

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that BACM2007 / "The Pearl"

Located At 446 FORE ST

Job ID: 2012-06-4371-ALTCOMM

CBL: 032- R-008-001

has permission to Add Beams & Posts Basement to support Floor below "The Pearl"

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Janine Bonke 8.24.12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-06-4371-ALTCOMM

Located At: 446 FORE ST

CBL: 032- R-008-001

Conditions of Approval:

Zoning

1. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. This commercial kitchen is not approved for use at this time; future permits are required for code modifications prior to any occupancy of this basement space. A separate permit is required for work the basement associated with the exit corridor, compliant exit stairs in the rear, and enclosing the basement stairs
3. The hood is not approved for use, and an assessment shall be made to determine if the hood is code compliance, and if this work has compromised the clearance dimensions to combustible material.
4. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

1. All construction shall comply with City Code Chapter 10.
2. Permit is to add beams and posts for structural support only.
3. The egress path shall be maintained clear for the required width.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4371-ALTCOMM	Date Applied: 6/29/2012	CBL: 032- R-008-001	
Location of Construction: 446 FORE ST	Owner Name: BACM 2007-3 WHARF STREET LLC	Owner Address: ONE CANAL PLAZA PORTLAND, ME 04101	Phone:
Business Name: Pearl	Contractor Name: Tim Gilbert	Contractor Address: P.O. Box 31, East Poland ME 04230	Phone: (207) 749-2716
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: B-3
Past Use: Pearl	Proposed Use: Same – Pearl – add beams & posts in basement to support floor	Cost of Work: 29000.00	CEO District:
		Fire Dept: 8/22/12 <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: A-2 Type: 3B IBL-2009 Signature: <i>[Signature]</i> 7/25/12
Proposed Project Description: Add Beams & Posts Basement below "The Pearl"		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Lannie	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>Ok w/ conditions 7/10/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>Any exterior work requires a separate review - approval thru historic preservation</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

B3
historic

2012-6-4371
S/P



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>446 FORE ST PORTLAND MAINE</u>		
Total Square Footage of Proposed Structure/Area <u>784</u>		Square Footage of Lot <u>1800</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>32</u> <u>R</u> <u>008</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Old Post Retail Holdings</u> Address <u>Wharf St LLC</u> <u>1 Canal Pl</u> City, State & Zip <u>PORT, ME 04101</u>	Telephone: _____
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>29,000⁰⁰</u> - C of O Fee: \$ _____ Total Fee: \$ <u>310</u> -
Current legal use (i.e. single family) <u>Basement area below front 446 Fore St.</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Add Beams and Posts as per engineered drawings, to supply additional support to FIR.</u>		
Contractor's name: <u>Tim W Gilbert</u> Address: <u>PO Box 31</u> City, State & Zip <u>EAST Poland</u> <u>207-749-2716</u> Telephone: _____ Who should we contact when the permit is ready: <u>Above</u> Telephone: _____ Mailing address: <u>PO Box 31 EAST Poland ME 04238</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

