

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU...STION

PERMIT

Permit Number: 080252

This is to certify that OLD PORT RETAIL HOLDING LLC/H... Management Group
 has permission to Inlarge existing restaurant (51 Wharf) into "previous Thai'd in spots"
 AT 436 Fore St / 57 wharf CB# 032-R007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise changed-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name
CITY OF PORTLAND

Deanne Bouke 10/17/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0252	Date Applied: 03/20/2008	032 R007001
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Location of Construction: 436 Fore St	Owner Name: OLD PORT RETAIL HOLDINGS	Owner Address: 101 RICHARDSON ST	Phone:
Business Name:	Contractor Name: Herget Management Group	Contractor Address: 1500A Lafayette Road #176 Portsmouth	Phone: (303) 817-1120
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - 51 Wharf - Inlarge existing restaurant (51 Wharf) into the previous "Thai'd in Knots"	Proposed Project Description: Inlarge existing restaurant (51 Wharf) into the previous "Thai'd in Knots"
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/20/2008

Note: **Ok to Issue:**

- 1) It is recommended that the owner/applicant check with the City Clerk's licensing official to determine what kind of licenses are required for this business.
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/17/2008

Note: **Ok to Issue:**

- 1) Floor drains are required in the new bathrooms
- 2) Approval of license is subject to health inspections per the Food Code.
- 3) New restaurant, lounge or bar must meet the requirements of the City and State Food Codes
- 4) The existing bathrooms may be removed after the new ones are installed. Fixture count is met on approved plans. No work on the new entry stair reconfiguration or DJ booth is permitted.
- 5) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 6) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 7) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 03/20/2008

Note: Occupant load TBD. If over 300 F/A system is required. **Ok to Issue:**

- 1) Emergency lights and exit signs are required
- 2) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 3) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 4) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 5) Application requires State Fire Marshal approval.

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Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Comments:

4/11/2008-jmb: Spoke to Tanner H. About the scope of work. This permit is for phase 1, the new bathrooms and lounge area. A separate application will be submitted for the structural wall opening. Also, Tanner requested to put the permit on hold as they are still negotiating the lease with owner.

9/23/2008-gg: Per Section 105.3.2 of the International Codes adopted by the City of Portland, this application for building permit has been abandoned and is therefore expired. /gg

10/1/2008-jmb: Tanner submitted a letter requesting the extension, which in actuality was not expired from the last comment notation of 4/11/08. I will proceed with the review

10/2/2008-jmb: Spoke with Tanner about occupant load, he stated under 299. For bathroom fixture count he changed one of the urinals to a water closet. The required amount is 3 for each gender. Also discussed the storage closet under the stairs to the floor above, this closet will need to be fire protected.

10/3/2008-jmb: Spoke with Tammy and Jon who inspected the establishment in August. Spoke to Tanner for details on the floor plans for dining and nightclub including all bars, chair and table layout and DJ set up. He will submit on 10/6

9/24/2008-jmb: Spoke with Tanner H. Today, he will submit a letter to reactivate the review process for this permit to my attention.

10/14/2008-jmb: Tanner resubmitted plans that he brought in last week that can't be found

