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ISSUE/REVISION DATE

1 12/08/04

LIST OF DRAWINGS

T001	TITLE SHEET
A101	FLOOR PLAN
A401	REFLECTED CEILING PLAN
A601	BUILDING AND STAIR SECTIONS
A701	SCHEDULES & DETAILS

ISSUE HISTORY

1 12/08/04

GENERAL NOTES

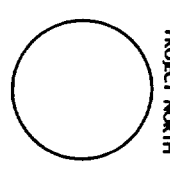
- GENERAL CONTRACTOR SHALL PROVIDE ANY MECHANICAL WORK REQUIRED ON A DESIGN BUILD BASIS, REBALANCE SYSTEM WHEN COMPLETE.
- GENERAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL AND PLUMBING WORK ON A DESIGN BUILD BASIS.
- GENERAL CONTRACTOR SHALL PROVIDE ALL FIRE PROTECTION WORK ON A DESIGN BUILD BASIS.
- MEP DESIGN BUILD SCOPE OF WORK SHALL MEET ALL APPLICABLE STATE AND CITY CODE REQUIREMENTS.
- ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH WORK AND OBTAIN APPROVALS OF ALL REGULATORY AGENCIES PRIOR TO COMPLETION AND AS REQUIRED.
- THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS & SPECIFICATIONS, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION-AIA DOCUMENT A201 (1997 EDITION), OWNER-CONTRACTOR AGREEMENTS AND ALL ADDENDA ISSUED PRIOR TO AND ALL PLAN CHANGES ISSUED AFTER EXECUTION OF THE CONTRACT.
- UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT DEFINED BY THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE FOR THE INSTALLATION OF ALL ACCESSORIES, CONNECTIONS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.
- CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SCHEDULING, METHODS AND TECHNIQUES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING AND OBTAINING ALL PERMITS, INSPECTIONS, REQUIRED TESTS AND UTILITY CONNECTIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT PLACE.
- CONTRACTOR TO INSPECT THE AREA OF WORK PRIOR TO STARTING AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ACTUAL CONDITIONS, DO NOT SCALE THESE DRAWINGS.
- PRIOR TO CLOSING ANY WALLS OR CEILING, ALL SYSTEMS (HVAC, PLUMBING, ELECTRICAL, ETC.) MUST BE INSPECTED AND MEMOS REQUIRED. TESTING AND RECORDS SHALL BE MAINTAINED AND THE CONTRACTOR SHALL HAVE JURISDICTION TO REPAIR THEIR PROPER INSTALLATION AND FUNCTION.
- THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FUTURE RECEIPTABLE OR BUILT-IN OBJECT UP UNTIL THE TIME THE RESERVE SHALL APPROVE THE WALLS OR CEILING TO BE CLOSED. THE APPROVAL SHALL TAKE PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS ORDINANCES.
- AT NEW CONSTRUCTION PROVIDE ONE PRIMER COAT AND TWO TOP COATS OF PAINT WITH COLOR.
- SUBMIT SAMPLES, SHOP DRAWINGS & SCHEDULES FOR ARCHITECT REVIEW & APPROVAL FOR THE FOLLOWING:
 - PAINTS, FINISHES, HARDWARE SCHEDULES & PRODUCT DATA SHEETS
 - DOORS, PARTITIONS, HARDWARE SCHEDULES & SCHEDULES
 - MILLWORK SHOP DRAWINGS & SAMPLES
 - CEILING SYSTEMS
 - LIGHT FIXTURES
- IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE COSTLY OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT, UNLESS OTHERWISE STATED IN WRITING, FROM THE OWNER.
- GENERAL CONTRACTOR SHALL WARRANT WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP THE PREMISES CLEAN OF DEBRIS, RUBBISH, EXCESS MATERIALS, ETC.
- CHARGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE HONORED UNLESS THE WORK AND THE AMOUNT ARE AGREED TO BY THE OWNER IN WRITING BEFORE THE WORK IS DONE, BASED UPON UNIT PRICING.
- AS REQUIRED BY CODE, EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSPECTION OF THAT PORTION OF WORK.
- ALL DIMENSIONS ARE TO THE FACE OF DRYWALL OR WAGONRY UNLN.
- QUALITY CONTROL:
 - SITE MEETINGS: CONTRACTOR TO CONDUCT SITE MEETINGS AND WRITE MEETING MINUTES AT FREQUENCY AS DIRECTED BY OWNER. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE PRESENT, UNLESS WAIVED BY OWNER. INDICATED ON DRAWINGS AS ONE OF THE CONTRACTOR'S RESPONSIBILITIES AND INDICATED ON MEASUREMENTS AND SCHEDULES AS ONE OF THE CONTRACTOR'S RESPONSIBILITIES. GENERALLY ACCEPTED INDUSTRY STANDARDS AND INSTALL PRODUCTS IN STRICT COMPLIANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
 - WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTENT, THE WORKS ACCEPTABLE, VISIBLY, INVISIBLY, WATCHING, ALIGNED AND FINISHES SHALL BE THE SAME AS THE WORK ACCEPTABLE, ALIGNED AND FINISHES OF THE ARCHITECT OR OWNER.

