

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that ROBDOG REALTY LLC

Located At 161 COMMERCIAL ST

Job ID: 2011-12-2887-ALTCOMM

CBL: 032- S-004-001

has permission to Renovate existing space LeRoux Kitchen to expand into adjacent space, masonry opening, fire shutter provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

MB 1/5/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

WITHDRAW

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-12-2887-ALTCOMM	Date Applied: 12/8/2011	CBL: 032- S-004-001	
Location of Construction: 161 COMMERCIAL ST	Owner Name: ROBDOG REALTY LLC	Owner Address: 336 DANFORTH ST PORTLAND, 04102 ME - MAINE	Phone: 207-772-1493
Business Name: Leroux Kitchen	Contractor Name: Monaghan Woodworks	Contractor Address: 100 Commercial St., Portland, ME 04101	Phone: 207-775-2683
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: Retail	Proposed Use: Same - retail - expand Rioux Kitchen into the space next door at 163 Commercial Street w/interior alterations	Cost of Work: 8000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>[Signature]</i> (58)	Inspection: Use Group: M Type: 3B DBL-2009 Signature: <i>[Signature]</i> 1/5/12
Proposed Project Description: proposed wall penetration for joint space		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews

☐ Shoreland
☐ Wetlands
☐ Flood Zone
☐ Subdivision
☐ Site Plan

☐ Maj ☐ Min ☐ MM

Date: *OK w/ conditions*
12/14/11 *ASB*

CERTIFICATION

Zoning Appeal

☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Date:

Historic Preservation

☐ Not in Dist or Landmark
☐ Does not Require Review
☐ Requires Review
☐ Approved
☐ Approved w/Conditions
☐ Denied

Date: *Any exterior work*
Requires separate review
approval thru historic
preservation

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-12-2887-ALTCOMM

Located At: 161 COMMERCIAL

CBL: 032- S-004-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.
3. The fire door shall close upon automatic smoke detection installed on both sides of the door per NFPA 72, not on general alarm.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.
6. Fire Alarm system shall be maintained. If system is to be off line over 4 hours a fire watch shall be in place. Dispatch notification required 874-8576.
7. All smoke detectors and smoke alarms shall be photoelectric.
8. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.
9. A Knox Box is required.
10. A firefighter Building Marking Sign is required.
11. Fire extinguishers are required per NFPA 10.
12. All means of egress to remain accessible at all times.
13. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
14. Any cutting and welding done will require a Hot Work Permit from Fire Department.
15. Walls in structure are to be labeled according to fire resistance rating. IE; 1 hr. / 2 hr. / smoke proof.
16. A single source supplier should be used for all through penetrations.

Job ID: 2011-12-2887-ALTCOMM

Located At: 161 COMMERCIAL

CBL: 032- S-004-001

Building

1. Application approval based upon information provided by applicant, including updated project notes. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. Oversight required as per the structural engineer, a compliance letter shall be submitted prior to the final inspection.



B-3
hshu

General Building Permit Application

2011 12 2887

66

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: LEROUX KITCHEN - ANNEX			161 Commercial
Total Square Footage of Proposed Structure N/A		Square Footage of Lot N/A	
Tax Assessor's Chart, Block & Lot Chart# 032 Block# S004 Lot# 001	Owner: ROBDOG REALTY LLC 336 DANFORTH ST PORTLAND, MAINE 04102	Telephone: 207.772.1493	
Lessee/Buyer's Name (If Applicable) LEROUX KITCHEN 161 COMMERCIAL STREET PORTLAND, MAINE 04101	Applicant name, address & telephone: MARK MUELLER ARCHITECTS 100 COMMERCIAL ST. - SUITE 205 PORTLAND, MAINE 04101 P: 207.774.9057	Cost Of Work: \$ 8,000.00 Fee: \$ 100.00 C of O Fee: \$ N/A	
Current Specific use: <u>MERCANTILE</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>MERCANTILE</u>			
Project description: PROPOSED PARTY WALL PENETRATION FOR JOINT SPACE BETWEEN BUILDINGS AT THE FIRST FLOOR ONLY. INSTALLATION OF A FIRE SHUTTER PER 2009 IBC & 2009 NFPA, SEE ATTACHED SPECIFICATIONS SHEET. (Expansion of Leroux Kitchen into building next door - 32-5005 (163 Commercial St))			
Contractor's name, address & telephone: MONAGHAN WOODWORKS			
Who should we contact when the permit is ready: MICHAEL MONAGHAN		RECEIVED DEC - 8 2011 Dept. of Building Inspections City of Portland Maine	
Mailing address: 100 COMMERCIAL STREET Phone: 207.775.2683 PORTLAND, ME 04101			