10/17/2008-jmb: Spoke to Tanner about proposed plans for reconfiguration of the entry steps and DJ booth. He will submit this for a future permit. He would like to remove existing 2 bathrooms near the kitchen, ok as the required fixture count is met with the new bathrooms.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>45 Wharf St / 426-428 Fore St</u>		
Total Square Footage of Proposed Structure/Area <u>1600 Added to Equal 5200 SF</u>		Square Footage of Lot <u>1,3365</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>032 R 007</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>JACC Inc</u> Address <u>51 Wharf St</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>207-774-1151</u> <u>603-817-1120</u>
Lessee/DBA (If Applicable) <u>JACC Inc</u> <u>51 Wharf St</u> <u>Portland, ME 04101</u>	Owner (if different from Applicant) Name <u>Old Port Retail Holdings LLC</u> Address <u>101 Richardson St</u> City, State & Zip <u>Brooklyn, NY 11211</u> <u>TS</u>	Cost Of 67500 Work: \$ <u>15300</u> <u>15300</u> C of O Fee: \$ _____ Total Fee: \$ <u>90,000</u> <u>COFO 75,000</u>
Current legal use (i.e. single family) <u>Retail Space (1414 N K) change of use</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Restaurant w/ liquor 51 Wharf</u> <u>retail space to restaurant</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: <u>Proposed space will be added to current space</u> <u>of "51 Wharf" restaurant and ultra lounge. The space</u> <u>will provide larger bathrooms and a new lounge area</u> <u>NO Structural at this time</u>		
Contractor's name: <u>Hesget Management Group</u>		
Address: <u>1500A Lafayette Rd, #176</u>		
City, State & Zip <u>Portsmouth, NH 03801</u>		Telephone: <u>603-817-1120</u>
Who should we contact when the permit is ready: <u>Tanner Hesget</u>		Telephone: <u>603-817-1120</u>
Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

Fee 90,000
COFO 75,000
= 165,000

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/13/2008

This is not a permit; you may not commence ANY work until the permit is issue

Dear Jeanie,

I talked with you the other day over the phone about permit #: 08-0252. I am looking for that to be issued as I have received the space. The landlord wanted to use the space for retail ~~so~~ so the lease was originally put on hold. Now we are ready go ahead with the construction.

If you have any questions, please call.

Thanks, Tanner

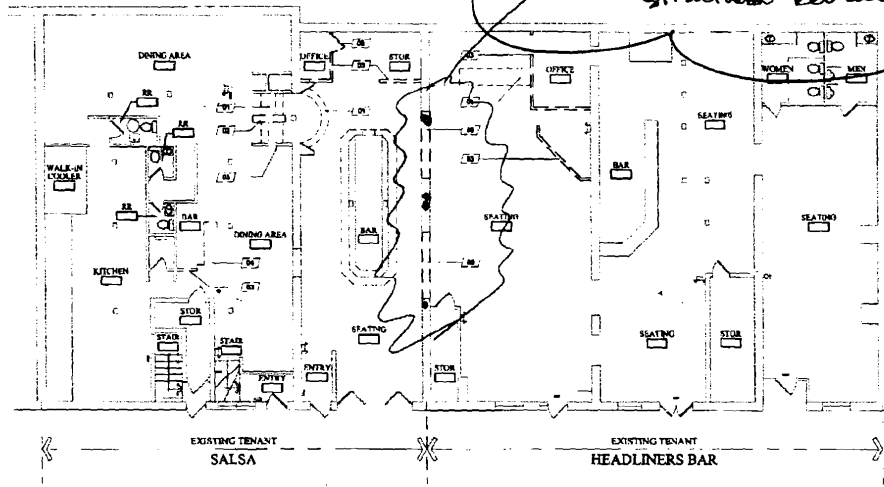
(603) 817-1120

OCT 1 2003

Future Permit

see criterion Mooney Engineers structural review & beam location.

W/W
Palladium Man. Gov



DEMOLITION PLAN LEGEND

- (D1) REMOVE EXISTING INTERIOR PARTITION LEVEL IN PREPARE FOR APPLICATION OF NEW FLOORING
- (D2) REMOVE EXISTING PARTITION WALLS
- (D3) REMOVE EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION
- (D4) REMOVE EXISTING WALL - PROVIDE FINISHED LEVEL SURFACE FOR APPLICATION OF NEW FLOORING
- (D5) REMOVE EXISTING WALL FRAME AS ALL ASSOCIATED MATERIALS ARE REMOVED FOR NEW CONSTRUCTION
- (D6) REMOVE EXISTING WALL & EXISTING EXTERIOR FINISHES PROVIDE ALL OPENINGS UNDEVELOPED & LEAVE THE APPLICATION OF NEW FINISHES