CODE SUMMARY

PROJECT IS DESIGNED TO, INTERNATIONAL BUILDING CODE 2003 EDITION, USE GROUP: BUILDING MIXED USE B1B3, PROJECT R3
 PROJECT SIZE: 4900 SF, 2 STORIES,
 BUILDING SIZE: 12000 SF, 4 STORIES AND BASEMENT.
 TYPE OF CONSTRUCTION: TYPE 3B
 FIRE SUPPRESSION: FULLY SPRINKLERED

**INTERIOR CONSULTATION:
ADE RESIDENCE**

NO	DATE	REVISIONS
1	12/30/04	ISSUED FOR PERMITTING



ADE RESIDENCE
 4 CITY CENTER
 PORTLAND, MAINE

TITLE SHEET

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 428 Fore Street, 3rd Fl.
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 Fax: 207-874-2775
 www.cubellis.com

DATE	DRAWN BY	CHECKED BY	SCALE
12-31-04	DVS	GDN	NOT TO SCALE

T001

04667DT






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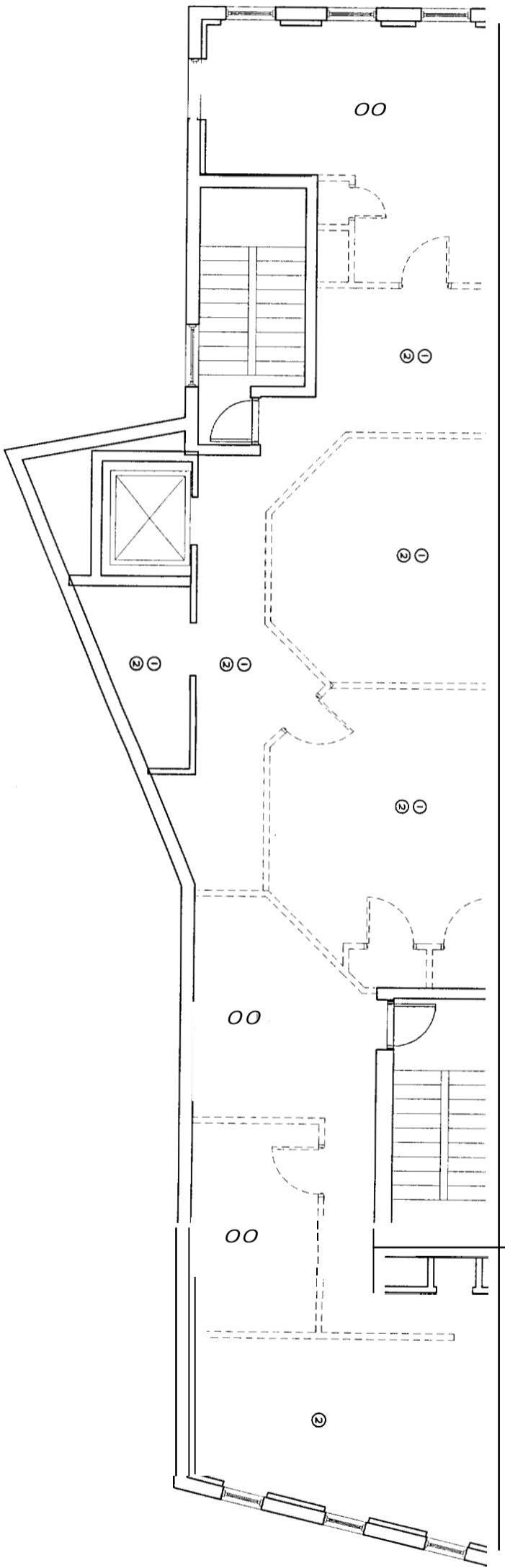
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DEMOLITION NOTES