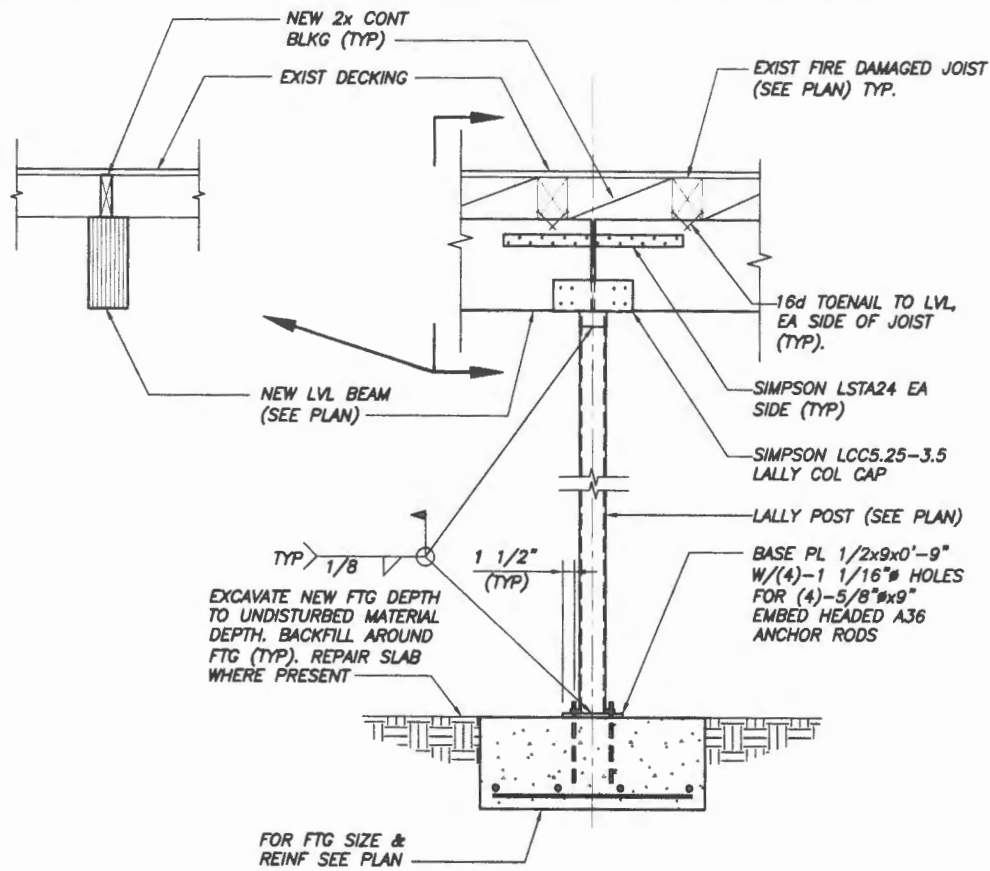
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes me to prepare and submit this application for the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
JUN 29 2012
Dept. of Building Inspections
City of Portland, Maine

Signature: [Signature] Date: 6-29-12

This is not a permit; you may not commence ANY work until the permit is issue



BECKER
STRUCTURAL ENGINEERS
75 York Street, Portland, Maine 04101
207.879.1838 • beckerstructural.com

446 FORE STREET
PORTLAND, MAINE

REPAIRS AND RENOVATIONS

SECTION
3/4=1'-0"



