

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 080159

This is to certify that SOLETSKY LIMITED LIABILITY CO / Monaghan Woodw In

has permission to Tenant fit-up, first floor, suite

AT 424 FORE ST

032 N012001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is provided. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. Craig Cross  
 Health Dept. \_\_\_\_\_  
 Appeal Board \_\_\_\_\_  
 Other \_\_\_\_\_  
Department Name

*John A. Markley* 3/6/08  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**PERMIT ISSUED**

MAR - 6 2008

CITY OF PORTLAND

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0159	Issue Date:	CBL: 032 N012001
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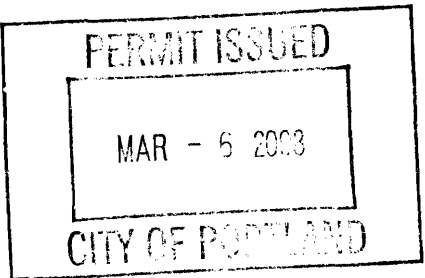
Location of Construction: 424 FORE ST	Owner Name: SOLETSKY LIMITED LIABILITY	Owner Address: 100 COMMERCIAL ST	Phone: 775-2252
Business Name:	Contractor Name: Monaghan Woodworks Inc.	Contractor Address: 100 Commercial St. Portland	Phone: 2077752683
Lessee/Buyer's Name	Phone:	Permit Type:	Zone: B-3

Past Use: Merchantile (retail "condo in sense")	Proposed Use: Mercantile- Tenant fit-up, first floor suite 1A	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: M Type: <del>MA</del>	

Proposed Project Description: Tenant fit-up, first floor, suite 1a	Signature: <i>Lorey Carr</i>	Signature: <i>3/6/08, J</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) retail PAD use of		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: <i>S</i>	Date: <i>2/25/08</i>	

Permit Taken By: lmd	Date Applied For: 02/22/2008	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> -Minor <input type="checkbox"/> MM <input type="checkbox"/>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<p><b>Historic Preservation</b></p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	<p>Date: <i>3/25/08</i></p>	<p>Date: <i>3/25/08</i></p>	<p>Date: <i>any extension work requires a separate review and approval</i></p>



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

~~Final Certificate of Occupancy: Prior to any occupancy of the structure or use.~~

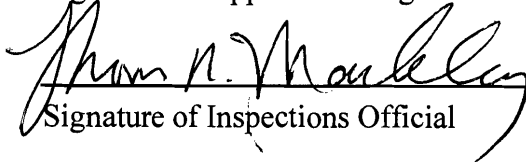
~~NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

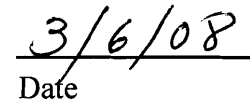
**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

  
Signature of Inspections Official

\_\_\_\_\_  
Date

  
Date

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0159	<b>Date Applied For:</b> 02/22/2008	<b>CBL:</b> 032 N012001
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<b>Location of Construction:</b> 424 FORE ST	<b>Owner Name:</b> SOLETSKY LIMITED LIABILITY	<b>Owner Address:</b> 100 COMMERCIAL ST	<b>Phone:</b> ( ) 775-2252
<b>Business Name:</b>	<b>Contractor Name:</b> Monaghan Woodworks Inc.	<b>Contractor Address:</b> 100 Commercial St. Portland	<b>Phone:</b> (207) 775-2683
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Mercantile- Tenant fit-up, first floor suite 1A - "Condom Sense"	<b>Proposed Project Description:</b> Tenant fit-up - 1st floor, suite 1a
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 02/25/2008

**Note:****Ok to Issue:** 

- 1) This property is located within a Pedestrian Activities District (PAD) which regulates first floor uses along the pedestrian way to retail-like in nature. No existing window shall be closed up or covered up.
- 2) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 3) Separate permits shall be required for any new signage.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 03/06/2008

**Note:****Ok to Issue:** 

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved      **Reviewer:** Capt Greg Cass      **Approval Date:** 02/28/2008