EXISTING open did not exist
new open area to be structural openings.
see ~~Mooney~~ Criterion Mooney sketch

EXISTING EMERGENCY LIGHTING LEGEND

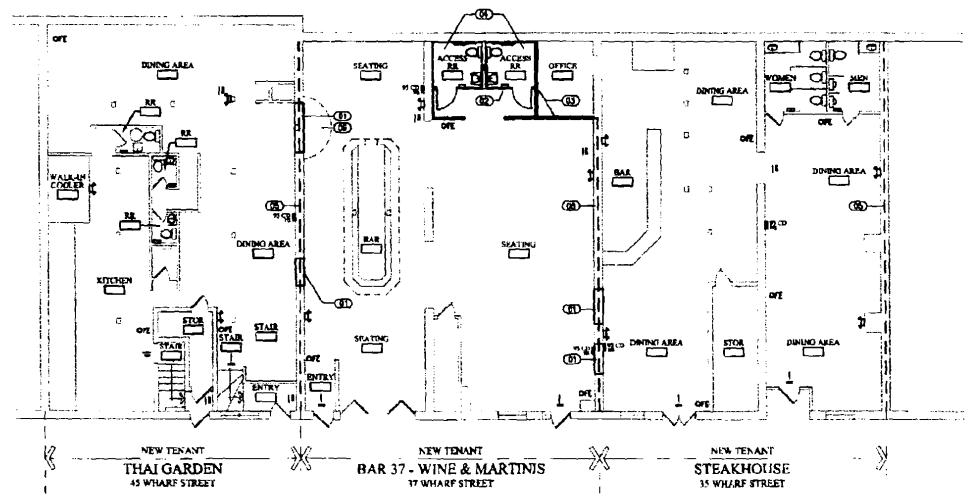
- (E1) Existing Fire Alarm
- (E2) Existing Emergency Light
- (E3) Existing Exit Sign

NOTE: EXISTING TENANT SPACES EQUIPPED W/ SPRINKLER FIRE SUPPRESSION

Vincent Mancuso & PDS mgr.

J1 EXISTING CONDITIONS PLAN & PROPOSED DEMOLITION PLAN

J16 LEGEND



FLOOR PLAN LEGEND

- (F1) FINISH EXISTING WALL W/ FINISH - MATCH EXISTING EXISTING EXIST. CHANGE & FINISH - FROM THE 2 BLOCK FLOOR TO THE 2ND FLOOR LANDING & IN LANDING
- (F2) WALL PARTITION - 5/8" TYPE 'C' CORE IN EACH SIDE OF 3/4" W/ 1/2" STUCCO 1/2" FROM THE FLOOR TO CEILING OR FLOOR TO CEILING - FINISH W/ FINISHES AS SHOWN ON ALL NEW AREAS EXCEPT IN EXISTING WALLS & PARTITIONS
- (F3) 2 BAY PALE FOR PALE WALL ASSEMBLY IS NO. 421-3 LATHING 1/2" TYPE 'C' CORE IN EACH SIDE OF 3/4" W/ 1/2" STUCCO 1/2" FROM THE FLOOR TO CEILING OR FLOOR TO CEILING TO UNDERSIDE OF PALE BEAMS ABOVE.
- (F4) ACCESSIBLE RESTROOM - ALL FEETWORK AND CLEARANCE PER ASMO OVERLAP
- (F5) EXISTING HOOR LATHING MATCH THE A. FINISH 1.
- (F6) FINISH EXISTING LATHING - FINISHES & FINISH AS REQUIRED FOR EXISTING LATHING APPLICABLE TO 1/2" W/ 1/2" STUCCO FINISHES

EMERGENCY LIGHTING LEGEND

- (E1) Fire Alarm
- (E2) Emergency Light
- (E3) Exit Sign
- (E4) HOOR SYSTEM
- (E5) STAIRCASE

