

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0602		Issue Date: MAY 27 2004	CBL: 032 R004001
Location of Construction: 434 Fore St	Owner Name: Fore & Wharf Llc	Owner Address: 6 Webber Way	Phone:
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Outdoor Seating	Zone: B3
Past Use: Commercial/Restaurant/	Proposed Use: Restaurant/Salsa /Outdoor seating! add 5 Tables 15 Chairs	Permit Fee: \$75.00	Cost of Work: \$75.00
Proposed Project Description: Outdoor seating/ add 5 Tables 15 Chairs		FIREDEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: A3 Type: NA 5/25/04 Signature: [Signature]
		'EDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	
Permit Taken By: Idobson	Date Applied For: 05/13/2004	Zoning Approval	
		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK with cond Date: 5/18/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:
		Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied to D.A 5/18/04 Date: V. Andzup 5/24/04	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040602

PERMIT ISSUED

MAY 27 2004

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Fore & Wharf Llc / Applicanthas permission to Outdoor seating/ add 5 Tables 5 ChairsAT 434 Fore St 032 R004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

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Permit No: 04-0602		Date Applied For: 05/13/2004		CBL: 032 R004001			
Location of Construction: 434 Fore St		Owner Name: Fore & Wharf Llc		Owner Address: 6 Webber Way		Phone:	
Business Name:		Contractor Name: Applicant		Contractor Address: Portland		Phone	
Lessee/Buyer's Name		Phone:		Permit Type: Outdoor Seating			
Proposed Use: Restaurant/Salsa /Outdoor seating add 5 Tables 15 Chairs				Proposed Project Description: Outdoor seating/ add 5 Tables 15 Chairs			
							<input checked="" type="checkbox"/>
							<input checked="" type="checkbox"/>
Dept: Building		Status: Approved		Reviewer: Mike Nugent		Approval Date: 05/25/2004	
Note:		Ok to Issue: <input checked="" type="checkbox"/>					



Design Standards for Outdoor Café Installations on Wharf Street

Over the past few years, numerous establishments have opened outdoor cafes along Wharf Street. In order to avoid visual clutter and lend some consistency to the streetscape, the Historic Preservation Committee of the City of Portland developed design standards that apply to all outdoor cafe installations on Wharf Street.

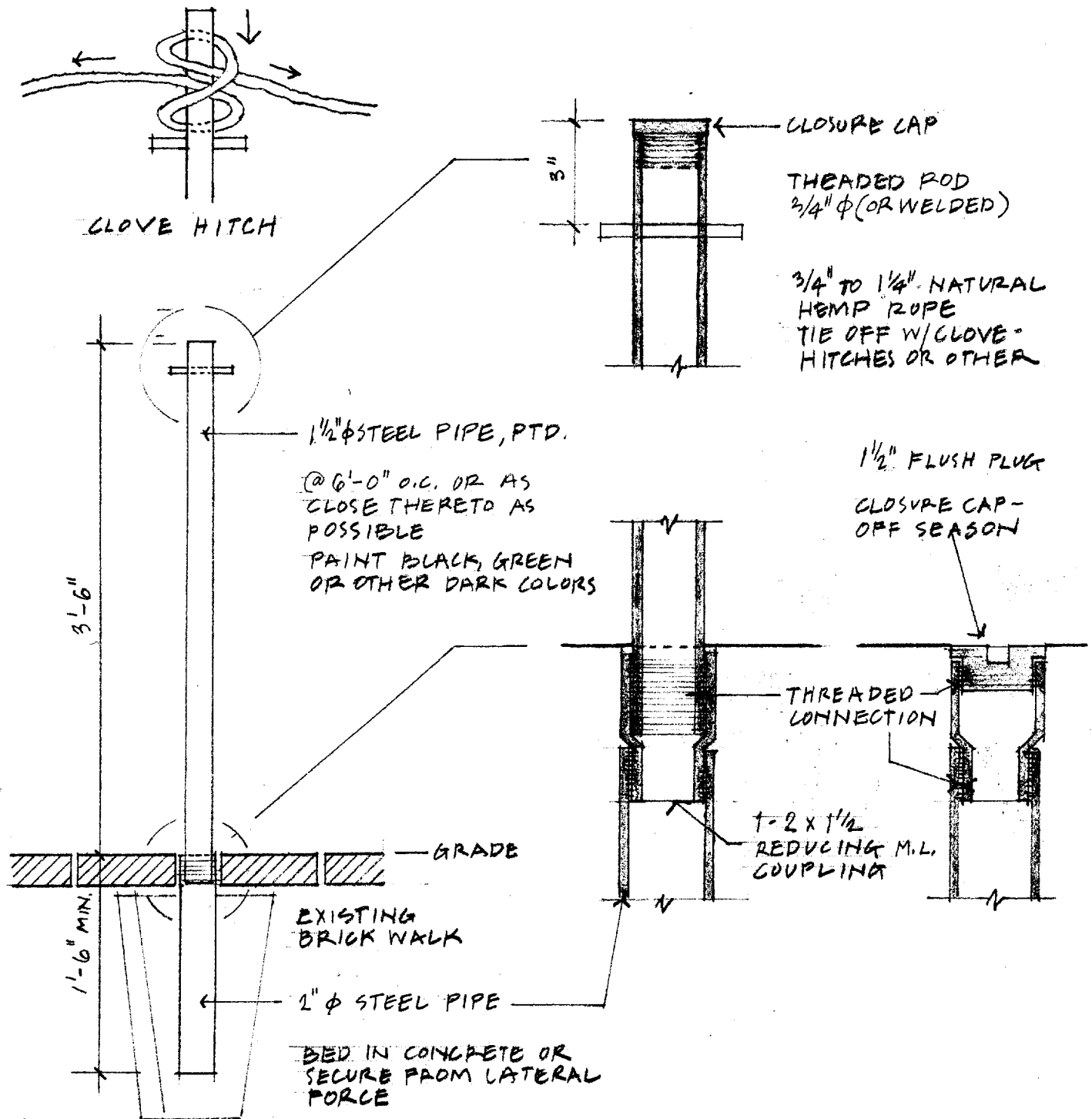
Attached is a construction specification that illustrates the manner in which all outdoor café's are to be cordoned off from the street. The sketch calls for a simple 3'6" steel pipe to be threaded into a base below the sidewalk. At the top of the pipe is a threaded rod around which natural hemp rope is secured. All of the materials specified are readily available through local suppliers.