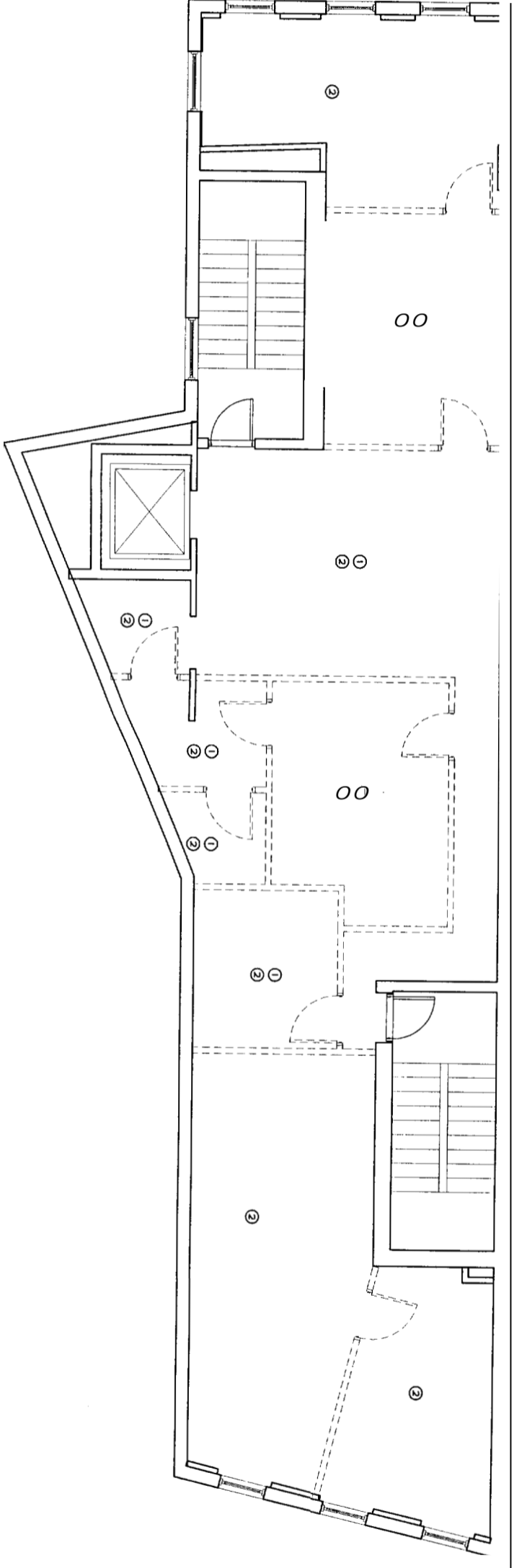
1. THE CONTRACTOR SHALL PERFORM A SITE SURVEY WITH THE SUB-CONTRACTOR PRIOR TO STARTING WORK.
2. SALVAGE DEVICES THAT MEET CURRENT CODE SUCH AS FIRE ALARM CALL BOXES, FULL STATIONS, EXTINGUISHERS, SMOGERS, LIGHTED EXIT SIGNS FOR REUSE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIALS FROM THE SITE, LEAVING A CLEAN, SAFE SPACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND REGULATIONS FOR WORKING HOURS, SCHEDULING ELEVATORS AND DISTURBANCE RULES, COORDINATE W/ OWNER.
4. ANY WORK INVOLVING ALTERATIONS TO EXISTING BUILDING UTILITIES WHICH REQUIRE UTILITY SHUT DOWN, SHALL BE COORDINATED WITH THE OWNER AND SHALL REQUIRE A MINIMUM OF FIVE (5) DAYS NOTICE.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY RELOCATION OF ALL EQUIPMENT AND MATERIALS CURRENTLY STORED IN THE BUILDING.
6. REMOVE ALL EXISTING CONSTRUCTION AS SHOWN ON DRAWINGS WHICH INCLUDE, BUT SHOULD NOT BE LIMITED TO PARTITIONS, HEAD AND SILL PLATES, DOOR FRAMES AND HARDWARE, BASE, EXPOSED FINISH, PARTITIONS, FILLER, SPACER FINISHES, FINISH, PARTITIONS, FILLER, SPACER FINISHES, SWITCHING, ELECTRICAL, OUTLETS, ELECTRICAL, POWER DISTRIBUTION SYSTEM TO POWER PANEL AND GENERAL CARPET.
7. IMMEDIATELY CLEAN AND REMOVE DEBRIS FROM AREAS OF CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THE NEXT NORMAL WORKING DAY.
8. CONTRACTOR TO VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT BEARING.
9. CONTRACTOR TO SHORE ALL EXISTING AND NEW OPENINGS IN BEARING WALLS.
10. IN AREAS WHERE FLOORING IS TO BE REMOVED, CARE TO BE TAKEN THAT THE SURFACE IS CLEANED OF ALL ADHESIVE AND PREPARED TO RECEIVE NEW FLOORING.
11. SALVAGE FOR RE-USE ALL EXISTING DOORS, HARDWARE, FRAMES, WOOD TRIM AND WOOD MANSICOTT WHERE POSSIBLE.

DEMOLITION LEGEND


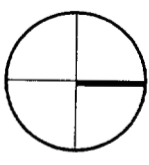
-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE DEMOLISHED
-  EXISTING DOOR SCHEDULED TO REMAIN
-  EXISTING DOOR SCHEDULED TO BE REMOVED. REMOVE AND STORE ALL FRAMES, HARDWARE AND ASSOCIATED DOOR TRIM FOR REUSE.
-  ROOM NAME & NUMBER
- ① REMOVE EXISTING CEILING COMPLETE
- ② REMOVE EXISTING FLOORING MATERIAL TO SUBSTRATE
- ③ REMOVE EXISTING

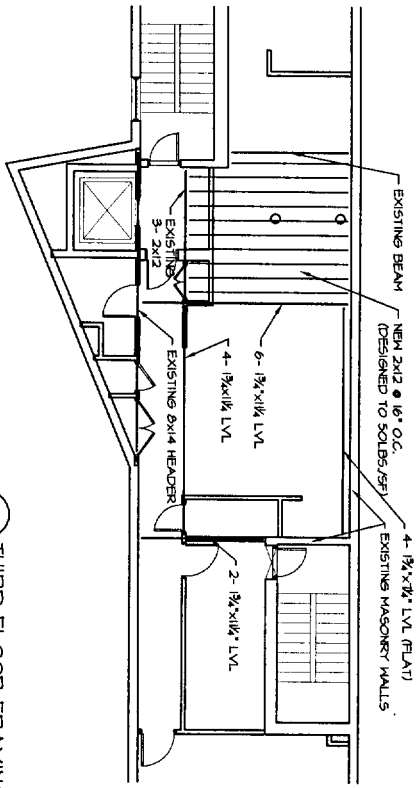


(B) FOURTH FLOOR CEILING PLAN
 1/4" = 1'-0"

