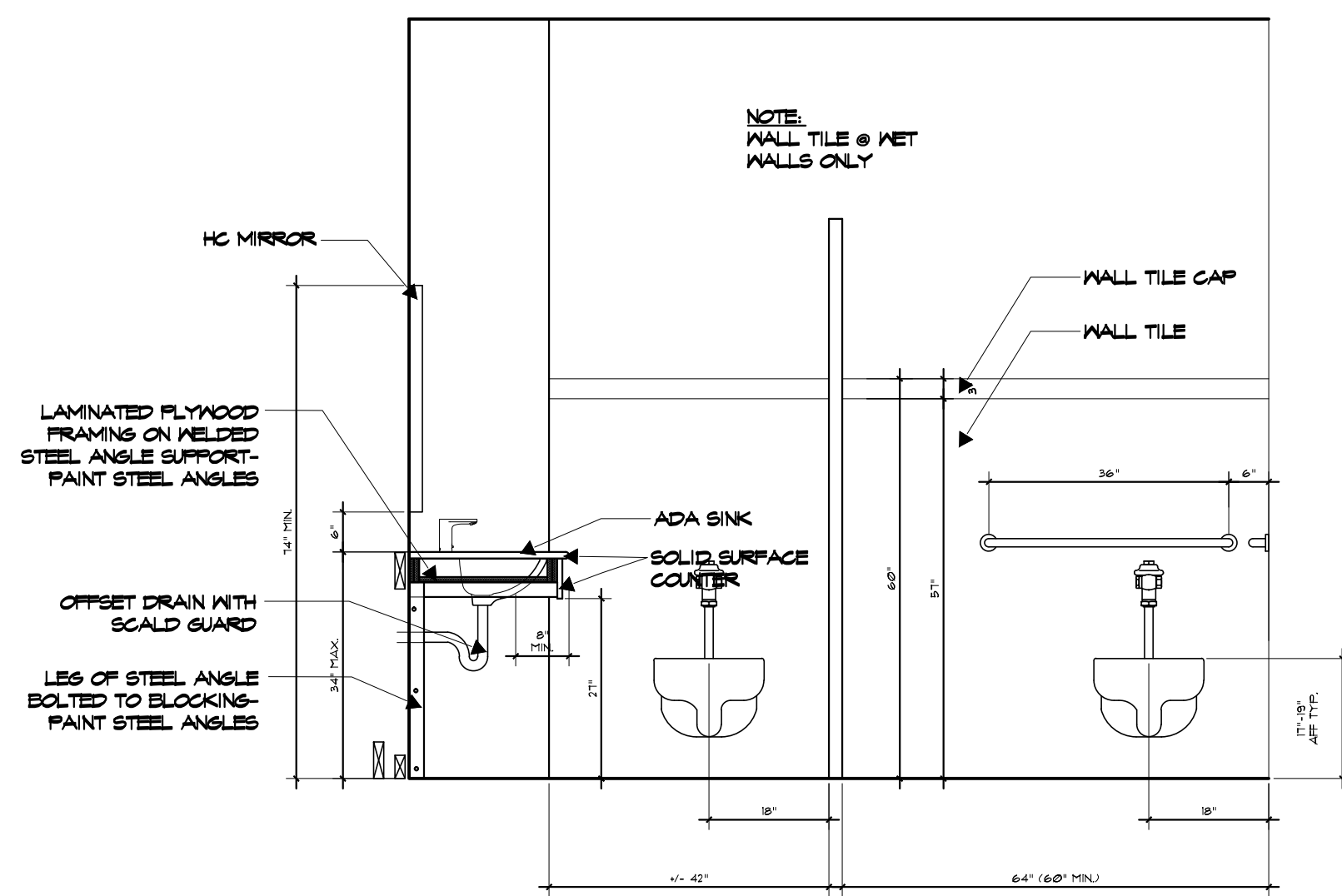
