

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that OLD PORT RETAIL HOLDINGS LLC

Located At 446 FORE ST

Job ID: 2012-09-4935-ALTCOMM

CBL: 032 R-008-001

has permission to Enclose the basement stairs and exit corridor, install smoke/fire doors, build new exit stairs at rear basement and new stair into enclosed storage area. Eliminate electrical hazards.

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

A handwritten signature in black ink that reads 'Jamie Bouke'.

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Certificate of Occupancy Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-09-4935-ALTCOMM Located At: 446 FORE ST

CBL: 032- R-008-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Building

1. Application approval based upon information provided by the applicant or design professional, including revisions dated received 11/16 & 20, and the scope of work on 11/7. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. New cafe, restaurant, lounge, bar or retail establishment where food or drink are sold and/or prepared shall meet the requirements of the City and State Food Codes.
4. Approval of City license is subject to health inspections per the Food Code.
5. A Certificate of Occupancy shall be issued prior to occupying this space; an additional \$75 fee has been assessed for this inspection and document.

Fire

All construction shall comply with City Code Chapter 10.

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Fire extinguishers are required. Installation per NFPA 10.

The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.

A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.

A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.

Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.

Non-combustible construction of this structure requires all construction to be Non-combustible.

Any cutting and welding done will require a Hot Work Permit from Fire Department.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-4935-ALTCOMM	Date Applied: 9/11/2012	CBL: 032- R-008-001	
Location of Construction: 446 FORE ST	Owner Name: BACM-2007-3 WHARF STREET LLC	Owner Address: ONE CANAL PLAZA PORTLAND, ME 04101	Phone:
Business Name: Pearl	Contractor Name: Richard Magee/ East Coast Painting	Contractor Address: 52 Country RD, Gorham, ME	Phone: 807-8181
Lessee/Buyer's Name: Jesse C. Philbrick - 46 Bergeron Drive, Arundel, ME 04046	Phone: 284-3634	Permit Type: BLDG ALT	Zone: B-3
Past Use: Drinking Establishment/Lounge	Proposed Use: Same: Drinking Establishment/ Lounge - bringing a corridor up to Fire code to be used an emergency exit as per plans	Cost of Work: \$5,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: A-2 Type: 3B MUBEL'09 Signature: JMR 11/20/12
Proposed Project Description:	Pedestrian Activities District (P.A.D.)		
Permit Taken By: Gayle	Zoning Approval		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK with conditions</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><i>- within -</i></p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>Any exterior work requires a separate review: Approved</i></p> <p>Date:</p>
	<p>CERTIFICATION 9/13/12</p>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

2012 09 4935
 Crayler



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>446 Fore St</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>039</u> Block# <u>2006</u> Lot#	Applicant *must be owner, Lessee or Buyer* Name <u>Jesse C Philbrick III</u> Address <u>76 Bergeron Dr</u> City, State & Zip <u>Arundel, ME 04016</u>	Telephone: <u>207-284-3634</u>
Lessee/DBA (If Applicable) RECEIVED <u>444 Pearl LLC - SEP 11 2012</u> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name <u>BACM - 2007-3 whol</u> Address <u>ONE CANAL PLAZA</u> City, State & Zip <u>04101</u>	Cost Of Work: \$ C of O Fee: \$ Total Fee: \$ <u>4,300.00</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? <u>Class A lounge</u> Proposed Specific use: <u>Class A lounge</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Bringing a Corridor up to fire code to be used as an emergency exit.</u>		
Contractor's name: <u>Richard Magee / East Coast Painting</u> Address: <u>52 Country Rd</u> City, State & Zip <u>Gorham, ME</u> Telephone: <u>Larry Cushing 207-807-8181 523-5138</u> Who should we contact when the permit is ready: <u>Jesse C Philbrick 207-284-3634</u> Telephone: _____ Mailing address: <u>PO Box 1337 Portland, ME 04104</u> <u>Call first</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: _____ Date: 09/10/2012

This is not a permit; you may not commence ANY work until the permit is issue



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Receipts Details:

Tender Information: Check , Check Number:

Tender Amount: 70.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 9/11/2012