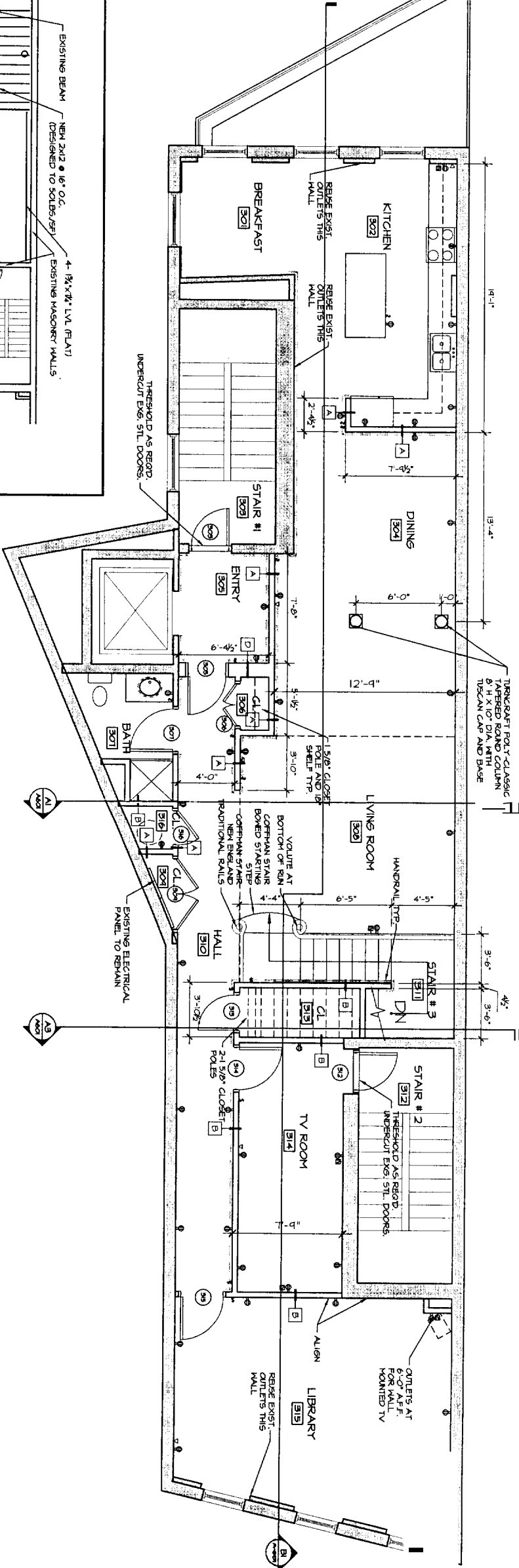


(A) THIRD FLOOR CEILING PLAN
 1/4" = 1'-0"

<p>A001</p> <p>04667PT</p>	 <p>Cubellis Associates Inc. Architecture Interiors Engineering</p> <p>428 Fore Street, 3rd Fl. Portland, ME 04101 Tel: 207-874-2777 Fax: 207-874-2772 www.cubellis.com</p>	<p>TITLE</p> <p>DEMOLITION PLANS</p>	<p>ADE RESIDENCE</p> <p>4 CITY CENTER PORTLAND, MAINE</p>	 <p>PROJECT NORTH</p>	<p>NO. DATE REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">1</td> <td style="width: 15%;">02/20/04</td> <td style="width: 80%;">ISSUED FOR PERMITTING</td> </tr> </table>	1	02/20/04	ISSUED FOR PERMITTING
		1	02/20/04		ISSUED FOR PERMITTING			
<p>DATE</p> <p>12-31-04</p>	<p>DRAWN BY</p> <p>DVS</p>	<p>CHECKED BY</p> <p>GDN</p>	<p>SCALE</p> <p>AS NOTED</p>	<p>OWNER</p> <p>JERRY ADE</p>				



A2 THIRD FLOOR FRAMING PLAN
1/4" = 1'-0"