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Mark Mueller*

Date: DECEMBER 07, 2011

This is not a permit; you may not commence ANY work until the permit is issued.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

Dec 5 2011

Received from Aluminum Siding

Location of Work 161 Commercial

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (1L) _____ Plumbing (15) _____ Electrical (12) _____ Site Plan (U2) _____

Other _____

CBL: 25

Check #: 2676 Total Collected \$ 100.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

**Moulton Street
Real Estate, LLC**

December 14, 2011

City of Portland
Planning Office
385 Congress St.
Portland, ME 04101

Dear Sir or Madam:

In reference to a building permit for an opening into our space at 163 Commercial Street, we as owner of the building are working in full cooperation with Michael Levandowski (aka Leroux Kitchen) of 161 Commercial St; Monahan Woodworks, and Muller Architects.

Thank you for your kind consideration in this matter.

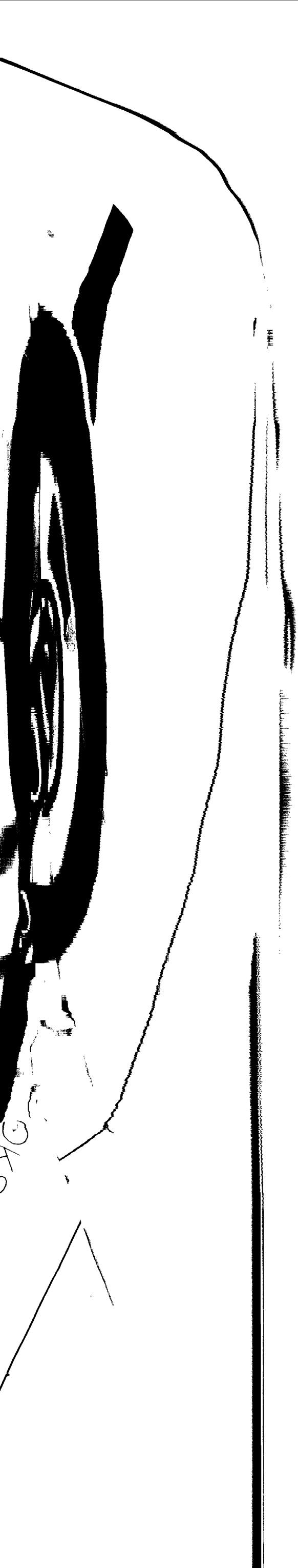
Best Regards,


Joseph Malone
Member
Moulton Street Real Estate, LLC

RECEIVED

DEC 14 2011

Dept. of Building Inspections
City of Portland Maine



1.0 GENERAL

1.1 WORK INCLUDED:

DOORS AS SHOWN ON COOKSON DWGS. COME COMPLETE WITH CURTAIN, BARREL, BOTTOM BAR, GUIDES, OPERATING MECHANISM AND HOOD.

1.2 WORK NOT INCLUDED:

PREPARATION OF OR SUPPLYING JAMBS, LINTELS OR OTHER STRUCTURAL SUPPORT, METAL TRIM, ACCESS PANELS, HATCHES OF FIELD PAINTINGS. WHERE MOTORS AND/OR OTHER ELECTRICAL DEVICES ARE FURNISHED BY COOKSON CO., ALL CONDUIT, WIRE, FITTINGS AND DISCONNECT SWITCHES ARE BY OTHERS. WHERE DOORS MOUNT ON IRREGULAR SURFACES, ALL CAULKING OF GAPS IS BY OTHERS.

2.0 CURTAINS

2.1 INTERLOCKING SLAT:

TO BE OF THE CONFIGURATION, MATERIAL AND THICKNESS SHOWN ON COOKSON CO. DRAWINGS. IN ADDITION:

- A.) SERVICE DOOR CURTAINS WILL BE DESIGNED FOR A 20 LB. PER SQ. FT. LOAD, UNLESS OTHERWISE SPECIFIED. WINDLOCKS TO BE FURNISHED ONLY WHEN SPECIFIED OR OPENING WIDTH DICTATES NEED FOR SAME.
- B.) FIRE DOOR CURTAINS TO BE FURNISHED IN STRICT ACCORDANCE WITH FIRE DOOR SPECIFICATIONS FOR RATING SPECIFIED.