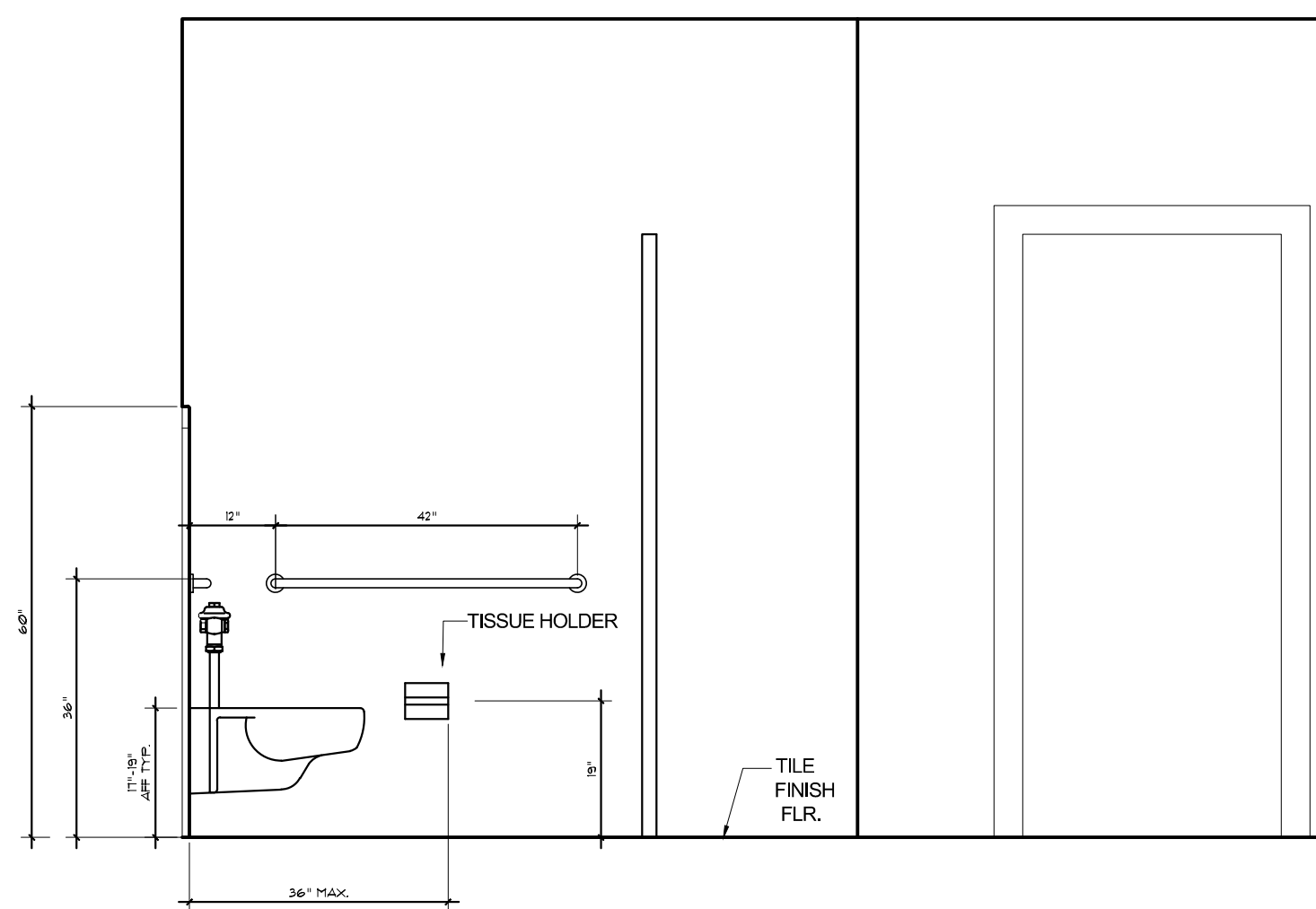