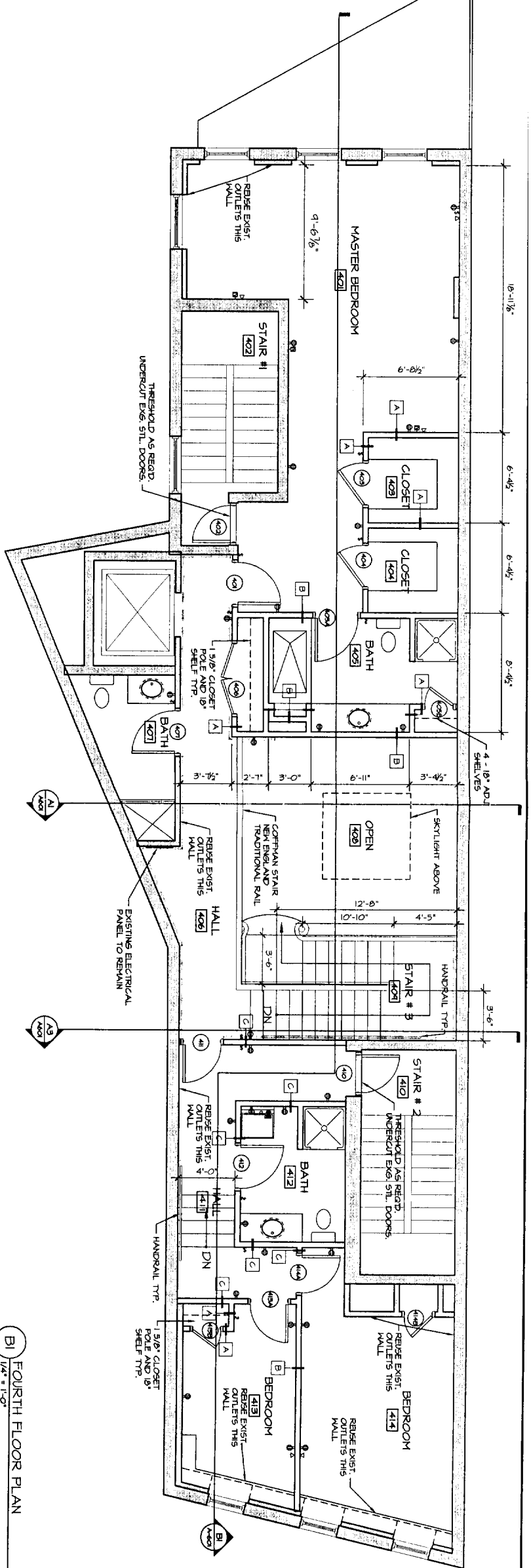


- OUTLET LEGEND**
- NEW STANDARD DUPLEX OUTLET
 - NEW 220 VOLT OUTLET
 - NEW VOICEDATA OUTLET
 - NEW STANDARD SINGLE-POLE LIGHT SWITCH
 - NEW TELEVISION CABLE

- CONSTRUCTION LEGEND**
- NEW CONSTRUCTION
 - EXISTING CONDITIONS
 - LOCATION OF NEW ENGLAND CLASSIC TRADITIONAL RAISED PANEL MAINSCOOT

- NOTES**
1. GYPDM IN BATHROOMS TO BE MOISTURE RESISTANT. PROVIDE CEMENTIOUS TILE BACKER BOARD AT SHOWERS & TUB SURROUNDS, ETC.
 2. ALL ELECTRICAL OUTLETS IN BATHROOMS, LAUNDRY, & KITCHEN TO BE GFCI.
 3. PROVIDE WOOD BLOCKING FOR CLOSET POLES & BATHROOM ACCESSORIES.

A1 THIRD FLOOR PLAN
1/4" = 1'-0"



B1 FOURTH FLOOR PLAN
1/4" = 1'-0"

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PORTLAND, MAINE

OWNER: JERRY ADE

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PROJECT NORTH

TITLE	FLOOR PLANS
PROJECT	A101
DRAWING NO.	04667PT

REFLECTED CEILING NOTES

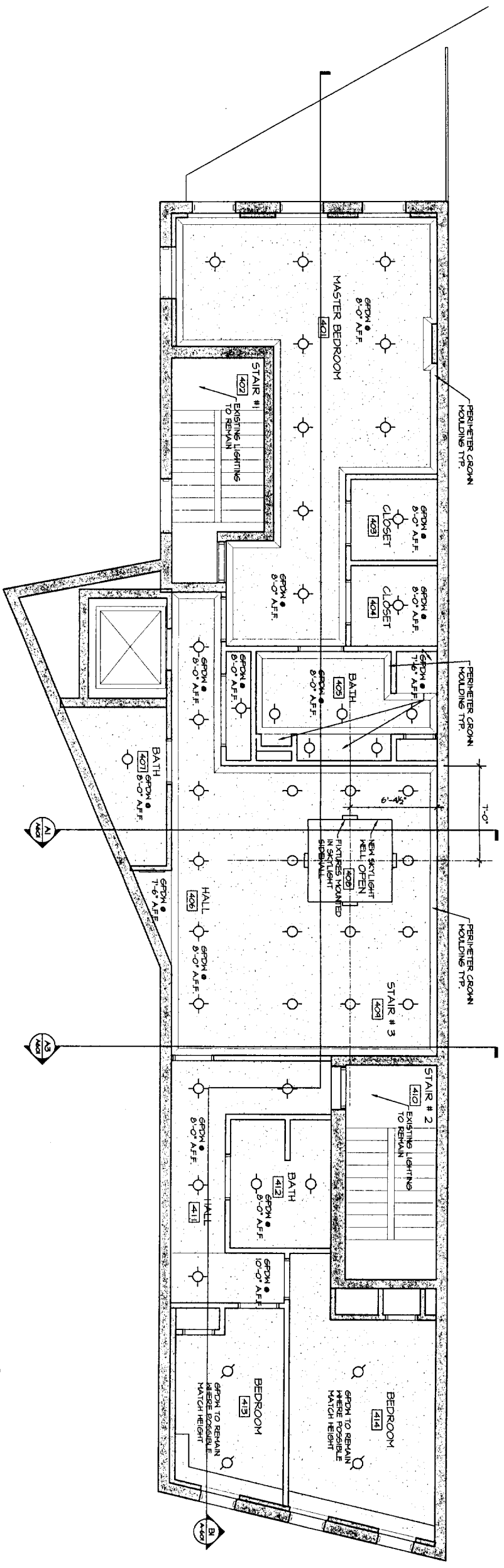
- THIS PLAN IS FOR CEILING CONSTRUCTION AND FIXTURE TYPE AND LOCATIONS ONLY.
- EXISTING SPRINKLER AND HVAC SYSTEMS TO BE RECONFIGURED BY DESIGN BUILD CONTRACTOR TO ACCOMMODATE NEW ROOM CONFIGURATIONS. REUSE EXISTING PIPES, DIFFUSERS, AND DUCTS WHEREVER POSSIBLE. PROVIDE NEW SPRINKLER HEADS IN GYM TO BE WHITE RECESSED W/ POP DOWN COVER.
- PROVIDE FRESH CEILING ACCESS DOORS AS REQUIRED. VERIFY NEW LOCATION OF SPRINKLER HEADS, DIFFUSERS, AND ACCESS PANELS WITH ARCHITECT