Receipt Number: 48085

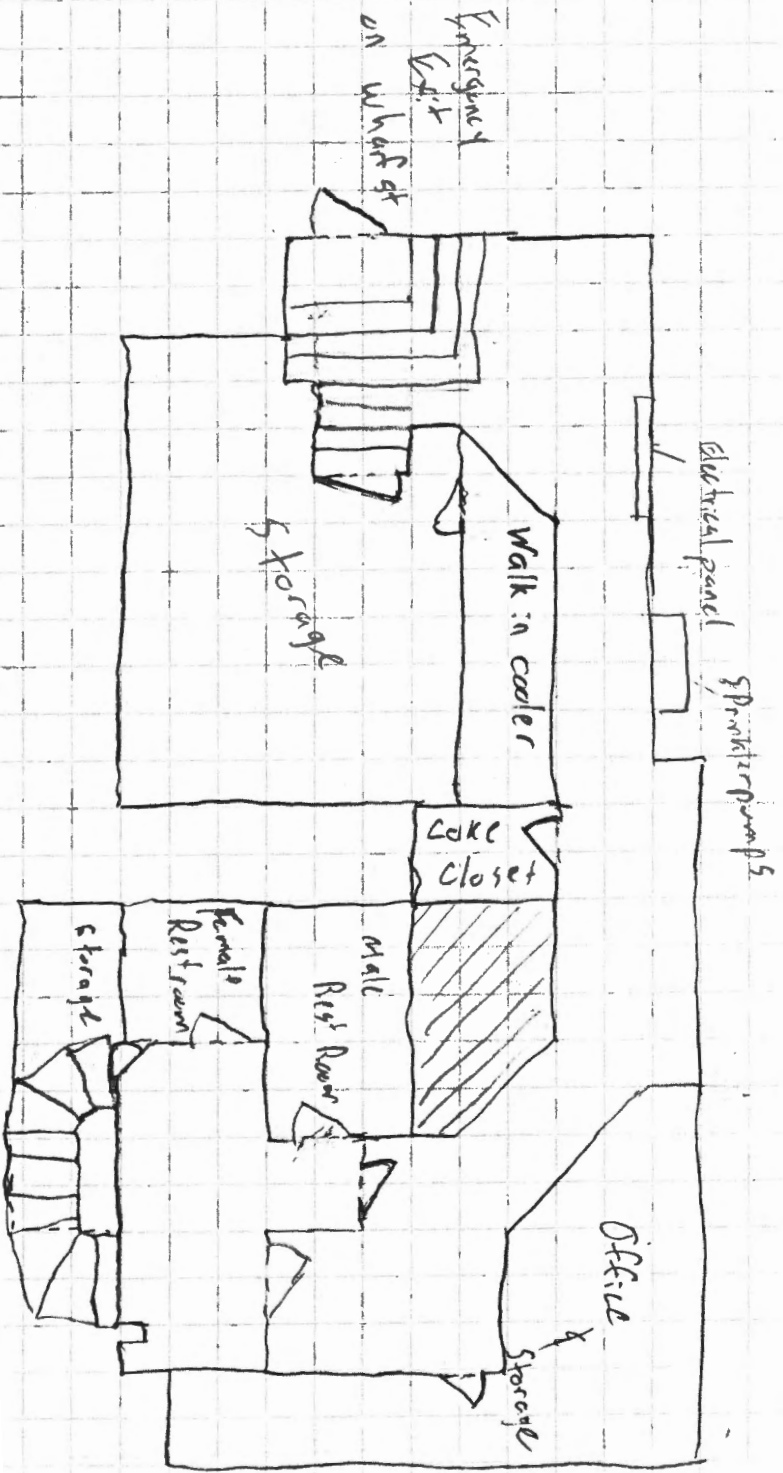
Receipt Details:

Referance ID:	7965	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	70.00	Charge Amount:	70.00
Job ID: Job ID: 2012-09-4935-ALTCOMM -			
Additional Comments: 446 Fore St.			

Thank You for your Payment!

446 Fore St.

Current Basement Floor Layout



4th Floor St

Construction for Basement & Emergency Exit Fire Compliance

- Items being addressed.
- The room at the bottom of the stairs will be framed in with a fire rated door installed. 5/8" sheet rock will be installed on all walls of room and ceiling. 5/8" sheet rock will be installed in stair well base met level.
- The door way that was on the room entering the basement will be framed in using pressure treated 2x4" and covered with 5/8" sheet rock
- The Corridor that will be used as the emergency exit will be framed in with pressure treated 2x4" and covered with 5/8" sheet rock.
- A Double door will be installed in front of the Fire speaker pump for access should the fire department need to access.
- The current stairs leading to the Emergency exit that leads onto Wharf St will be removed. It will be replaced with a 4'x4' platform. The platform will be erected with 4x4" Beams and will have two separate sets of stairs descending from it. All stairs will maintain the 11" by 7" Code and will have proper hand rails.
- All doors will be fitted with fire rated crash bars
- A drop ceiling will be installed with fire rated crash bars using Ceiling fire rated Ceiling tiles Along the entire corridor of the Emergency exit.

Electric panel
sprinkler water pump

Ceiling fire rated Ceiling tiles Along for smoke proof

- Electrical
- there are already Emergency lights & signs in place
 - Ample lighting is already in place



Jeanie Bourke - RE: Diagram for 446 Fore St

From: Larry Cushing <lcushing@unifiedtechnologies.com>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 11/5/2012 3:29 PM
Subject: RE: Diagram for 446 Fore St
CC: "sjmurray926@gmail.com" <sjmurray926@gmail.com>, "pearloldport(pearloldp...
Attachments: 446 Basement Version 1.1.pdf; 446 Fore St Modifications to provide egress access from basement bathrooms.pdf

Jeanie,

Here are the revised diagrams including the stair design. The stairs will be installed with code complaint hand rails. The door to the kitchen has been moved to the current opening. The door swing from the bathrooms has been changed. We will be moving the soda system to the kitchen and the closet area will not be created. The space will be enclosed and make smoke tight.

Please review and reply with any comments. The electrical permit will be put in tomorrow. I would like to have everyone in agreement on the plans and variants allowed by you and Ben, due to the limits of what the building allows. (Don't want to build this out and find something else missing.)

The Beam work is starting next week, so we would like to schedule all of this work to begin next week.

Thank you

Larry Cushing
 Unified Technologies
 583 Warren Ave
 Portland, Maine 04103
 207 956-6438

From: Jeanie Bourke [mailto:JMB@portlandmaine.gov]
Sent: Friday, November 02, 2012 2:01 PM
To: Benjamin Wallace; Larry Cushing
Cc: sjmurray926@gmail.com
Subject: Re: Diagram for 446 Fore St

RECEIVED
 NOV 07 2012
 Dept. of Building Inspections
 City of Portland, Maine

Hi Larry,

Thank you for the information you submitted yesterday, which included the scope of the electrical work to be addressed. This work will require an electrical permit.