SECOND FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"



BATH ELEVATIONS
SCALE: 1/2" = 1'-0"



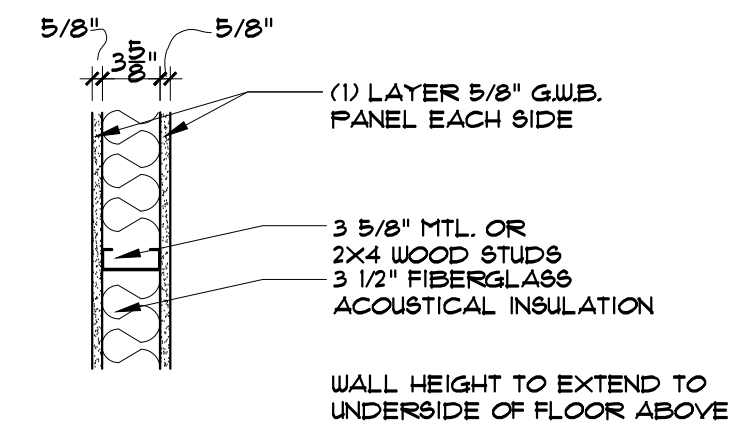
BATH ELEVATIONS
SCALE: 1/2" = 1'-0"

PROJECT NOTES

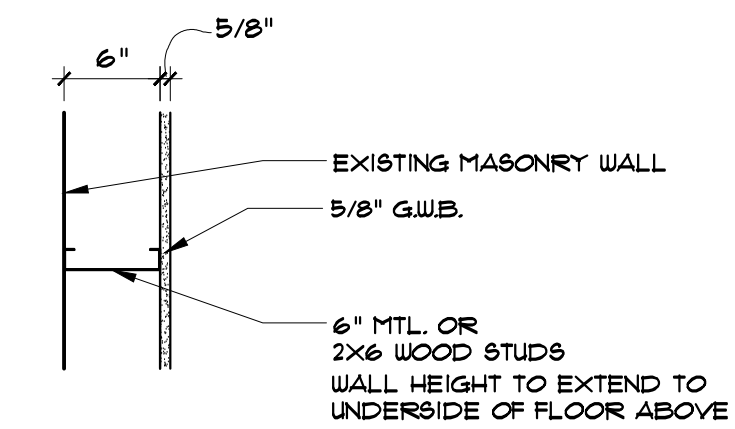
- SCOPE OF WORK: THE PROJECT INCLUDES THE INTERIOR BATHROOM RELOCATION FOR THE SECOND FLOOR OF THE MOULTON BLOCK AT 161 COMMERCIAL STREET. THE PROJECT WILL NOT REQUIRE A CHANGE OF USE.
- SPRINKLER SYSTEM - MODIFY HEAD LOCATIONS PER NEW PLAN AND PER NFPA 13.
- EXISTING LIFE SAFETY EQUIPMENT SHALL BE RELOCATED TO THE NEW LOCATION. PROVIDE NEW AS REQUIRED. ANY LIFE SAFETY WORK PERFORMED IN FIELD SHALL CONFORM TO NFPA 12 AND BE APPROVED BY CITY OF PORTLAND FIRE DEPARTMENT.
- HVAC - VERIFY HVAC SYSTEM REQUIREMENTS W/ OWNER & PROVIDE NEW SUPPLY AS REQUIRED.

GENERAL NOTES

- THE SPACE SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, NFPA 101, ANSI, UFAS, HUD/AG, ADA/AG, MPB.
- CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
- INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
- INSTALL MOISTURE RESISTANT GYPSUM BOARD IN RECYCLE/TRASH, JANITOR CLOSETS, AND ALL OTHER HIGH HUMIDITY AREAS, INCLUDING UNIT BATHROOMS.
- ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
- INSTALL UL FIRE-STOPPING SEALANT/SYSTEM EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
- FIRESTOP VERTICAL MECHANICAL CHASES & FLOOR & CEILING PENETRATIONS. CAULK JOINTS.
- CONTINUE SEPARATION WALLS TO UNDERSIDE OF FLOOR/CEILING ABOVE. UNIT TO UNIT, UNIT TO CORRIDOR, CORRIDOR WALLS, STORAGE WALLS, ELEVATOR, STAIRWELL WALLS, ETC.
- PATCH & PAINT ALL AREAS OF DEMOLITION THAT ARE EXPOSED PER THE DESIGN.