REFLECTED CEILING LEGEND

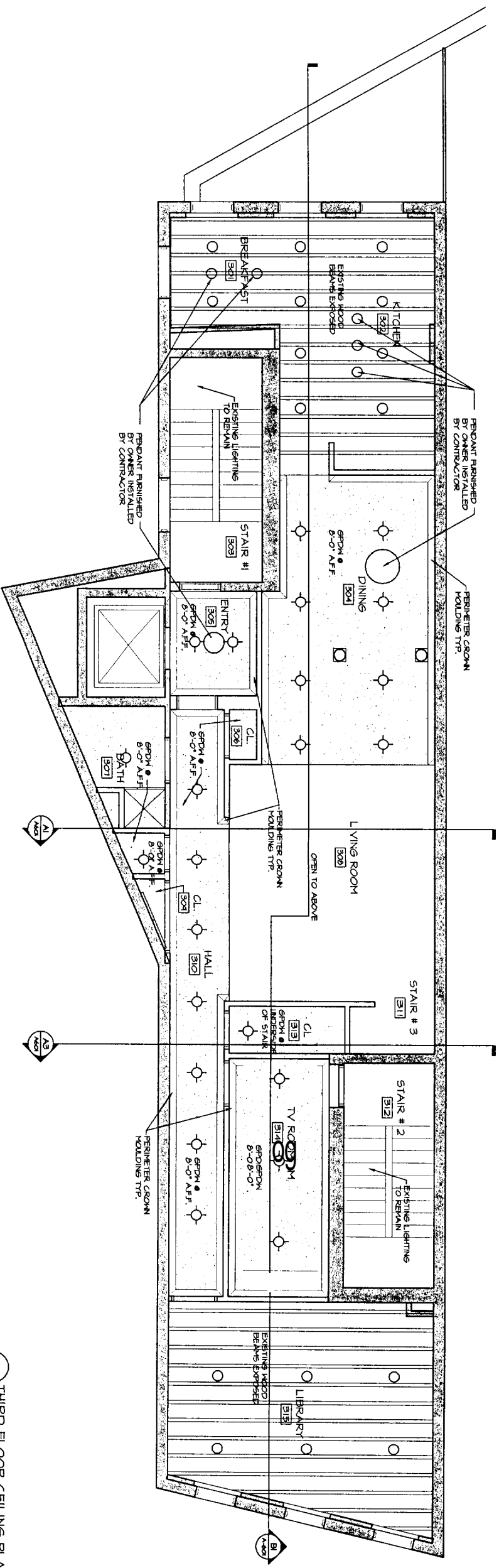
- A ○ RECESSED DOWNLIGHTS
- B ○ RECESSED DOWNLIGHTS
- D ○ RECESSED DOWNLIGHTS
- RECESSED DOWNLIGHTS
- E ○ SURFACE-MOUNT DOWNLIGHTS
- F □ RECESSED NICHE UPLIGHTS
- GYM CEILING/ SOFFIT
- ▨ EXPOSED STRUCTURE/ SUPPLOOR

NO.	MATERIAL	MANUFACTURER	STYLE	REMARKS/LOCATION
A	RECESSED DOWNLIGHT	PRESCOUTE	FBX 6" UNIVERSAL LITEBOX W/ TBW1.3 TRIM	THROUGHT-OUT LIMIT OF WORK U.O.N.
B	RECESSED DOWNLIGHT	PRESCOUTE	FBX 6" UNIVERSAL LITEBOX W/ TBW1.3 TRIM	OPEN 408 STAIR #3 409.
C	RECESSED DOWNLIGHT	PRESCOUTE	DBX 6" UNIVERSAL LITEBOX W/ TBW1.3 TRIM	BEDROOMS 413, 414.
D	RECESSED DOWNLIGHT	PRESCOUTE	DBX 6" DUAL LABELED LITE BOX W/ TBW6.0 TRIM	BATHROOMS 307, 405, 407, 412.
E	SURFACE-MOUNT DOWNLIGHT	PRESCOUTE	LITE FORMS 6" CYLINDER 1105-976 Z	BREAKFAST 301, KITCHEN 302, LIBRARY 315.
F	RECESSED NICHE UPLIGHT	ELP	126 00-H1W	SKYLIGHT ○ OPEN 408

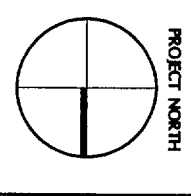
PROVIDE DINING SYSTEM IN ROOMS 302,304,308,310,315,401,406,408
 PROVIDE 100 CFM EXHAUST FANS IN ROOMS 307,405,407,412



BI FOURTH FLOOR CEILING PLAN
1/4" = 1'-0"



A1 THIRD FLOOR CEILING PLAN
1/4" = 1'-0"