Note that the posts are to be removed at the end of the season.

In addition to the attached construction specification, the following general design standards shall also apply:

- e No decking shall be installed over the brick sidewalk.
- e No continuous awnings shall be installed to cover the dining area; umbrellas may be installed over individual tables
- e Tables shall not exceed 4 feet in any dimension.
- Lighting shall consist of removable, table-top lights only.

DESIGN STANDARD FOR OUTDOOR DINING



SECTION/ELEVATION

1" = 1'-0"

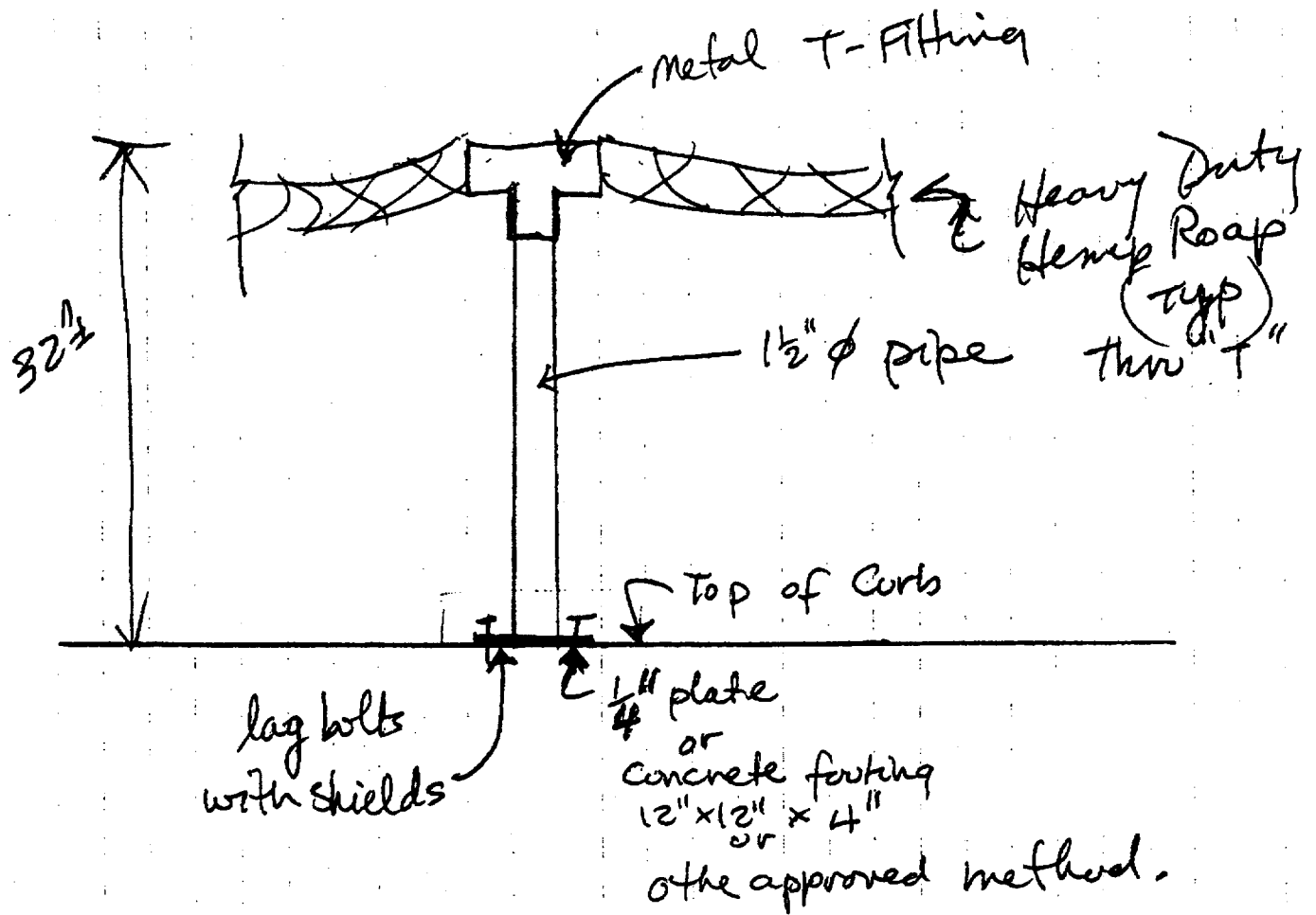
DETAILS

3" = 1'-0"

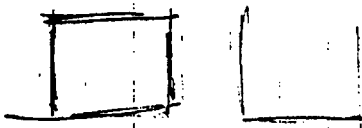
NOTES:
POSTS NOT TO BE INSTALLED
BEYOND THE GRANITE CURB LINE.

RECOMMENDED TO USE GALVANIZED
PIPE, PTD.

POSTS TO BE REMOVED
IN OFF-SEASON + HOLES
TO BE CAPPED.



Alternate Barrier Detail



City of Portland, Maine- Building or Use Permit

389 Congress Street, 04101 Tel: (207)374-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL
04-0602	05/13/2004	032 R004001

Location of Construction: 434 Fore St	Owner Name: Fore & Wharf Llc	Owner Address: 6 Webber Way	Phone:
Business Name:	Contractor Name: Applicant	Contractor Address: Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Outdoor Seating	

Proposed Use:

Restaurant/Salsa /Outdoor seating/ add 5 Tables 15 Chairs

Proposed Project Description:

Outdoor seating/ add 5 Tables 15 Chairs

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/18/2004
Note: **Ok to Issue:** ☒

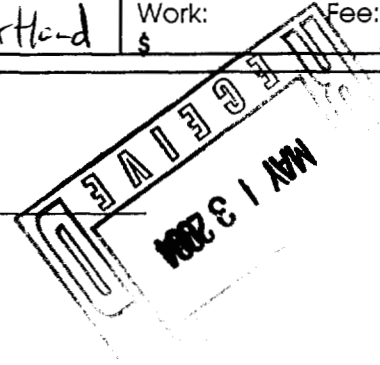
- 1) All outdoor seating is subject to adjustment at any time from the City's traffic engineer who ensures that the City sidewalk is open and cleared for pedestrian use.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** Marge Schmuckal **Approval Date:** **Ok to Issue:** ☐