Concerning the egress work, the floor plan looks pretty good, however some clarification is required such as:

446 Fore St Modifications to provide egress access from basement bathrooms

1. A 1hr fire rated door will be installed at the top of the first floor leading to the basement stairwell
2. The stairwell from the first floor to the basement bathroom area will be covered with 5/8" fire rated sheetrock on the walls and ceiling.
3. The general area outside of the bathrooms will be covered in 5/8" sheetrock
4. A 1hr fire rated door will be installed between the bathroom general area leading to the egress route (crash bar will be installed on door)
5. The cooler wall along the egress route will be framed with pressure treated 2X4 and covered with 5/8" sheetrock. All gaps will be sealed with fire rated foam
6. All penetration holes in deck and ceiling will be sealed with fire rated foam
7. The current basement stairs existing to Wharf St will be removed and rebuilt using 4"x4" support beams
8. A smoke tight door will be installed in the current door opening entering the kitchen area.

Items to be moved into prior kitchen area

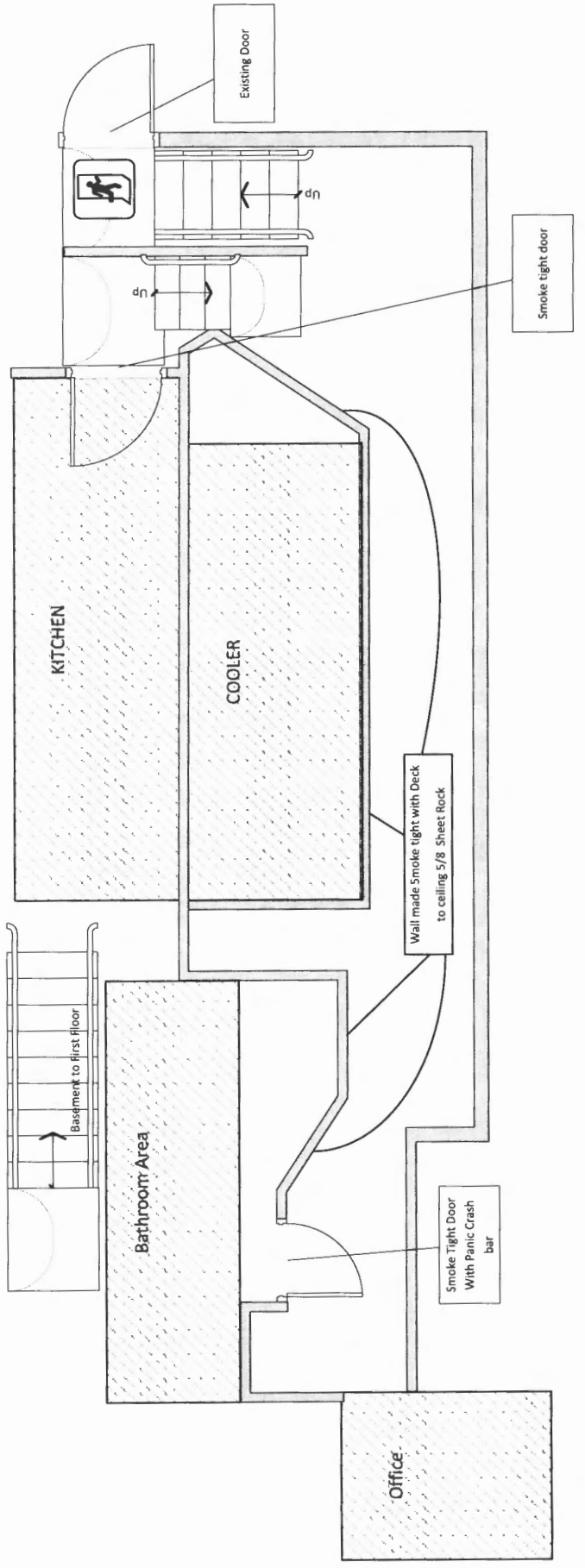
1. Soda dispensing system
2. Cooler compressor
3. CO2 Tanks

1. All electrical hazards will be address

Add proper support to all wiring
Relocated beverage pump receptacle and install GFCI
Replace (2) Double receptacle and replace with GFCI
Replace 4' Florescent Lamp and ballast
Install new Exit/Emergency Sign/Light Combo Unit
Terminate in boxes all non-used circuits
Install on switch (3) new keyless fixtures w/ CFL lamps
Remove old Fire pump live circuit and terminate
Remove old fan unit and terminate
Remove old CAT5 networking cable
Replace all damaged panel wiring
Install (8) new circuit breakers
Replace all damaged fixtures
Install covers/plates on all open boxes
Remove old damaged exit lite and replace

2. Bathroom exhaust fan duct replaced
3. Relocate CO2 Tank from Egress Route to Kitchen area
4. Relocate Soda dispensing system to new "Closet" area
5. Relocate Walk-In cooler pump from egress route to Kitchen area