NOTE: EXISTING SPRINKLER FIRE SUPPRESSION SYSTEM SHALL BE MODIFIED TO MATCH NEW

A1 PROPOSED REVISED FLOOR PLAN

A16 LEGEND



45-37-35 WHARF STREET
Proposed Renovations
Portland, Maine

REVISIONS

NO.	DATE	DESCRIPTION

DATE	10-23-09
PROJECT NO.	100305
DRAWN BY	DMG
CHECKED BY	DMG
DATE OF SCALE	1/8" = 1'-0"

STREET TITLE
PLANS

A100

SCALE: 1/8" = 1'-0"

51 Wharf Restaurant & Ultra Lounge
JACC Inc.
51 Wharf Street
Portland, ME 04101
(207) 774 – 1151

Applicant & Contractor: Herget Management Group / Tanner Herget – (603) 817 – 1120

Dear City of Portland Maine,

I have provided an accurate drawing of the proposed new space at 51 Wharf Restaurant & Ultra Lounge. The proposed 1,336.5 sf will expand the current operations of 51 Wharf to provide a current bathroom upgrade and create an upscale lounge. An entertainment license will not be applied for as only bathroom / dining and lounge areas will be used. The proposed space will be converted from a furniture shop to the proposed use. Please see attached proposed space and sprinkler layout diagrams.

The proposed walls will be 2 X 4 construction unless otherwise desired by plumbing or electrical. The area has a sprinkler system pre installed and will be tested prior to ensure proper working order. The proposed total cost will be

Bathrooms - \$3,550.00
Electrical work - \$2,000.00
Plumbing work - \$4,000.00
Bar walls and storage - \$3,200.00

\$6,750.00

Total Estimated Cost - \$15,300.00

Checklist:

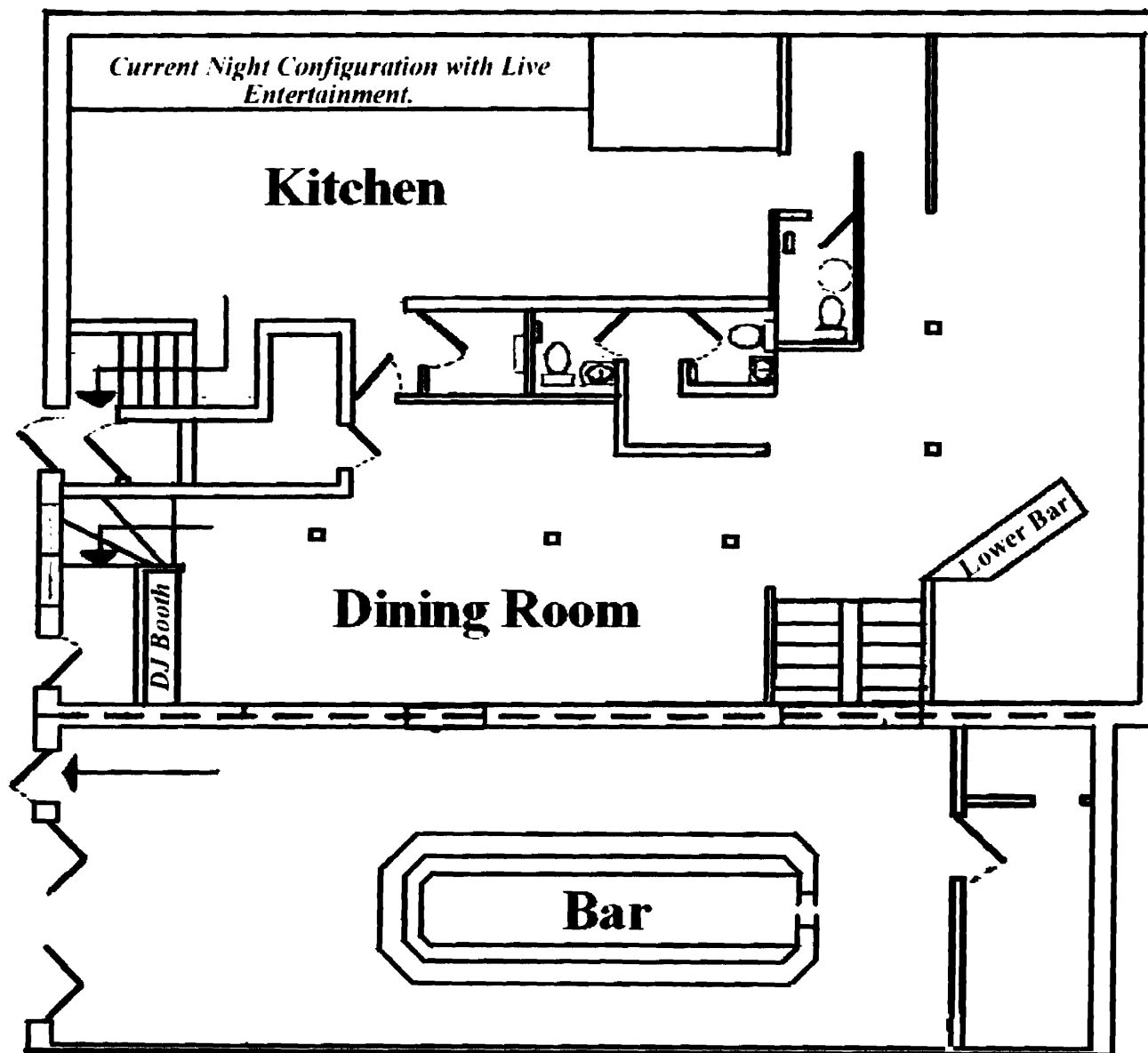
Cross Sections w/ framing details – No change
Detail of new walls or permanent partitions – see attached
Floor plans (see attached)
Window and door schedules – N/A as there will be no change
Electrical and plumbing layout – Will be submitted with plumbing and electrical permits as they are TBD
HVAC equipment – N/A
R & U factors – N/A as no insulation will be needed
Proof of ownership – please contact 'Old Port Retail Holdings LLC' if needed
Reduce plans – Plans are submitted in 11" X 17" size
ADA compliant Bathrooms – Yes they will be