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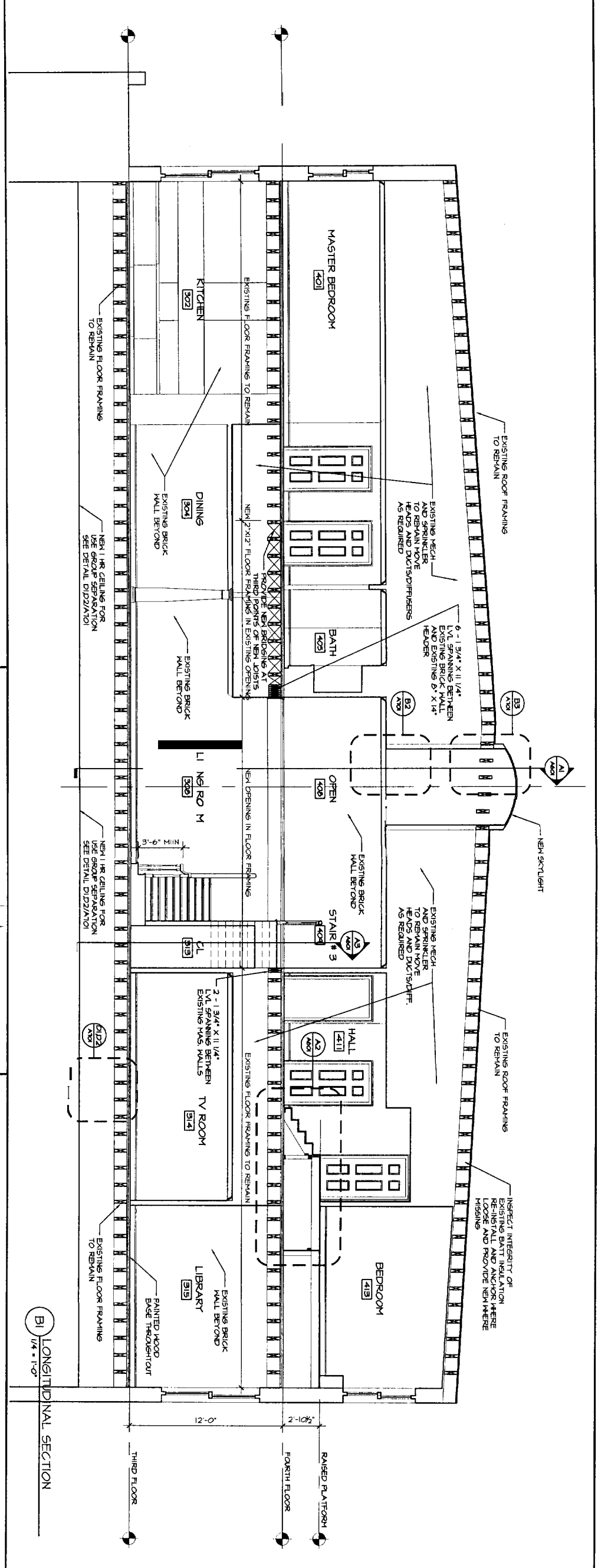
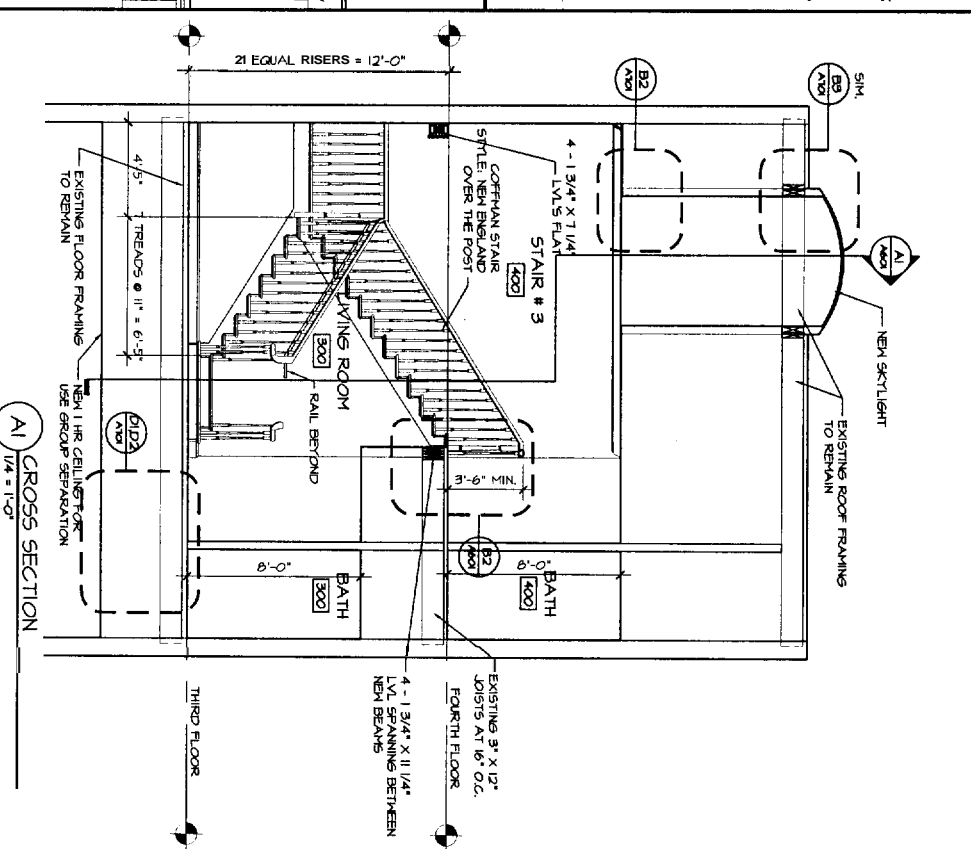
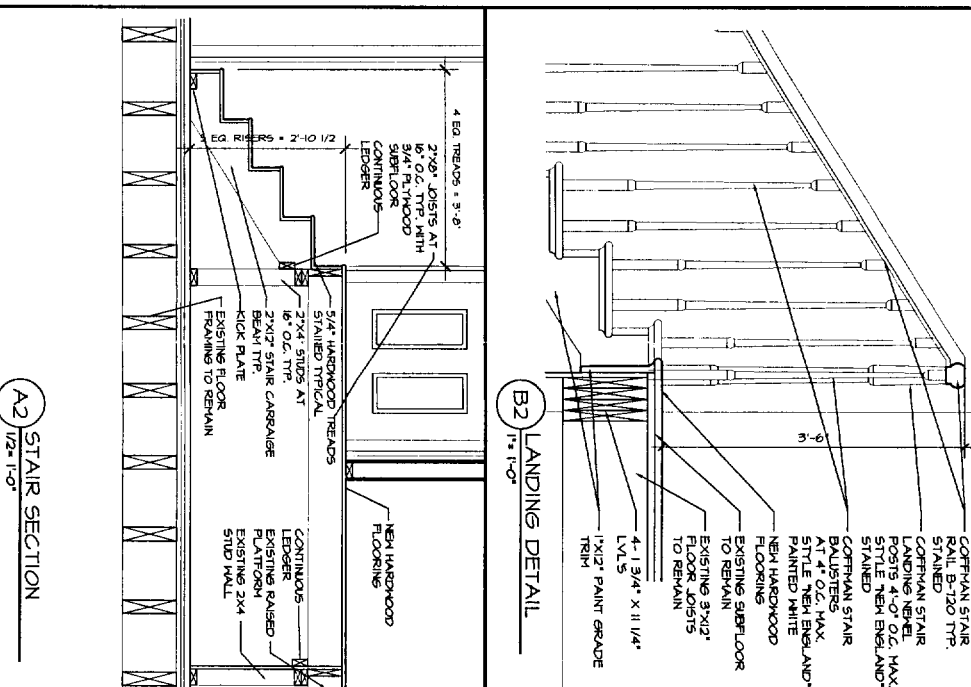
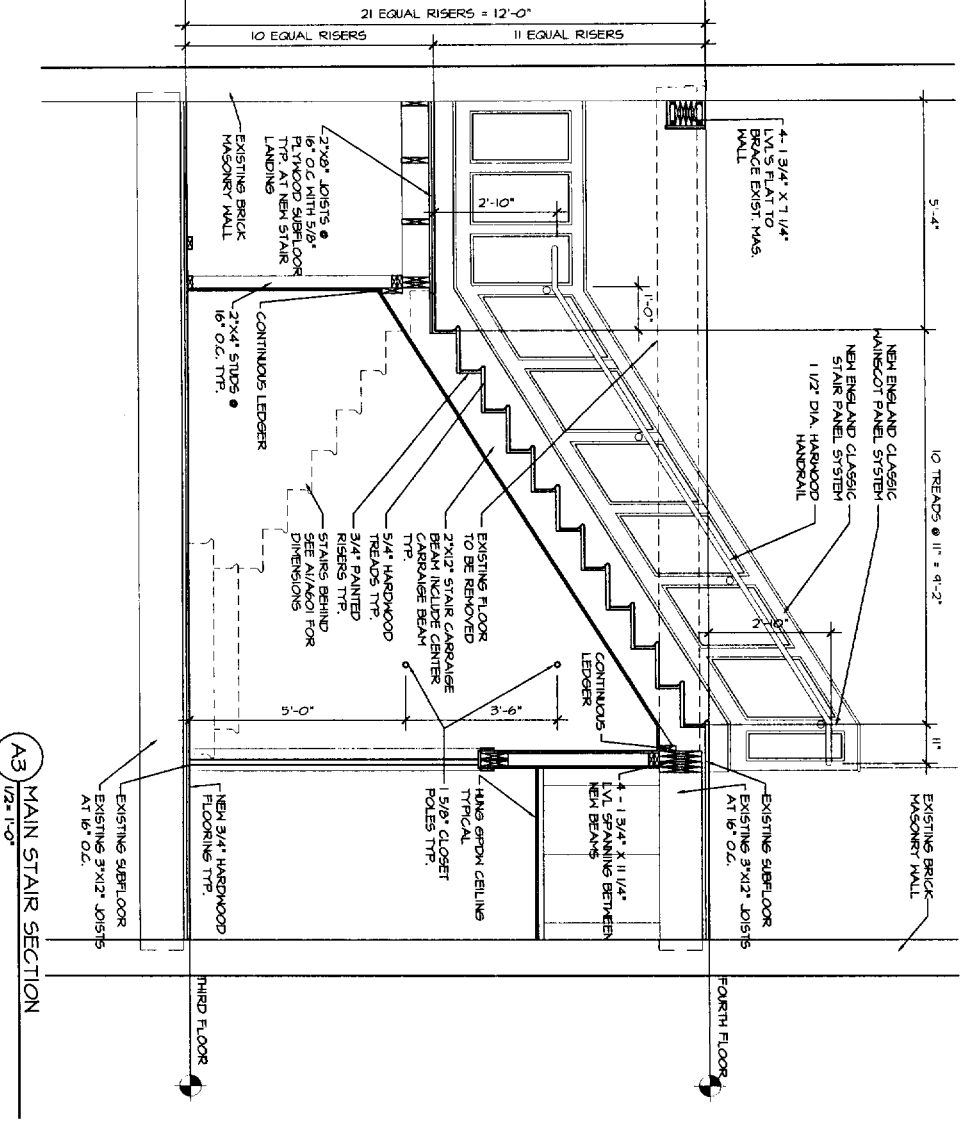
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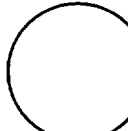
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DATE: 12-31-04
 DRAWN BY: DVS
 CHECKED BY: GDN

A401
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