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City of Portland Maine



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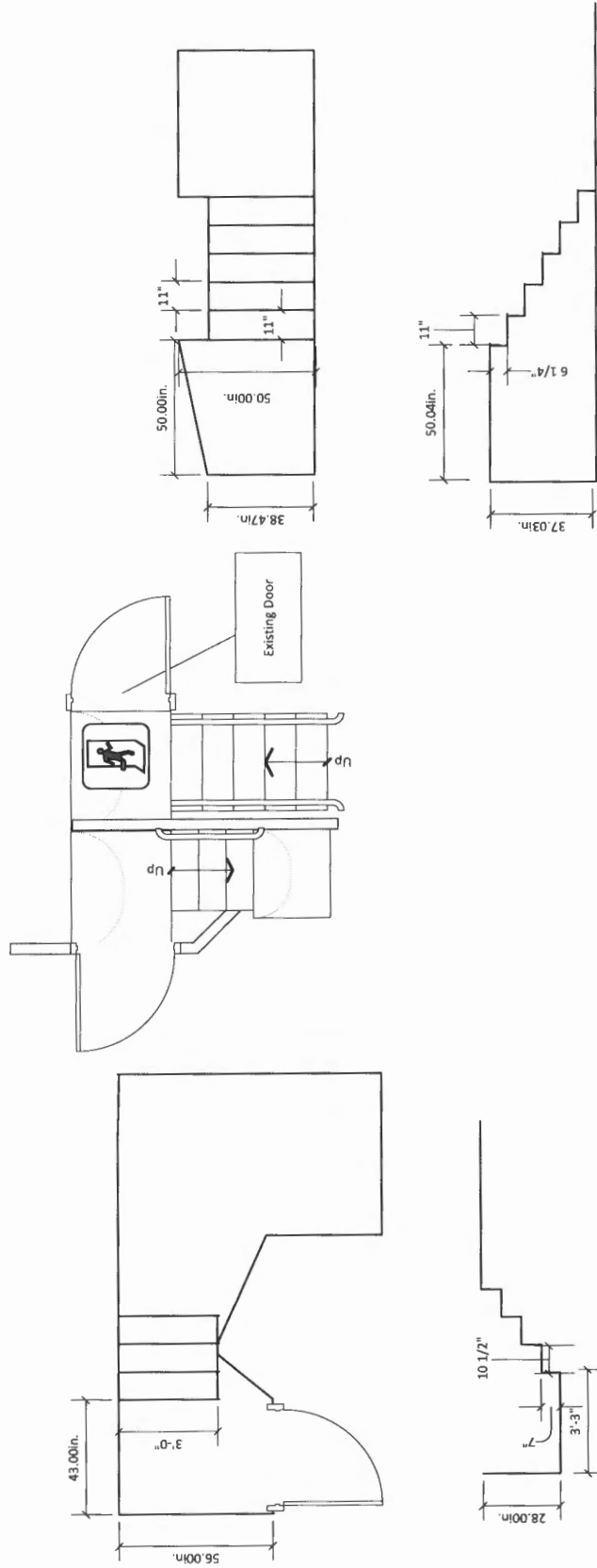
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City of Portland Maine



R.A.
J.V.
Jill
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City of Portland Maine

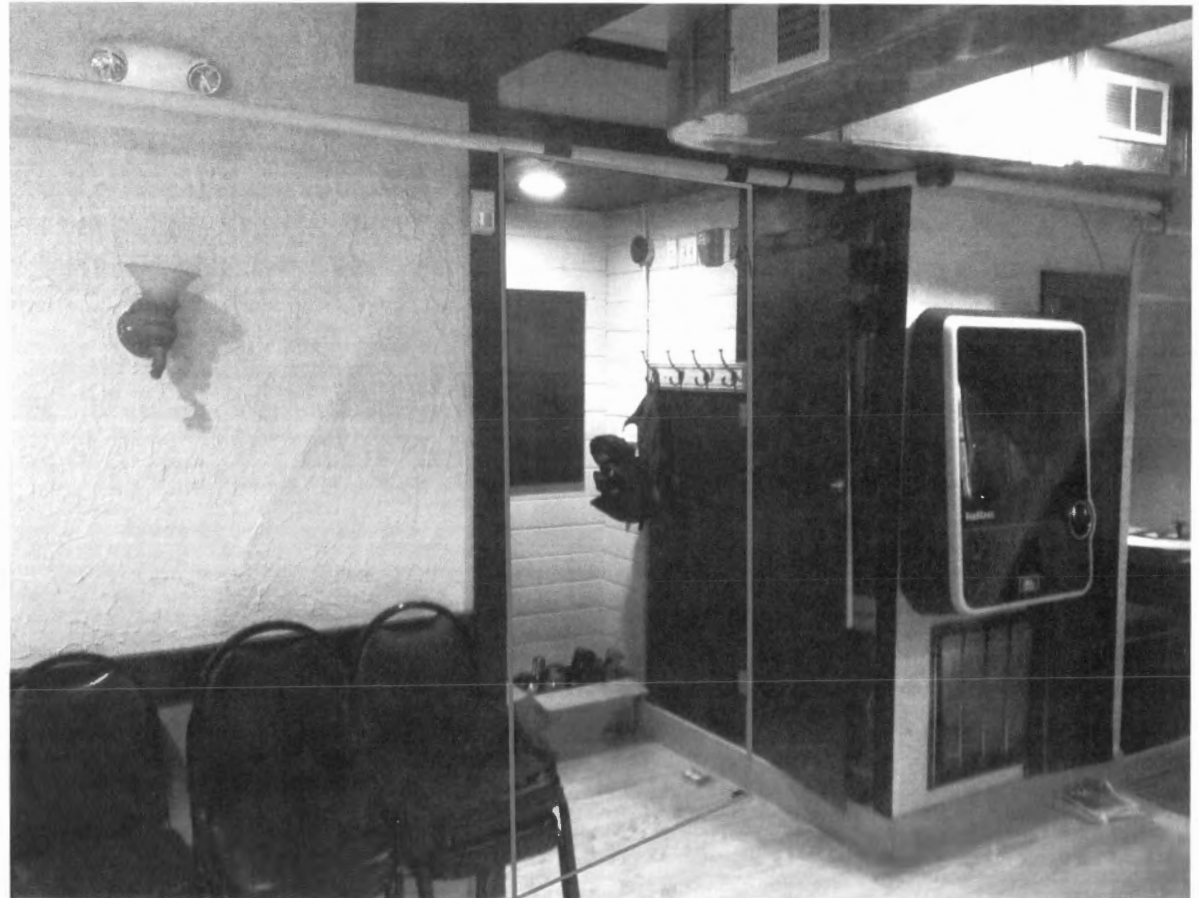
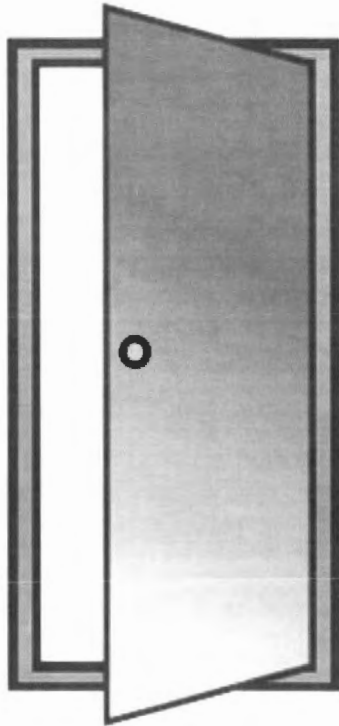