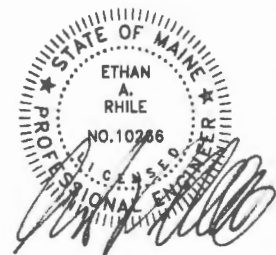
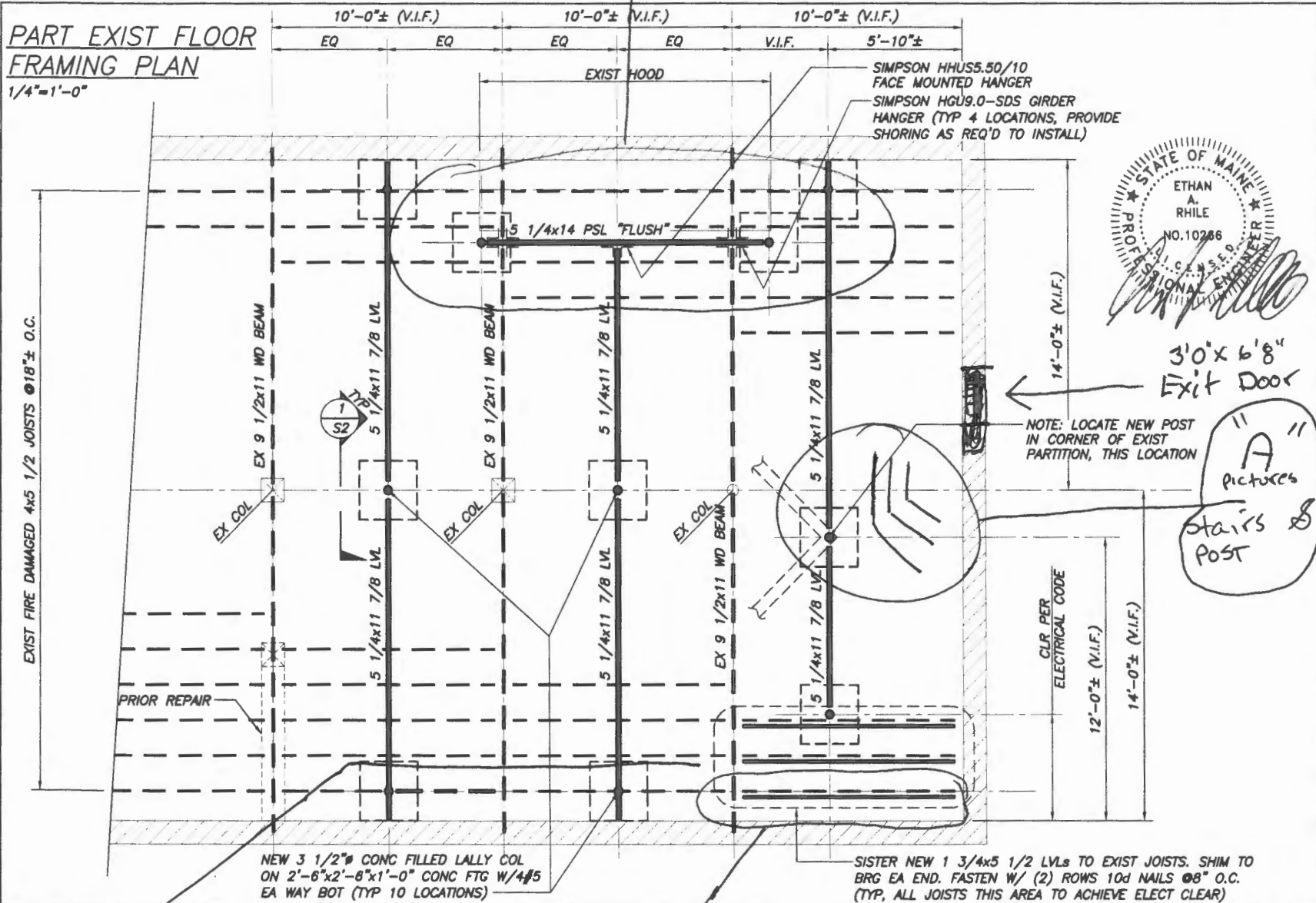
Designed	Scale
EAR	NOTED
Drawn	Date
APP	06/05/12
Checked	Becker Job Number
PBB	2803

S2

Exhaust hood "B"
pictures

**PART EXIST FLOOR
FRAMING PLAN**

1/4"=1'-0"



3'0" x 6'8" Exit Door

"A"
Pictures
stairs & Post

BECKER
STRUCTURAL ENGINEERS
75 York Street, Portland, Maine 04101
207.879.1838 • beckerstructure.com

446 FORE STREET
PORTLAND, MAINE

REPAIRS AND RENOVATIONS

Designed EAR	Scale NOTED
Drawn APP	Date 08/08/12
Checked PBB	Becker Job Number 2863

S1

Hallway "C"
pictures

electrical Panel
+ meters



16"
existing

"
A
"