**Note:****Ok to Issue:**



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>CONDOM SENSE - 424 FORE STREET - 1ST FLOOR - SUITE 1A</b>		
Total Square Footage of Proposed Structure <b>SUITE 1A TENANT SPACE = 775 S.F.</b>		Square Footage of Lot <b>N/A</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>032              N012              001</b>	Owner: <b>SOLETSKY, LLC 100 COMMERCIAL ST. - SUITE 305 PORTLAND, ME 04101</b>	Telephone: <b>207.775.2252</b>
Lessee/Buyer's Name (If Applicable) <b>CONDOM SENSE, INC. 424 FORE STREET PORTLAND, MAINE 04116 P: 207.871.0356</b>	Applicant name, address & telephone: <b>MARK MUELLER ARCHITECTS 100 COMMERCIAL ST. - SUITE 205 PORTLAND, ME 04101 P: 207.774.9057 - F: 207.773.3851</b>	Cost Of Work: \$ <b>15,000</b> Fee: \$ <b>170.00</b> C of O Fee: \$ <b>N/A</b>
Current Specific use: <b>MERCANTILE</b> If vacant, what was the previous use? <b>N/A</b> Proposed Specific use: <b>MERCANTILE</b>		
Project description: <b>INTERIOR TENANT FIT-UP OF THE FIRST FLOOR SUITE 1A.</b>		
Contractor's name, address & telephone: <b>MONAGHAN WOODWORKS</b>		
Who should we contact when the permit is ready: <b>BRAD FINLAY</b> Mailing address: <b>MONAGHAN WOODWORKS</b> Phone: <b>207.756.5410</b> <b>100 COMMERCIAL ST. - SUITE 311 PORTLAND, ME 04101 P: 207.775.2683</b>		

Please submit all of the information outlined in the Commercial Application Checklist.  
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

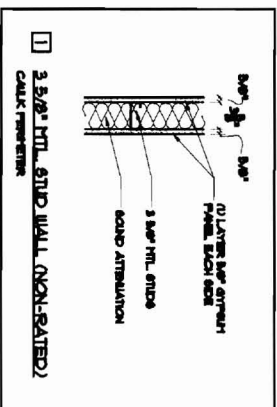
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Date: **FEBRUARY 21, 2007**

**This is not a permit; you may not commence ANY work until the permit is issued.**

1812



DOOR SCHEDULE														
DOORS					FRAMES					THRESHOLD				
NO.	TYPE	SIZE	TK	FR.	MAT.	TYPE	MAT.	FR.	MAT.	SERIALS	MAT.	SERIALS	MAT.	SERIALS
101	-	-	-	-	-	-	-	-	-	-	-	-	-	-
102	-	-	-	-	-	-	-	-	-	-	-	-	-	-
103	-	-	-	-	-	-	-	-	-	-	-	-	-	-
104	-	-	-	-	-	-	-	-	-	-	-	-	-	-

