05602</u> ATT: <u>JOEY DANIELS</u>	Contractor name, address & telephone: <u>MAINE BAY CANVAS</u> <u>53 INDUSTRIAL WAY</u> <u>PORTLAND, ME 04103</u> <u>207.878.8888</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00 For H.D. signage \$75.00 Fee: \$ Awning Fee = cost of work <u>4615.00</u> Total Fee: \$
Who should we contact when the permit is ready: <u>SUE HELLER</u> phone: <u>207.400.2600</u> <u>NR</u> <u>50.00</u> <u>- MGR</u> <u>31d9</u> <u>40.00</u>		
Tenant/allocated building space frontage (feet): Length: <u>16'</u> Height: <u>12'</u> Lot Frontage (feet): _____ Single Tenant or Multi Tenant Lot _____		
Current Specific use: <u>RETAIL</u> If vacant, what was prior use: _____ Proposed Use: _____		<u>90.00</u>
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes ___ No ___ Dimensions proposed: _____ Height from grade: _____ Bldg. wall sign? (attached to bldg) Yes ___ No ___ Dimensions proposed: _____		
Proposed awning? Yes <input checked="" type="checkbox"/> No ___ Is awning backlit? Yes ___ No <input checked="" type="checkbox"/> Height of awning: <u>36"</u> Length of awning: <u>50"</u> Depth: <u>38"</u> Is there any communication, message, trademark or symbol on it? Yes <input checked="" type="checkbox"/> No ___ If yes, total s.f. of panels w/communications, message, trademark or symbol: <u>8'</u> s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No ___ Dimensions: <u>2' x 3'</u> Bldg. wall sign? (attached to bldg) Yes <input checked="" type="checkbox"/> No ___ Dimensions: <u>18" x 10'</u> Awning? Yes ___ No ___ Sq. ft. area of awning w/communication: _____		

A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.

RECEIVED
MAY 08 2012
Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 5.7.12

This is not a permit; you may not commence ANY work until the permit is issued.

CABOT PROMOTION + EVENT DESIGN MANAGER
 $16' \times 2 = 32\phi$
 existing wall sign - $18" \times 10' = 18\phi$
 " tag sign - $2' \times 3' = 6$
21\phi

but 35 signs
proposed. 8\phi
29\phi bld

5-15-12 Application was taken in incorrectly. Awning has signage so fees are incorrect. Permit 2012-04-3829 has been issued with one wall sign and one hanging sign. The signage on the awning would be a third sign. Need to talk to Deb Andrews since it is also historic. -amachado

5-15-12 I spoke with Deb Andrews. The wall sign, hanging sign and logo on the awning do not meet the ordinance. I spoke to Sue Hellier and she has agreed to remove the logo from the awning and just have the new awning with the checkerboard pattern. With this change the fees are now correct. -amachado



Signage/Awning Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- Certificate of Liability listing the City as additional insured if any portion of the sign abuts or encroaches on any public right of way, or can fall into any public right of way.
- Letter of permission from the owner indicating the permissions granted and the tenant/space building frontage.
- A sketch plan of lot indicating location of buildings, driveways and any abutting streets or rights of way, lengths of building frontages, street frontages and all existing setbacks. Please indicate on the plan all existing and proposed signs with their dimensions and specific locations. Be sure to include distance from the ground and building façade dimensions for any signage attached to the building.
- A sketch or photo of any proposed sign(s) indicating content, dimensions, materials, source of illumination, construction method as well as specifics of installation/attachment.
- Certificate of flammability required for awning, canopy or banner.
- A UL# is required for lighted signs at the time of final inspection.
- Photos of existing signage
- Details for sign fastening, attachment or mounting in the ground.

Permit fee for signage or awning-with-signage: \$30.00 plus \$2.00 per square foot of sign.

Permit fee for awning-without-signage is based on cost of work:
\$30.00 for the first \$1,000.00, \$10.00 per additional \$1,000.00 of cost.

Base application fee for any Historic District signage is \$75.00.



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Receipts Details:

Tender Information: Check , BusinessName: Pilk Events & Designs LLC, Check Number: 1268

Tender Amount: 90.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 5/8/2012

Receipt Number: 43704

Receipt Details:

Referance ID:	6436	Fee Type:	BP-HRAD
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Job ID: 2012-05-3944-SIGN - replace awning, no signage			
Additional Comments: 5 Moulton St			

Referance ID:	6437	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	40.00	Charge Amount:	40.00
Job ID: Job ID: 2012-05-3944-SIGN - replace awning, no signage			

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8496

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z

CBL 032 S005001
Land Use Type OFFICE & BUSINESS SERVICE
Property Location 5 MOULTON ST
Owner Information MOULTON STREET REALTY LLC
 5 MOULTON ST
 PORTLAND ME 04101
Book and Page 22459/319
Legal Description 32-S-5
 COMMERCIAL ST 163-167
 MOULTON ST 1-5
 3576 SF
Acres 0.082

Current Assessed Valuation:

TAX ACCT NO.	4844	OWNER OF RECORD AS OF APRIL 2011
		MOULTON STREET REALTY LLC
LAND VALUE	\$201,900.00	5 MOULTON ST
BUILDING VALUE	\$1,722,300.00	PORTLAND ME 04101
NET TAXABLE - REAL ESTATE	\$1,924,200.00	
TAX AMOUNT	\$35,174.38	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Best viewed at 800x600, with Internet Explorer

Building Information:

Building 1
Year Built 1900
Style/Structure Type OFFICE BUILDING - LOW-RISE
Units 1
Building Num/Name 1 - COMMUNIQUES
Square Feet 25752

[View Sketch](#)

[View Map](#)

[View Picture](#)



Exterior/Interior Information:

Building 1
Levels B1/B1
Size 3512
Use SUPPORT AREA
Height 7
Heating NONE
A/C NONE

Building 1
Levels 01/01
Size 3512
Use RETAIL STORE
Height 12
Walls BRICK/STONE
Heating ELECTRIC
A/C CENTRAL

Building 1
Levels 02/03
Size 3512
Use MULTI-USE OFFICE
Height 10
Walls BRICK/STONE
Heating ELECTRIC
A/C CENTRAL

Building 1
Levels 04/05
Size 3512
Use OFFICE BUILDING
Height 10
Walls BRICK/STONE



no logo.
5/15/12 ABW

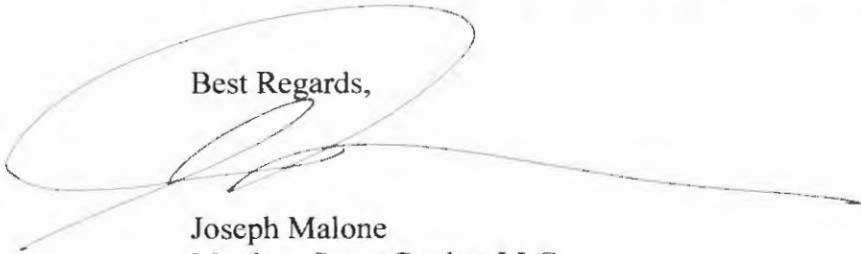
**Moulton Street
Realty, LLC**

April 19, 2012

To Whom It May Concern:

As owner of the building located at 5 Moulton Street and 163 Commercial St, Portland, Maine, we approve the attached awing design for the 1st floor space known as 163 Commercial St. Final approval coming from the City of Portland, verifying the attached to be in compliance with the City's awing ordinances.

Best Regards,

A handwritten signature in black ink, appearing to read 'Joseph Malone', with a long horizontal flourish extending to the right.

Joseph Malone
Moulton Street Realty, LLC

ACORD**CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY)

04/30/2012

PRODUCER **207.487.5167** FAX **207.487.3006**
United Insurance
Lehr Agency
106 Hunnewell Ave - PO Box 279
Pittsfield, ME 04967

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED **Maine Bay Canvas**
53 Industrial Way
Portland, ME 04103

INSURERS AFFORDING COVERAGE	NAIC #
INSURER A: Massachusetts Bay Ins Co	22306
INSURER B: Allmerica Financial Benefit In	41840
INSURER C: Hanover Ins Co	22292
INSURER D: Maine Employers Mutual Ins. Co	11149
INSURER E:	

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR	INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS	
A		GENERAL LIABILITY	ZDP9087667 01	05/01/2012	05/01/2013	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 500,000
		CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person)	\$ 10,000
						PERSONAL & ADV INJURY	\$ 1,000,000
						GENERAL AGGREGATE	\$ 2,000,000
						PRODUCTS - COMP/OP AGG	\$ 2,000,000
						GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	
B		AUTOMOBILE LIABILITY	AWP9083410	05/01/2012	05/01/2013	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
		ANY AUTO				BODILY INJURY (Per person)	\$
	<input checked="" type="checkbox"/>	SCHEDULED AUTOS				BODILY INJURY (Per accident)	\$
	<input checked="" type="checkbox"/>	HIRED AUTOS				PROPERTY DAMAGE (Per accident)	\$
		NON-OWNED AUTOS					
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$
		ANY AUTO				OTHER THAN EA ACC	\$
						AUTO ONLY: AGG	\$
C		EXCESS / UMBRELLA LIABILITY	UHP9079209	05/01/2012	05/01/2013	EACH OCCURRENCE	\$ 1,000,000
	<input checked="" type="checkbox"/>	OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$
		DEDUCTIBLE					\$
	<input checked="" type="checkbox"/>	RETENTION \$ 0					\$
							\$
D		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	1810091129	05/01/2012	05/01/2013	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input type="checkbox"/> OTH-ER	
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)				E.L. EACH ACCIDENT	\$ 500,000
		If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE	\$ 500,000
						E.L. DISEASE - POLICY LIMIT	\$ 500,000
		OTHER					

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

awning recover**CERTIFICATE HOLDER**

The Cabot Creamery Cooperative
Stephanie Pilk
163 Commercial St
Portland, ME 04101

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL **10** DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Beth Smith/BSS*Beth Smith*

ACORD 25 (2009/01)

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IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

This Certificate of Insurance does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.