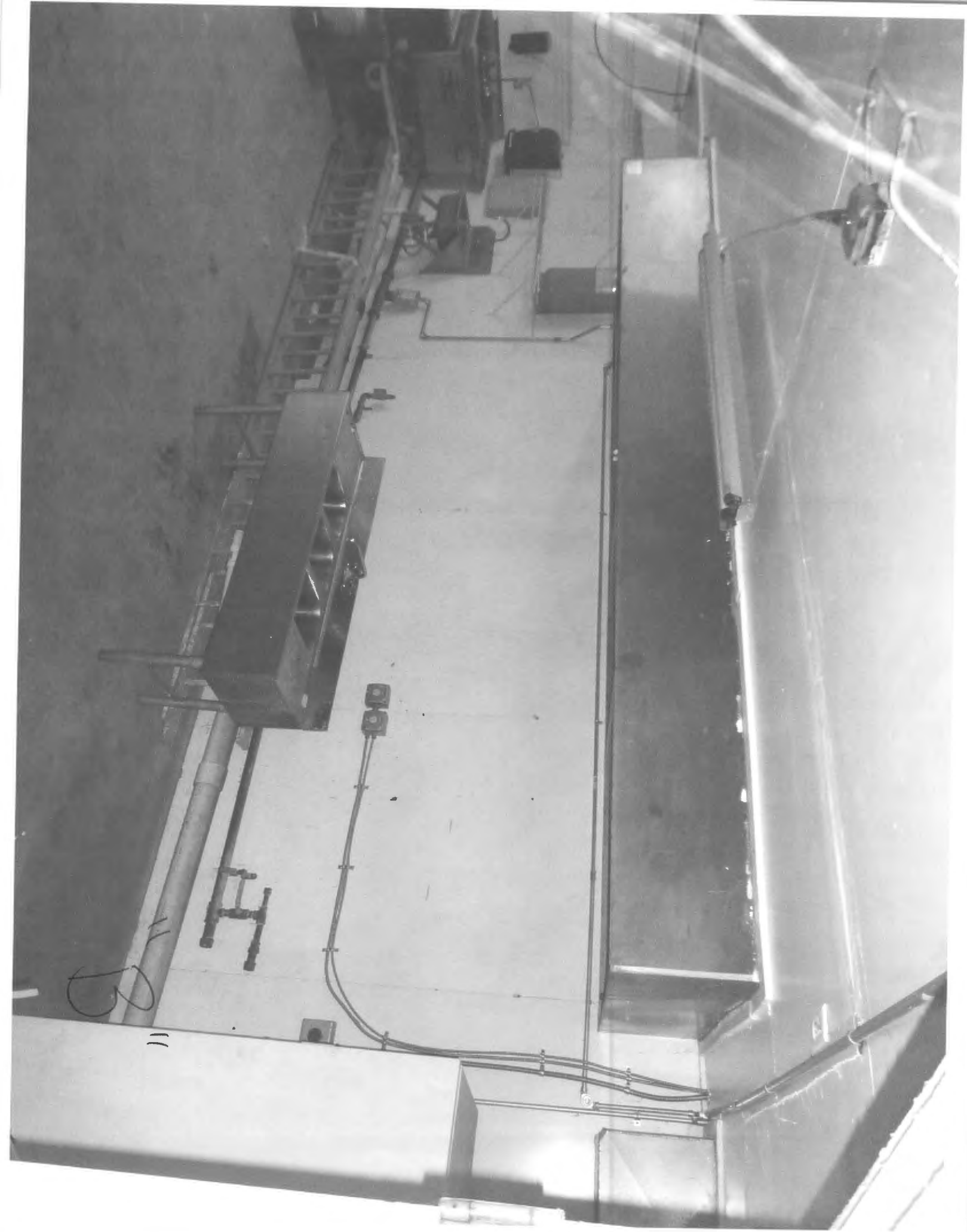
"A"