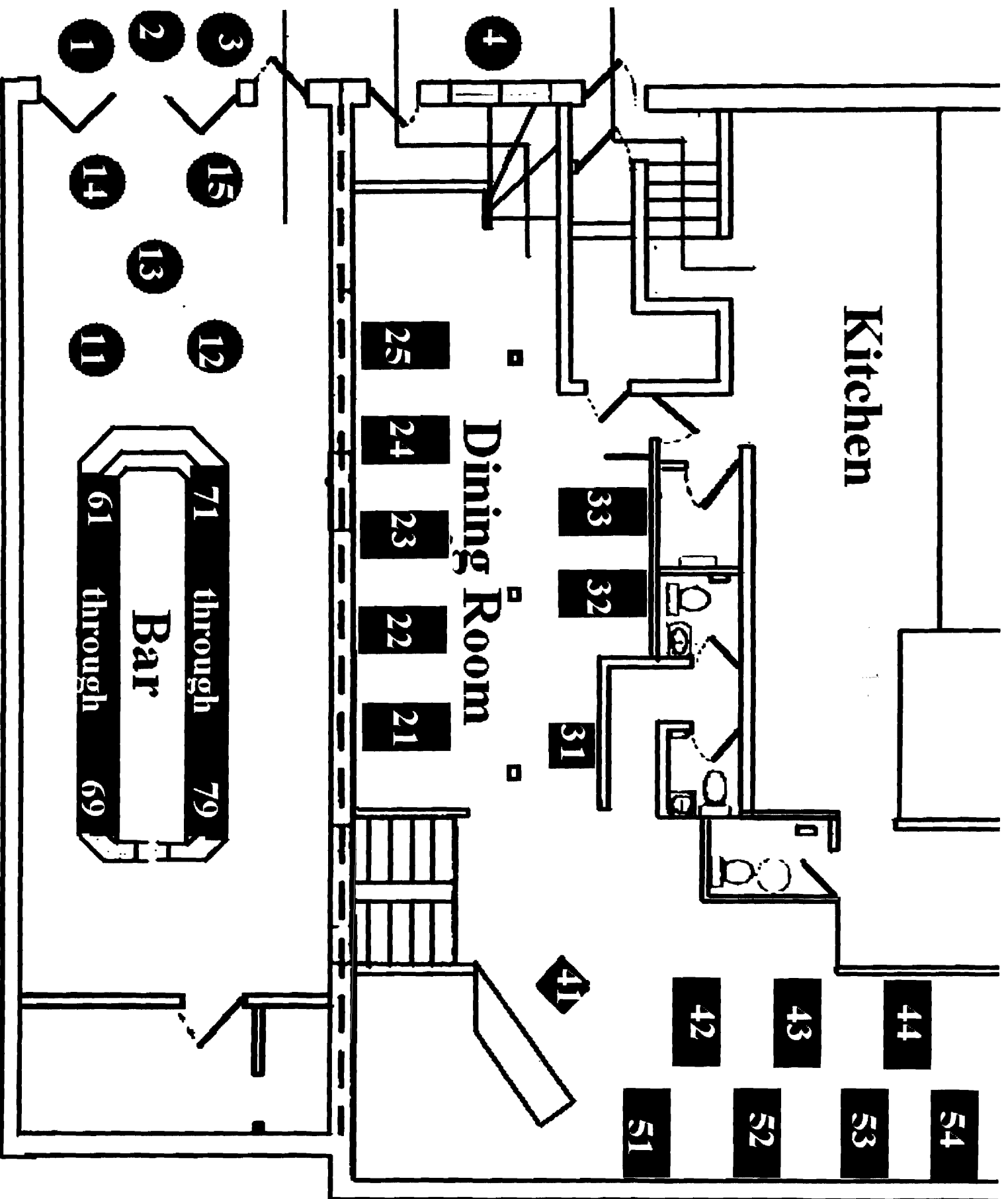
Submitted by:
Tanner Herget
03/13/2008

51 Wharf Street

EXHIBIT A

Wharf Street





BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.

NOTE: There is a \$75.00 fee per inspection at this point. This includes a health inspection for license expansion.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