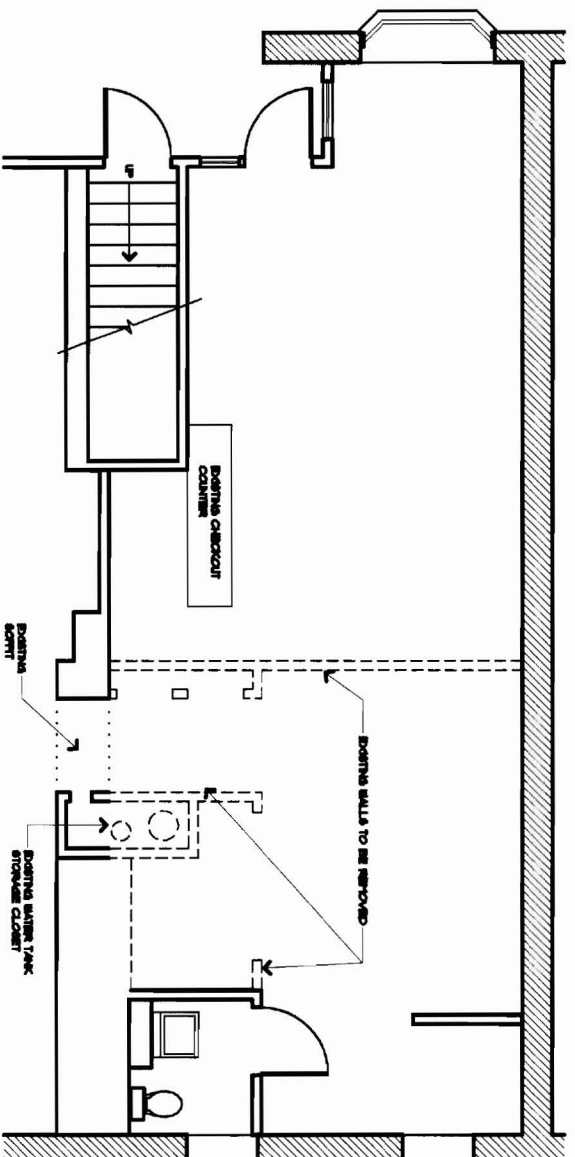
**DOOR SCHEDULE ASSUMPTIONS**

MAT. - SEAL CORNER  
TK - 2" HOLLOW  
FR. - FINISHED LTR  
FR. - FINISHED LTR  
FR. - FINISHED LTR  
FR. - FINISHED LTR  
FR. - FINISHED LTR

**REMARKS**

101-104: EXISTING DOOR SYSTEM TO REMAIN  
101-104: EXISTING DOOR TO REMAIN  
101-104: EXISTING DOOR TO REMAIN  
101-104: NEW DOOR W/ ATTACHED SLATWALL

- NOTES:
- VERIFY SECURITY SYSTEM DOOR CONTACTS W/ VENDOR.
  - ALL INTERIOR EXISTING WALLS TO BE CONTACTED FOR THE PROPOSED WORK.
  - ALL INTERIOR EXISTING WALLS TO BE CONTACTED FOR THE PROPOSED WORK.
  - ALL INTERIOR EXISTING WALLS TO BE CONTACTED FOR THE PROPOSED WORK.
  - FILL LITE DOORS SHALL HAVE THERMO-BREAK.



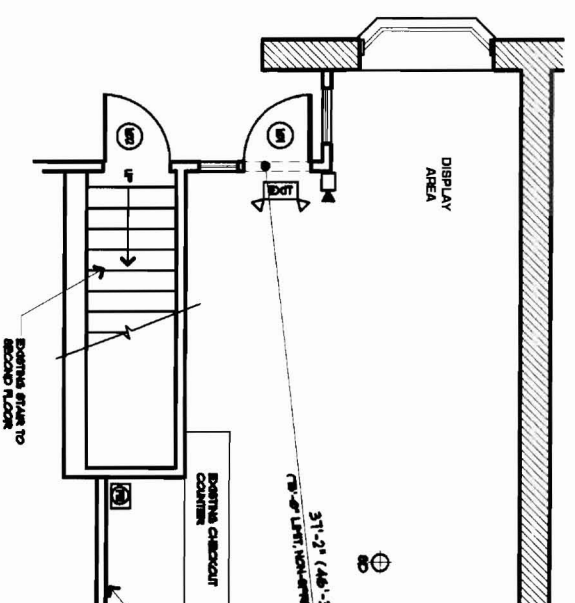
**EXISTING/ DEMO FLOOR PLAN**

SCALE: 1/4" = 1'-0"

OCCUPANT LOAD		OCCUPANT LOAD DATA	
1	100	100	100
2	100	100	100
3	100	100	100
4	100	100	100
5	100	100	100
6	100	100	100
7	100	100	100
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99	100	100	100
100	100	100	100

OCCUPANT LOAD FOR NON-COMMERCIAL OFFICE FLOOR AREA  
OCCUPANT LOAD = 100/SF  
TOTAL OCCUPANT LOAD = 24 PEOPLE

- PROJECT NOTES**
1. ACCORD TO BIDDING, THE PROJECT INCLUDES THE INTERIOR TRIM-UP FOR CONDOCH... (text is partially obscured)
  2. ELECTRICAL, ALL NEW WORK SHALL MEET THE NEC AND NFPA 70. ALL LIFE SAFETY INTERVENTION W/ THE EXISTING SHALL MEET NFPA 72.
  3. ALL NEW INTERIOR FINISHES SHALL MEET... (text is partially obscured)
  4. FINISHING FINISHES AND EQUIPMENT... (text is partially obscured)



**PROPOSED FLOOR PLAN**

SCALE: 1/4" = 1'-0"