11
B
11

B





Exhaust hood

B

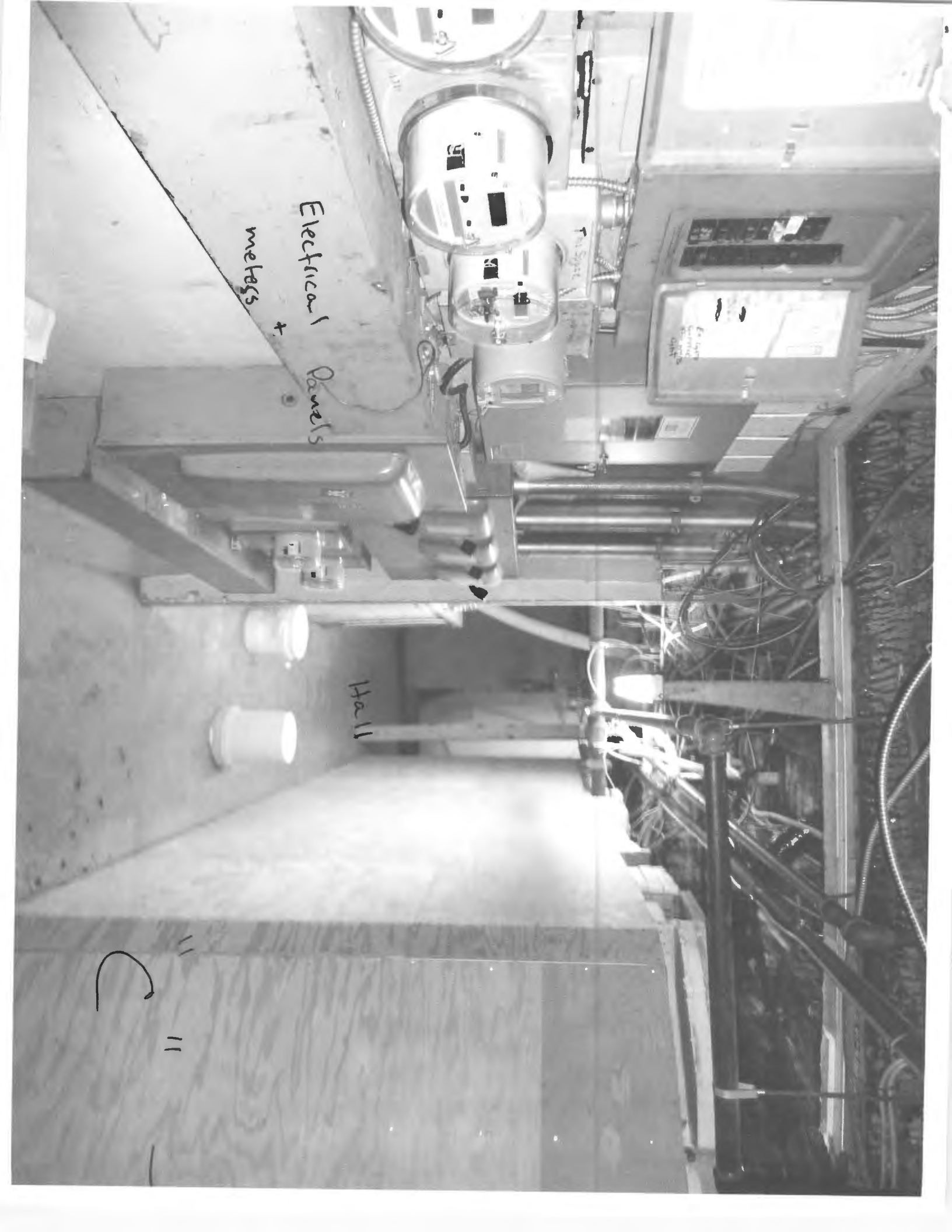
stairs

B

Electrical Panels
+ meters

Hall

"
C
"



Hx 11



11
11



Benjamin Wallace - Pearl - 446 Fore St - 2012-06-4371-ALTCOMM

From: Benjamin Wallace
To: Jeanie Bourke
Date: 8/1/2012 2:07 PM
Subject: Pearl - 446 Fore St - 2012-06-4371-ALTCOMM