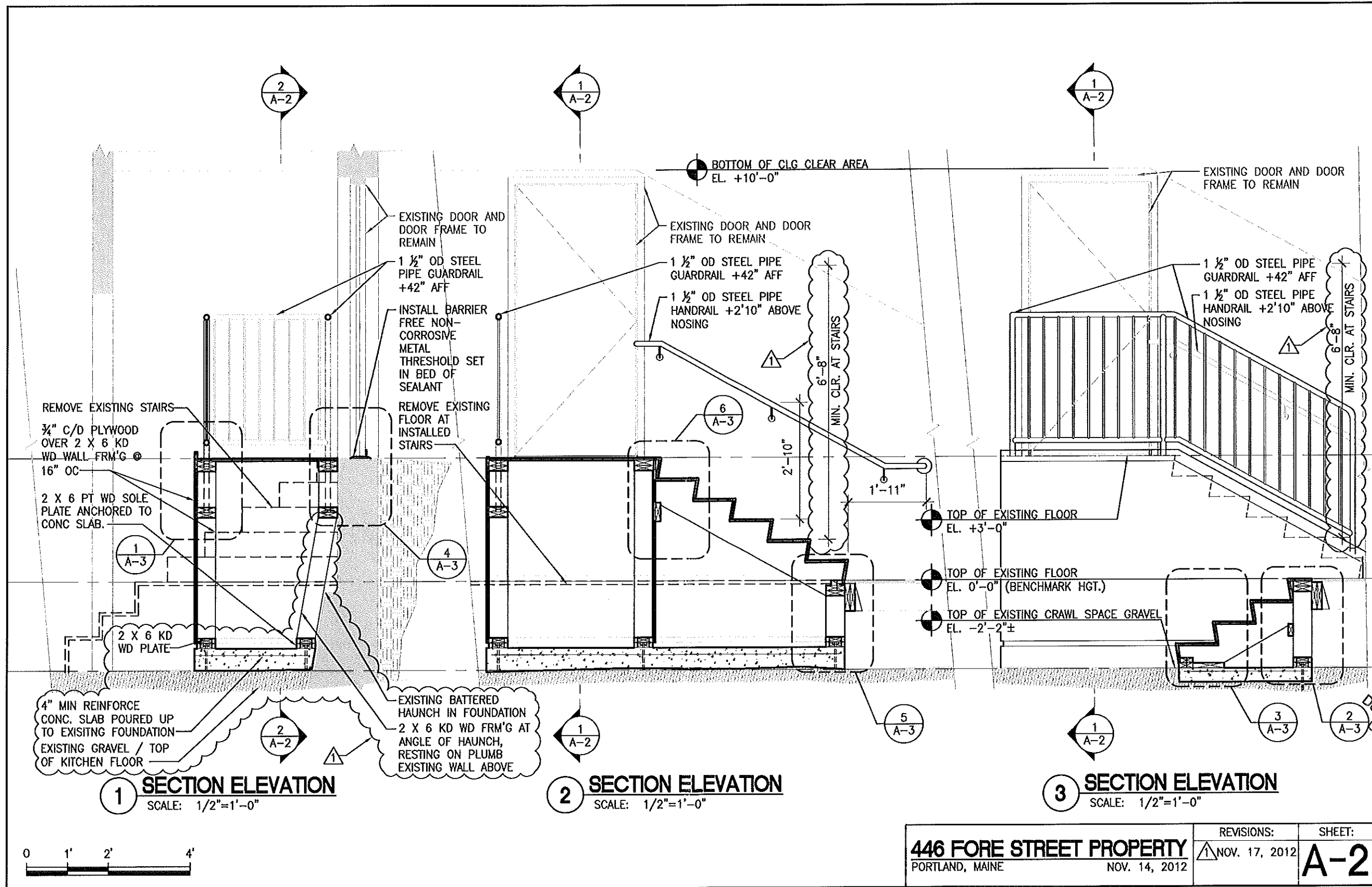
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City of Portland Maine