2.2 GRILLE SECTION:

TO BE CONSTRUCTED TO PATTERN, MATERIAL AND SPACING AS NOTED ON COOKSON CO. DRAWINGS.

3.0 BOTTOM BARS

FOR DOORS TO BE AS SHOWN ON COOKSON CO. DRAWINGS.

4.0 LOCKING DEVICES

UNLESS SPECIFIED OR NOTED OTHERWISE ON COOKSON CO. DRAWINGS ARE TO BE AS FOLLOWS:

4.1 SERVICE OR FIRE DOOR:

- A.) PUSH-UP OPERATED DOOR: PADLOCKABLE LATCHES MOUNTED ON EACH GUIDE.
- B.) CHAIN OPERATED DOOR: PADLOCKABLE CHAIN LOCK MOUNTED ON OPERATIONAL SIDE OF DOOR.
- C.) CRANK OPERATED DOOR: PADLOCKABLE CRANK HANDLE RETAINER ON OPERATIONAL SIDE OF DOOR.
- D.) MOTOR OPERATED DOOR: NONE.

4.2 COUNTER OR COUNTER FIRE DOOR:

(ALL OPERATORS OTHER THAN MOTOR) NON-LOCKABLE SLIDING BOLT MOUNTED WITHIN TUBULAR BOTTOM BAR, OPERABLE FROM ONE SIDE OF OPENING ONLY.

4.3 GRILLES:

- A.) PUSH-UP AND CRANK OPERATED: CYLINDER LOCK AT BOTH JAMBS.
- B.) CHAIN AND MOTOR OPERATED: CYLINDER LOCK AT BOTH JAMBS.

5.0 BARRELS

DEFLECTION LIMITED TO .03 INCH PER FOOT OF SPAN. OIL TEMPERED SPRING TO BE DESIGNED TO COUNTERBALANCE WEIGHT OF CURTAIN. SPRING ADJUSTMENT BY WHEEL MOUNTED ON SHAFT JOURNALING OF GREASE - PACKED BALL BEARINGS.

6.0 BRACKETS

6.1 SERVICE, FIRE, GRILLE AND COUNTERDOOR:

UNLESS OTHERWISE SPECIFIED OR NOTED, TO BE FABRICATED FROM STEEL MILL PLATE.

7.0 GUIDES

7.1 SERVICE, FIRE & COUNTER FIRE DOOR GUIDES:

TO BE FABRICATED TO THE CONFIGURATION SHOWN ON COOKSON CO. DRAWINGS AND CONNECTED TO THE JAMB WITH 3/8" DIAMETER (MIN) STEEL FASTENERS AT NOT GREATER THAN 36" FOR SERVICE DOORS OR 24" FOR FIRE DOORS. GUIDES FOR FIRE DOORS TO CONFORM IN SIZE, CONFIGURATION AND THICKNESS AS REQUIRED BY FIRE DOOR SPECIFICATIONS.

7.2 COUNTER DOOR AND GRILLES:

GUIDE SECTIONS TO BE EXTRUDED ALUMINUM CONFORMING TO CONFIGURATION AND DIMENSIONS SHOWN ON COOKSON CO. DRAWINGS AND COMPLETE WITH REPLACEABLE WEAR STRIP.

8.0 HOODS - FLASHING AND DUST COVERS

WHEN SUPPLIED BY THE COOKSON CO. WILL BE MANUFACTURED TO THE CONFIGURATION, MATERIAL AND GAUGE AS SHOWN ON COOKSON CO. DRAWINGS. HOODS FOR FIRE DOORS ARE FABRICATED TO FIRE DOOR SPECIFICATIONS.

9.0 OPERATION

9.1 GENERAL:

- A.) PUSH-UP: BY MEANS OF HANDLES OR FINGER LIFTS.
- B.) CRANK OPERATION: BY MEANS OF A CRANK HANDLE AND A TURNING EFFORT LIMITED TO 100 IN. LBS.
- C.) CHAIN OPERATION: BY MEANS OF AN ENDLESS GALVANIZED STEEL CHAIN. MANUAL EFFORT LIMITED TO 30 LBS. MAXIMUM CHAIN PULL.
- D.) MOTOR OPERATION: BY MEANS OF A MOTOR DRIVING A SPROCKET AND CHAIN ARRANGEMENT. MOTOR OPERATORS TO BE COMPLETE WITH AN EMERGENCY MANUAL OPERATOR.