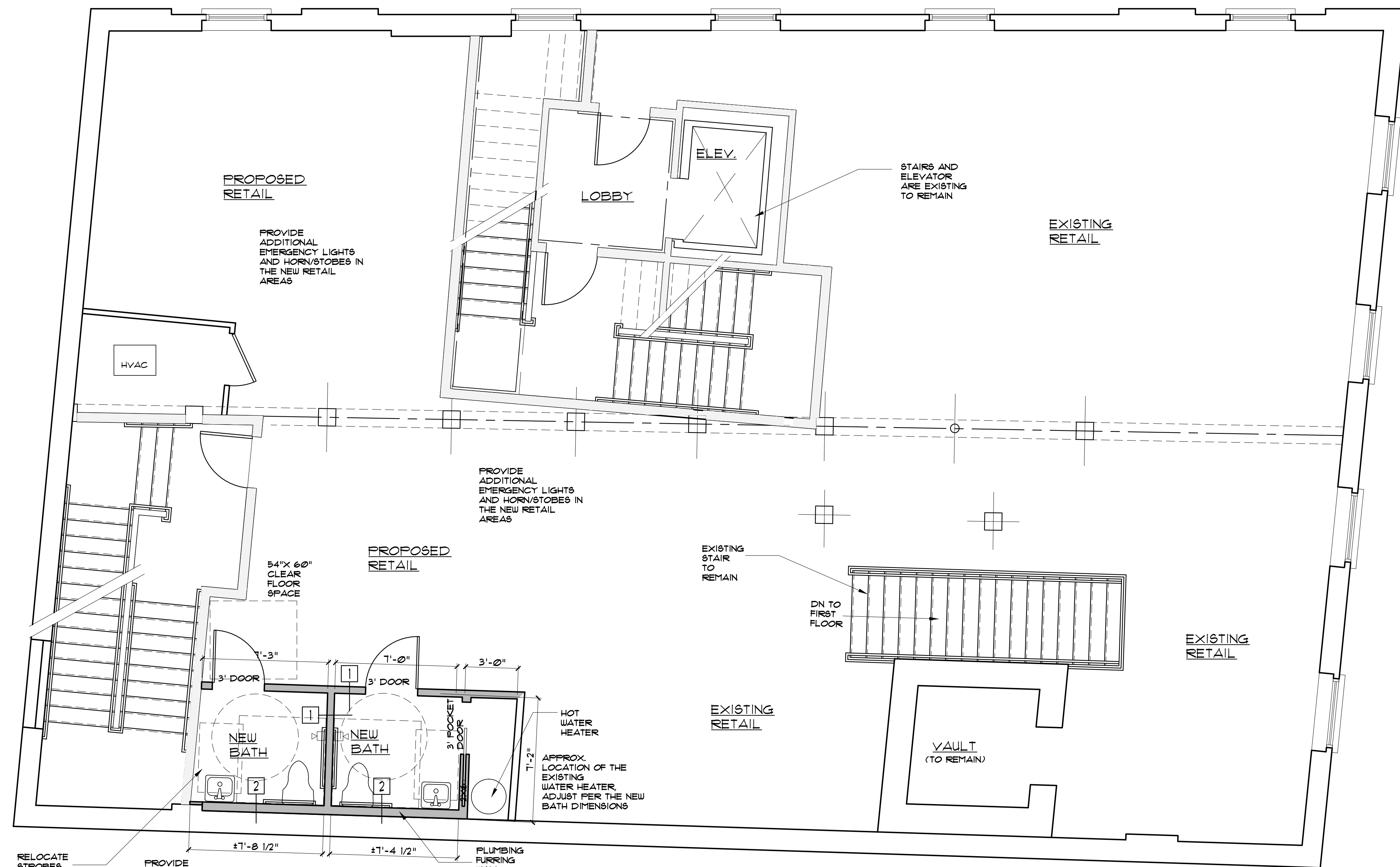
1 3 5/8" MTL. STUD WALL
CAULK PERIMETER (NON-RATED)



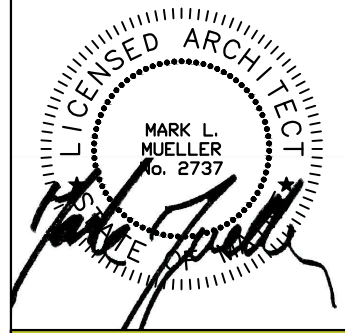
2 6" MTL. STUD WALL

WALL LEGEND

- EXISTING WALL
- NEW WALL
- FIRE RATED WALL
- EXISTING WALL TO BE REMOVED



SECOND FLOOR RENOVATION PLAN
SCALE: 1/4" = 1'-0"



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MARK MUELLER ARCHITECTS

Le Roux Kitchen
161 Commercial Street
Portland

SECOND FLOOR BATHROOM RELOCATION

REVISIONS	DATE
	09.26.2016
PROJECT	LeRoux Kitchen
DRAWN BY	...
CHECK BY	M.M.

A-1.0

BUILDING PERMIT SHEET: OCTOBER 4, 2016