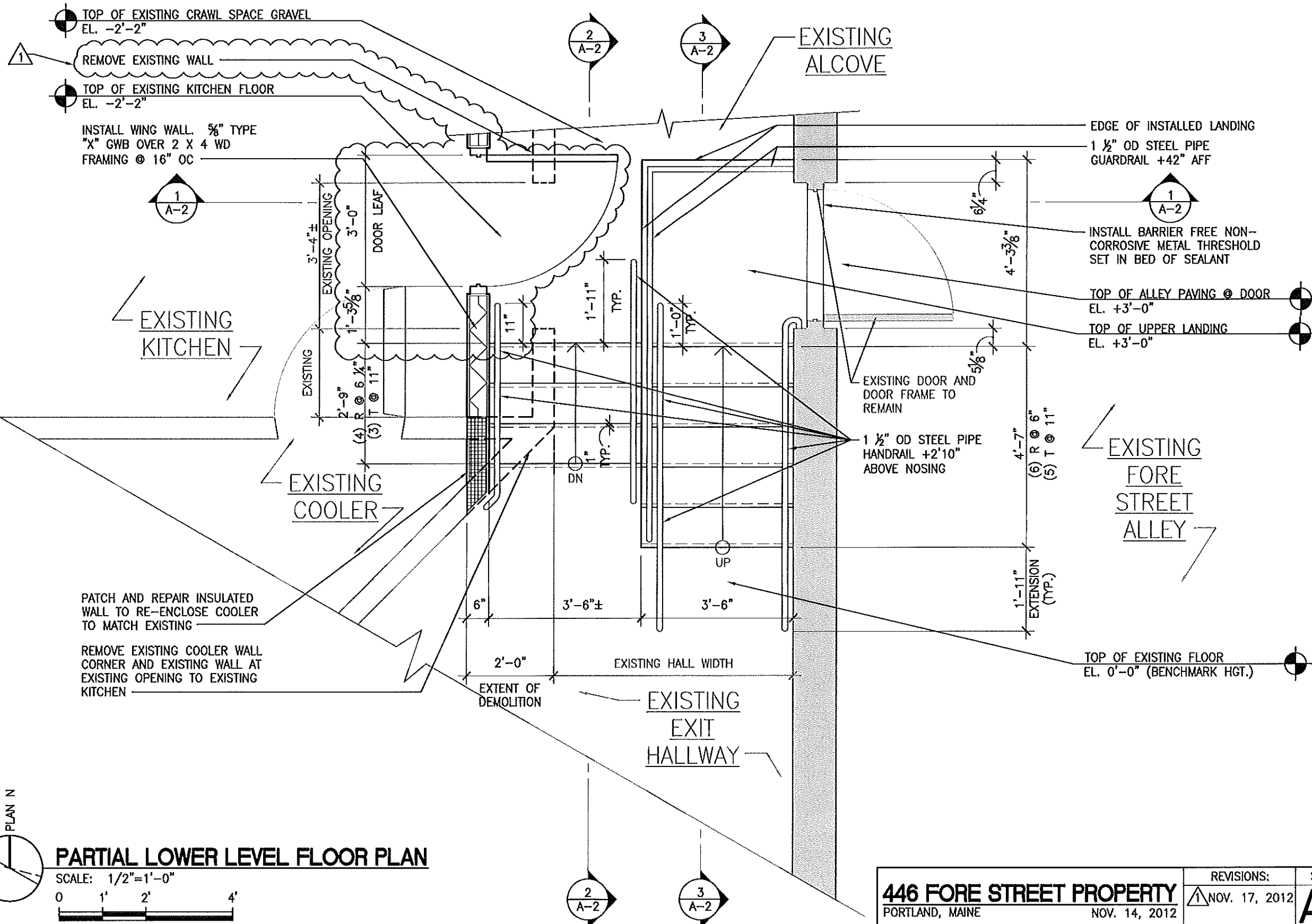
446 FORE ST

Separate basement and first floor vertical opening

1. Install Fire Rated door at top of stairs (providing 36" platform) into the first floor space (Right Hand Open)







TOP OF EXISTING CRAWL SPACE GRAVEL
EL. -2'-2"

REMOVE EXISTING WALL
TOP OF EXISTING KITCHEN FLOOR
EL. -2'-2"

INSTALL WING WALL, 5/8" TYPE
"X" GWB OVER 2 X 4 WD
FRAMING @ 16" OC

EXISTING
ALCOVE

EDGE OF INSTALLED LANDING
1 1/2" OD STEEL PIPE
GUARDRAIL +42" AFF

INSTALL BARRIER FREE NON-
CORROSIVE METAL THRESHOLD
SET IN BED OF SEALANT

TOP OF ALLEY PAVING @ DOOR
EL. +3'-0"

TOP OF UPPER LANDING
EL. +3'-0"

EXISTING
KITCHEN

EXISTING
COOLER

EXISTING DOOR AND
DOOR FRAME TO
REMAIN

1 1/2" OD STEEL PIPE
HANDRAIL +2'10"
ABOVE NOSING

EXISTING
FORE
STREET
ALLEY

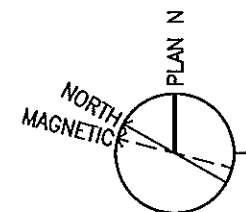
PATCH AND REPAIR INSULATED
WALL TO RE-ENCLOSE COOLER
TO MATCH EXISTING

REMOVE EXISTING COOLER WALL
CORNER AND EXISTING WALL AT
EXISTING OPENING TO EXISTING
KITCHEN

TOP OF EXISTING FLOOR
EL. 0'-0" (BENCHMARK HGT.)