9.2 FIRE DOORS:

ARE TO BE OPERATED BY ONE OF THE AFOREMENTIONED MEANS AND, IN ADDITION, CLOSE AUTOMATICALLY UPON RELEASE OF AN APPROVED HEAT - SENSING DEVICE.

10. FINISH

10.1 FERROUS METALS:

ARE TO RECEIVE A FACTORY APPLIED COAT OF PRIMER AND IF ZINC OR CADMIUM COATED, A PRE PAINT TREATMENT IS TO BE APPLIED PRIOR TO PRIMING.

10.2 CORROSION - RESISTANT STEEL:

TO BE FINISHED AS NOTED ON COOKSON CO. DRAWINGS.

10.3 NON - FERROUS METALS:

TO BE FINISHED AS NOTED ON COOKSON CO. DRAWINGS.

NOTES:

1.) THE WALL OR JAMB, TO WHICH THE DOOR OR GRILLE WILL BE MOUNTED, MUST BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE.

2.) ON DOORS UNDER THE HEIGHT OF SEVEN FEET, CERTAIN REGULATIONS REQUIRE PINCH POINTS ON ALL CHAINS AND SPROCKETS BE COVERED. AS AN OPTION, THE COOKSON COMPANY WILL FURNISH THESE COVERS AS SPECIFIED.

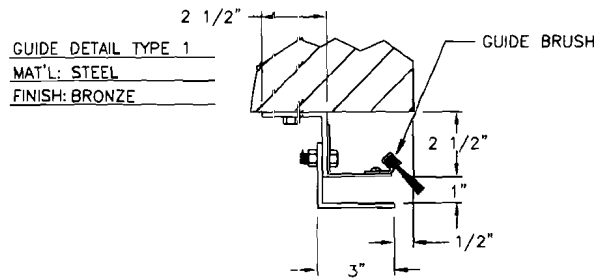
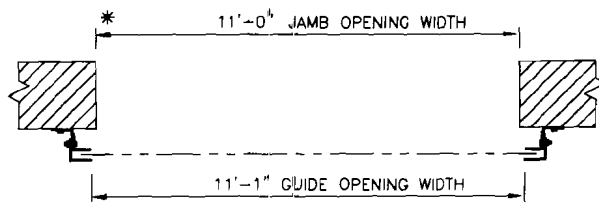
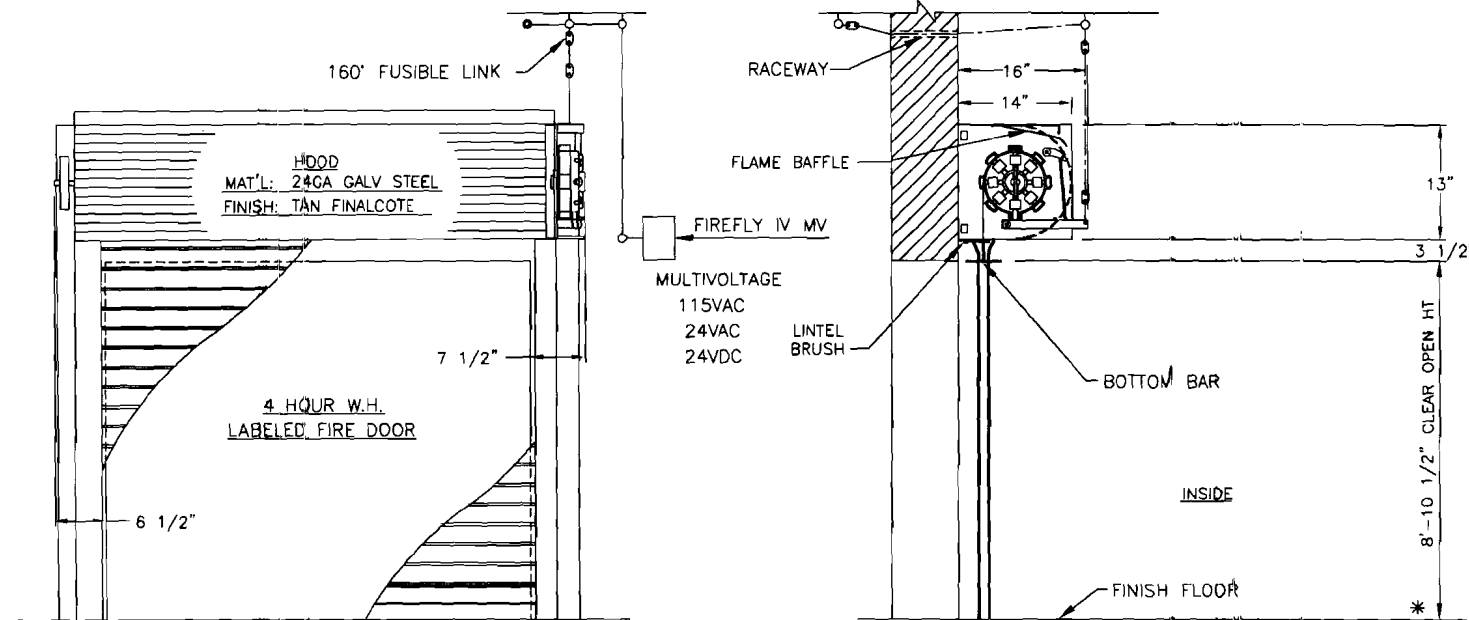
3.) THIS SHEET IS DESIGNED TO NOTE "GENERAL SPECIFICATIONS" FOR STANDARD COOKSON DOORS. DOORS DESIGNED FOR SPECIFIC CONDITION(S) SHALL HAVE ADDITIONAL NOTATIONS ON THE INDIVIDUAL SHOP DRAWING IN WHICH THAT DOOR APPEARS. CHANGES TO THIS SHEET WILL NOT BE MADE.