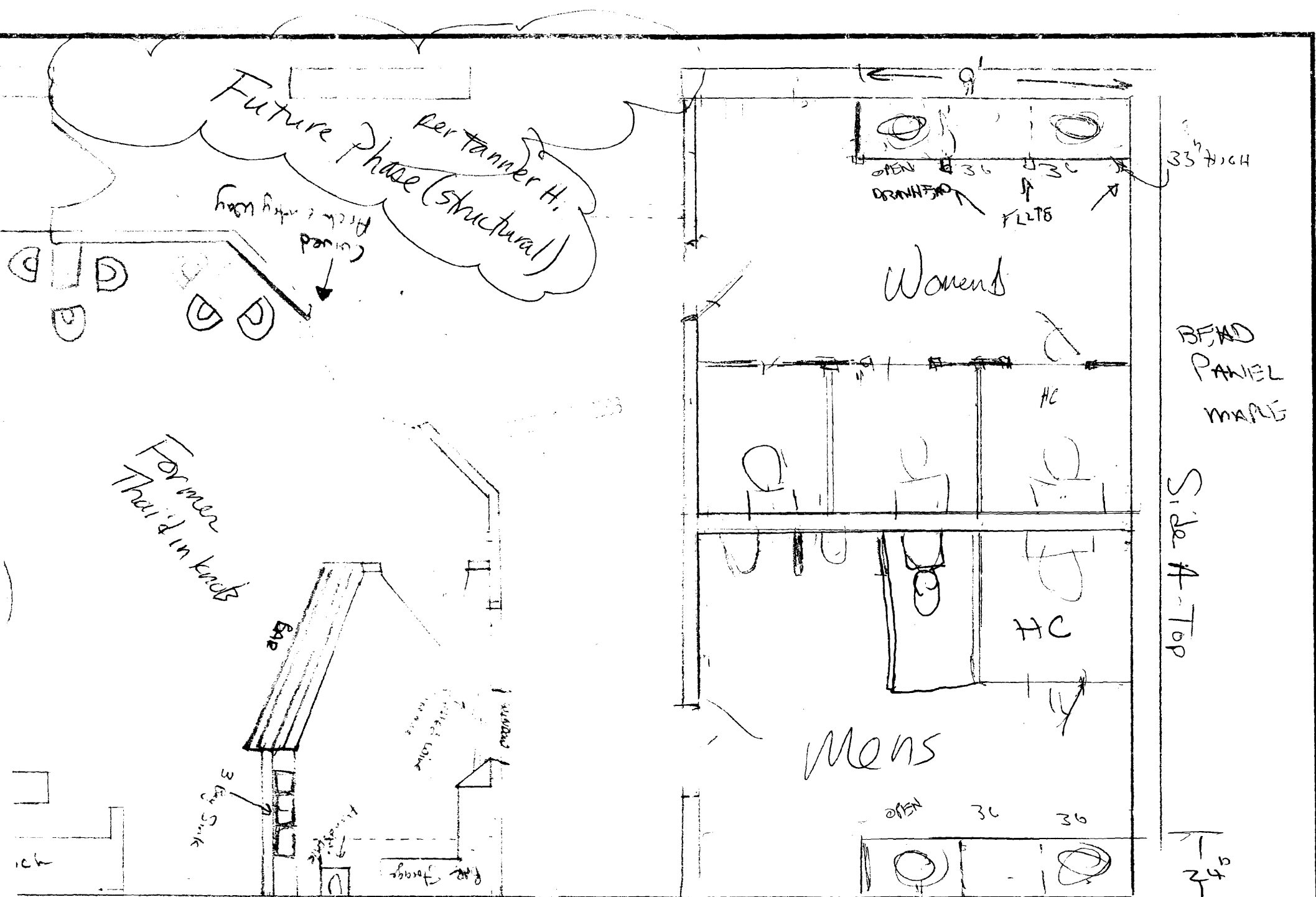
Signature of Applicant/Designee

10/21/08
Date

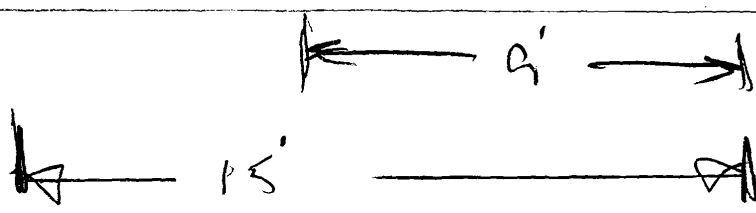


Signature of Inspections Official

10/17/08
Date



- TOILETS - SENIOR
- WOMENS - WATERLESS
- FAN USB SENIOR
- 4 - CHERRY/SANDALWOOD V36. PAGE 10-1
- COMBOVA
- 4 - MIRROR FRAMES w/ SHELF