EXTENT OF
DEMOLITION

EXISTING
EXIT
HALLWAY



PARTIAL LOWER LEVEL FLOOR PLAN

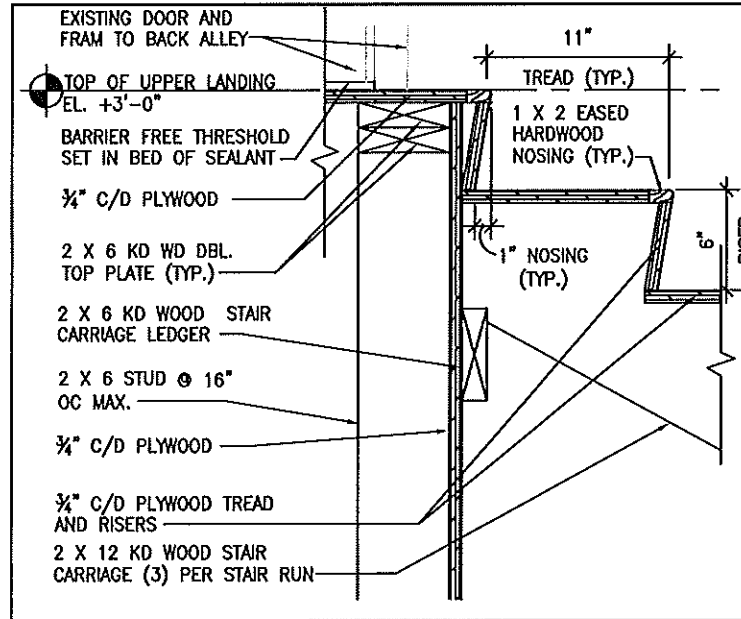
SCALE: 1/2"=1'-0"
0 1' 2' 4'

446 FORE STREET PROPERTY
PORTLAND, MAINE

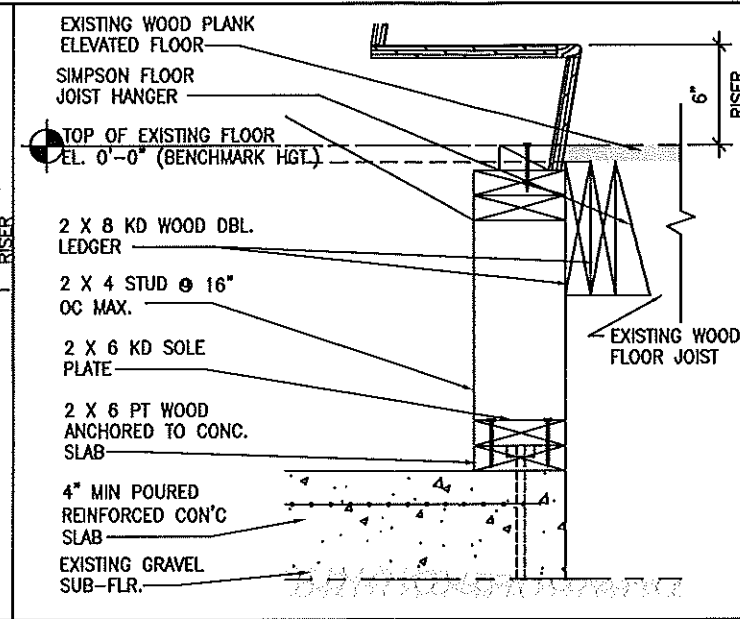
REVISIONS:
NOV. 17, 2012

SHEET:
A-1

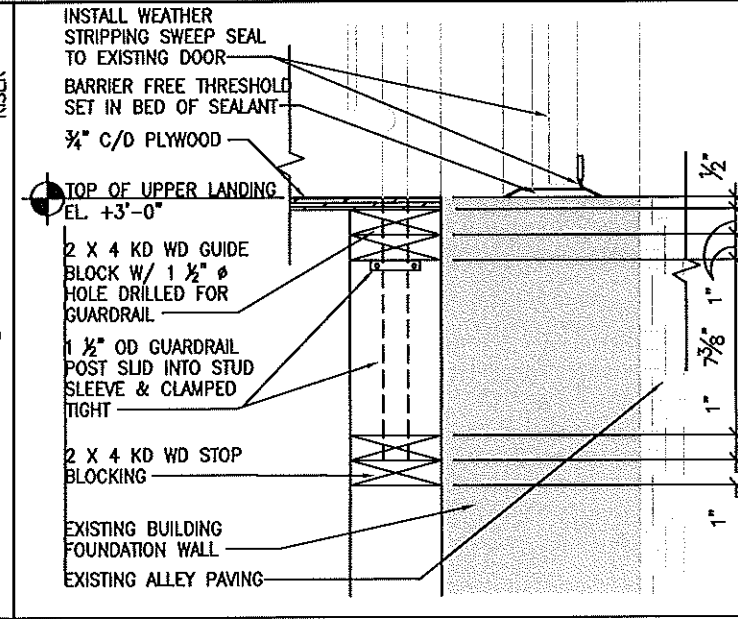
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City of Portland Maine