Outdoor Seating Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Harf Street / 434 Fore St</u>		
Total Square Footage of Proposed Structure <u>160 sq ft</u>	Square Footage of Lot: 25A <u>Est. 5,600</u>	
Tax Assessor's Chart, Block & Lot Number <u>32</u> Chart#	Owner: <u>Todd Proctor</u>	Telephone#: <u>(207) 871-8222</u>
Block# <u>R</u>	Lot# <u>004</u>	
Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <u>11 Exchange St. Portland</u>	Cost Of Work: \$ Fee: <u>\$75.00</u>
Current use: <u>Sidewalk</u> If the location is currently vacant, what was prior use: _____ Approximately how long has it been vacant: _____ Proposed use: <u>full scale dining</u> Project description: <u>outside seating</u> How many chairs <u>15</u> How many tables <u>5</u>		
Contractor's Name, Address & Telephone: <u>N/A</u> Applicants Name, Address & Telephone: <u>Todd Proctor 11 Exchange Street Portland 879-9843</u> Who should we contact when the permit is ready: <u>Kyle Anderson or Todd Proctor</u> Telephone: <u>(207) 253-8001</u> If you would like the permit mailed, what mailing address should we use: _____		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED.

AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Certification

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>5/1/04</u>
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C/B/L: _____

CONDITIONS FOR SIDEWALK OCCUPANCY PERMIT

Written consent and agreement relating to occupancy of the City of Portland sidewalk in the front, side, and or rear of the building at the stated

location: 45 Inhabit Street; in Portland, Maine, by the owner of the establishment being: Todd Proctor, doing business

as: Salsa 1, hereby, to the fullest extent permitted by law, shall defend, indemnify and hold harmless the City of Portland, its officers and employees, from and against all claims, damages, losses and expenses, just or unjust, including, but not limited to costs of defense and attorney's fees, arising out of the establishment's occupancy of the sidewalk, provided that any such claims, damage, loss or expense (1) is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property including the loss of use therefrom, and (2) is caused in whole or in part by any negligent act or omission of the establishment, anyone directly or indirectly employed by it, or anyone for whose act it may be liable.

Signed and acknowledged: _____

Todd Proctor
Establishment owner

Date: 5/1/04

ACORD CERTIFICATE OF LIABILITY INSURANCE		DATE (MM/DD/YYYY) 05/12/04
PRODUCER CROSS INSURANCE - LEWISTON 217 Main Street P.O. BOX 3028 Lewiston, ME 04243		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.
INSURED T&C LLC dba Salsa and Soffritto 29 Wharf Street Portland, ME 04112		INSURERS AFFORDING COVERAGE INSURER A Travelers Property & Casualty INSURER B INSURER C INSURER D INSURER E
		NAIC # 81426

INSR ADD'L LTR INSR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC	16801655B472TIA04	04/05/04	04/05/05	EACH OCCURRENCE DAMAGE TO RENTED PREMISES (Ea. occurr) MED EXP (Any one per) PERSONAL & ADV IN. GENERAL AGGREGA PRODUCTS - COMB
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea. accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
	EXCESS/UMBRELLA LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below				WC STATU- OTH- E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOY \$ E.L. DISEASE - POLICY LIMIT \$
	OTHER				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

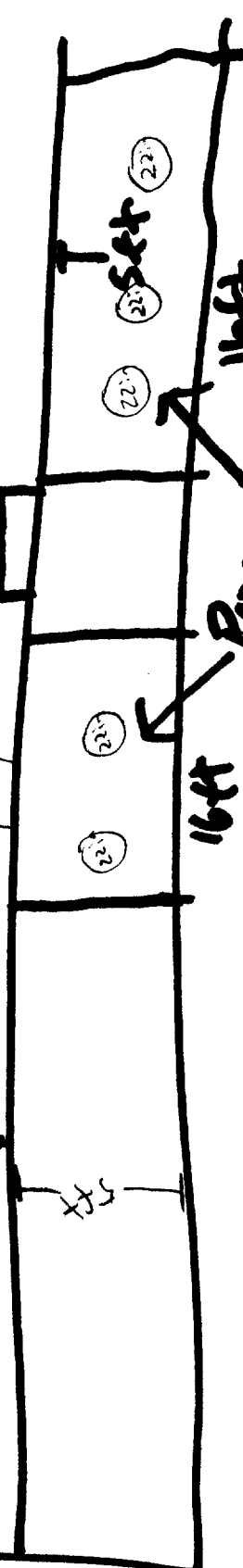
City of Portland Congress Street Portland ME 04101	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE Susan M. Dwyer
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--- ALMA ST ---

Digger's

45' 6" 1/2

100 ft



Proposed Seating
160 sq/ft

Street