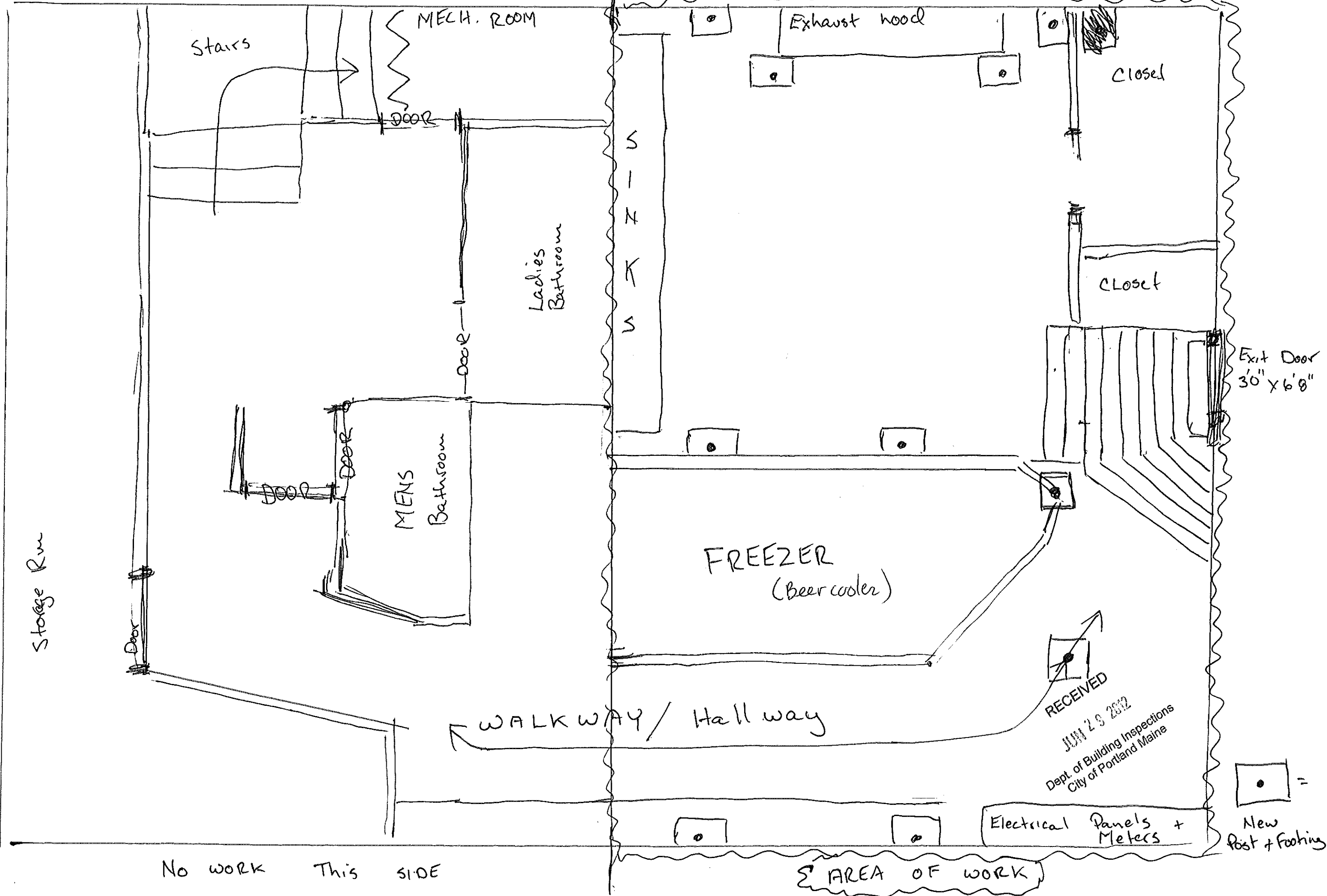
I remember you mentioning something about the basement here and I'm just now seeing a permit to put some supports in there. The basement isn't going to be occupiable any longer, correct? The kitchen doesn't even appear to be usable, especially with the new post all around the hood.

4146 FORE street

Basement Layout

30'

60'



Storage Rm

Stairs

MECH. ROOM

Exhaust hood

Closed

Ladies Bathroom

CLOset

Exit Door 30" x 6'8"

MENS Bathroom

FREEZER (Beer cooler)

WALKWAY / Hall way

RECEIVED

JUN 29 2012
Dept. of Building Inspections
City of Portland Maine

Electrical Panels + Meters +

[Symbol] =
New Post + Footing

No work This side

AREA OF WORK