3			
2			
1	KJM	12/06/11	NO CHANGE
	KJM	12/06/11	ORIGINAL DRAWING
NO.	BY	DATE	REVISION

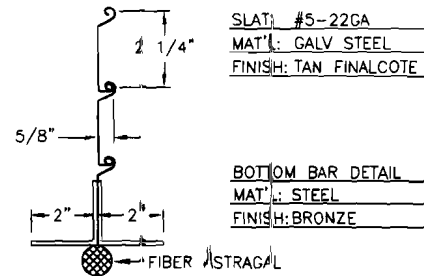


JOB: LEROUX KITCHEN FIRE DOOR	
CONTRACTOR:	
ARCHITECT:	
DISTRIBUTOR: DOOR SERVICES -- MAINE	
DRAWING NO. 1110060160	1 OF 2

SPECIFICATIONS AND DESIGN CRITERIA FOR COOKSON ROLLING DOORS



* MASONRY WALL
CONSTRUCTION



NOTES:

01. GENERAL SPECIFICATIONS SEE SHEET 1.
02. APPROX. WT. OF DOOR IS 965 LBS.
03. THE MANUFACTURER ASSUMES THAT THE FIRE DOOR(S), THE WALL AND/OR MOUNTING CONDITION ALONG WITH THE FASTENERS USED IN ATTACHING THE DOOR(S) TO THE STRUCTURE MEET WITH THE "AUTHORITY HAVING JURISDICTION'S" APPROVAL. FOR FURTHER REFERENCE CONSULT N.F.P.A. BULLETIN 80.

DIMENSIONS AND CLEARANCES AS NOTED BY
ASTERISK (*) MUST BE FIELD CHECKED.

VERIFIED BY: _____ ON: _____

MAKE	HAND	ARCH. MARK	DOOR MARK
1	AS SHOWN	1	R1
	OPPOSITE		
3			
2			
1	KJM	12/06/11	WALL & GUIDE TYPE
	KJM	12/06/11	ORIGINAL DRAWING
NO.	BY	DATE	REVISION



JOB: LEROUX KITCHEN FIRE DOOR
 CONTRACTOR:
 ARCHITECT:
 DISTRIBUTOR: DOOR SERVICES - MAINE

DRAWING NO. 1110060160

2 OF 2

FIRE DOOR || PUSHUP || FACEMTD



COOKSON ROLLING DOORS

COOKSON

ROLLING DOORS • FIRE DOORS • GRILLES • COUNTER DOORS • SIDE COILING PARTITIONS

THE BEST WAY TO CLOSE AN OPENING

JOB: LEROUX KITCHEN FIRE DOOR

LOCATION:

CONTRACTOR:

ARCHITECT:

DISTRIBUTOR: DOOR SERVICES - MAINE

P.O. NUMBER:

JOB NUMBER: 1110060160