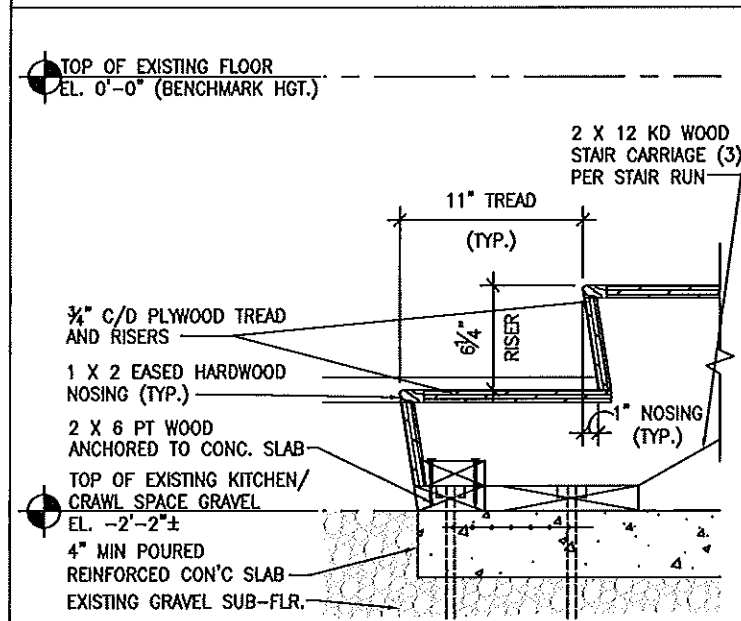
6 DETAIL SECTION ELEVATION
SCALE: 1 1/2"=1'-0" 0 3" 6" 12"



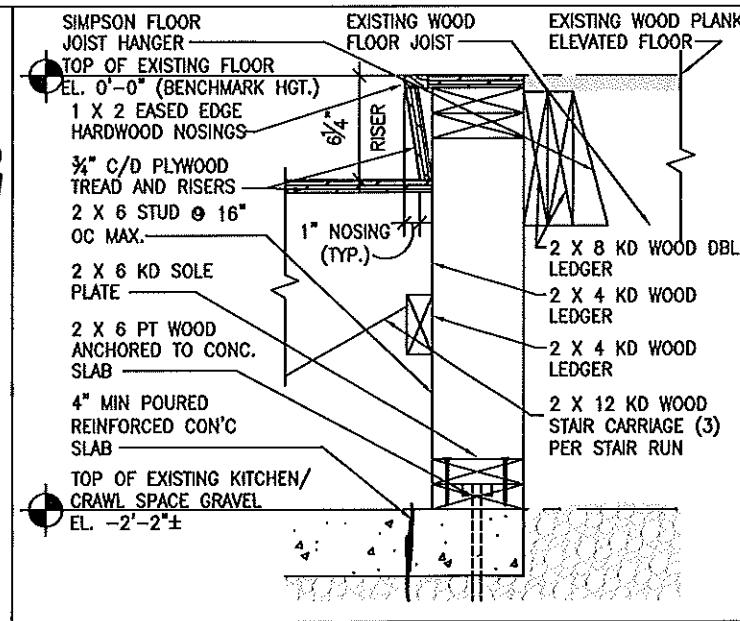
5 DETAIL SECTION ELEVATION
SCALE: 1 1/2"=1'-0" 0 3" 6" 12"



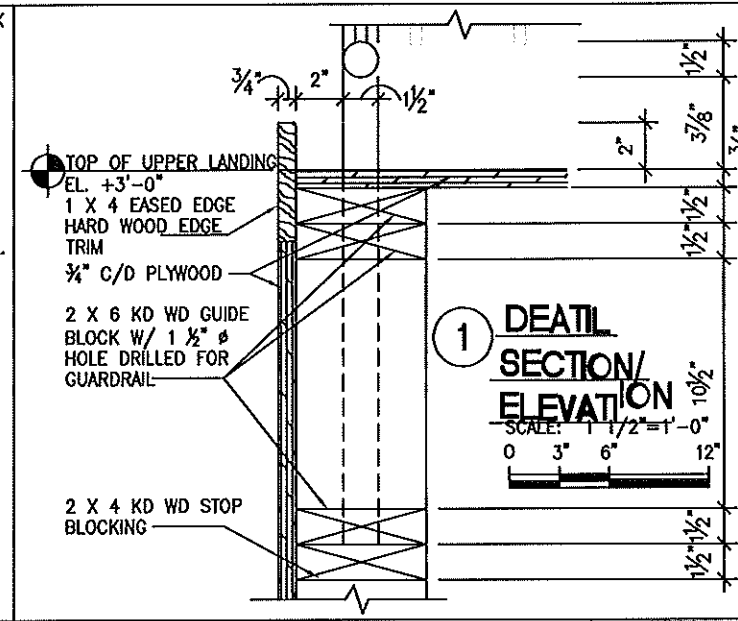
4 DETAIL SECTION ELEVATION
SCALE: 1 1/2"=1'-0" 0 3" 6" 12"



3 DETAIL SECTION ELEVATION
SCALE: 1 1/2"=1'-0" 0 3" 6" 12"



2 DETAIL SECTION ELEVATION
SCALE: 1 1/2"=1'-0" 0 3" 6" 12"



1 DETAIL SECTION ELEVATION
SCALE: 1 1/2"=1'-0" 0 3" 6" 12"

446 FORE STREET PROPERTY
PORTLAND, MAINE
NOV. 16, 2012

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