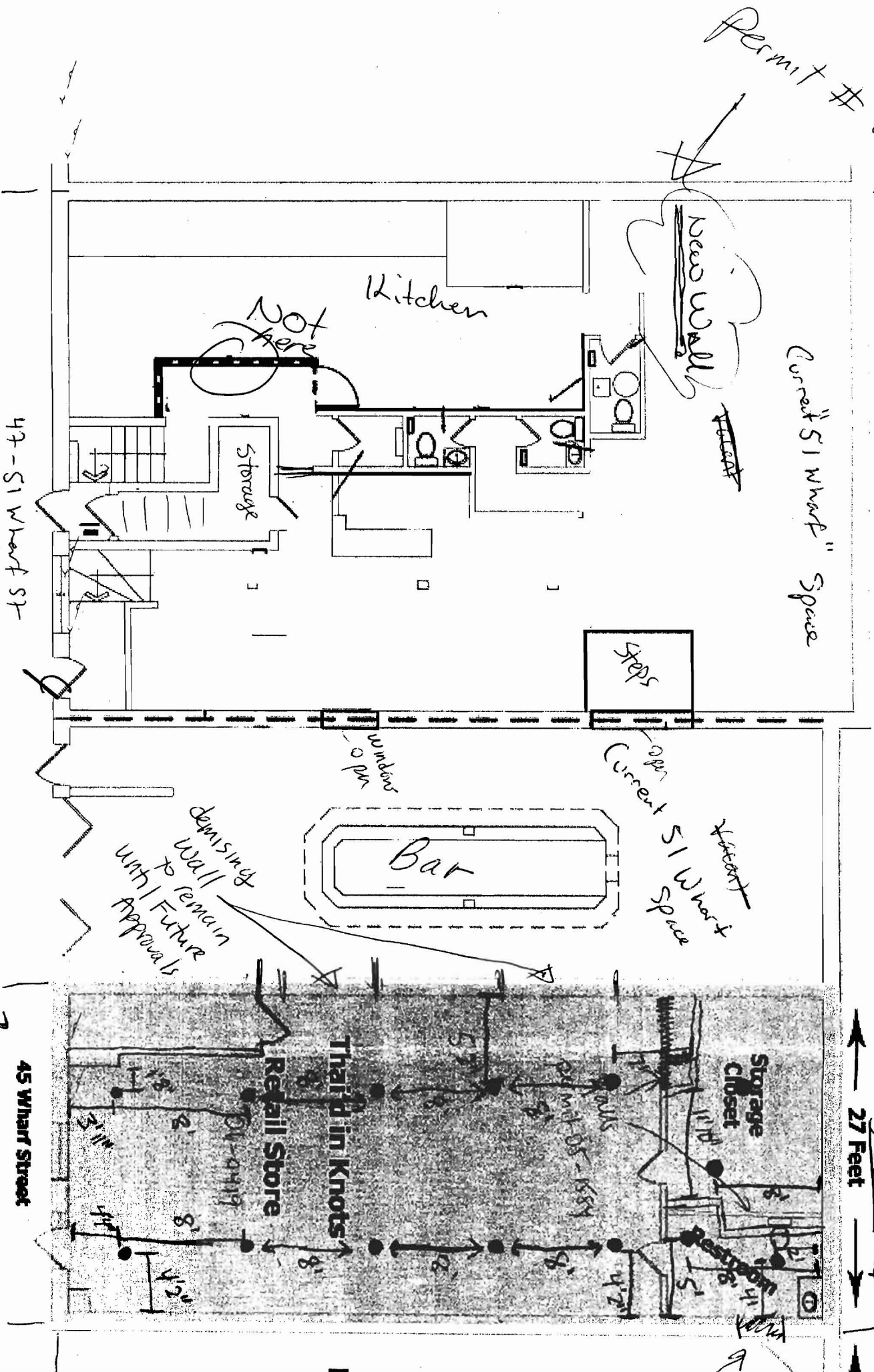
THIS DRAWING HAS BEEN PREPARED BY AND IS THE PROPERTY OF:		THIS KITCHEN ESPECIALLY DESIGNED FOR: 51 WHARF			
DESIGNER	DATE	REVISED	SCALE	NUMBER	

Wharf Street Properties

Permit # 080204

432 Fore St.

Side A-Top
27 Feet



Current layout with
Sprinkles system labeled

O/L = < 299

- Building P
- Existing St