

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 01-0823	Issue Date: JUL 18 2001	CBL: 032 N012001
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Location of Construction: 27-29 Wharf St.	Owner Name: Soletsky Limited Liability Co	Owner Address: 111 Commercial St	Phone: 207-775-7141
Business Name: Thailand Restaurant	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name: Thailand, Inc.	Phone: 207-775-7141	Permit Type: Outdoor Seating	Zone: B-3

Past Use: Commercial / Food Service	Proposed Use: Same: Set-Up Tables and Chairs for Outside Dining. Call Tony when ready.	Permit Fee: \$75.00	Cost of Work: \$0.00	CEO District: 1
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Proposed Project Description: Set-Up Tables and Chairs for Outside Dining.	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: Type:
	Signature: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____

Permit Taken By: cjh	Date Applied For: 07/10/2001	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/11/01	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input checked="" type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions MUST COMPLY W/ ATTACHED to D. A. DESIGN STANDARD Date: 7/11/01
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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Outdoor Seating Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 27-29 WHARF ST PORTLAND, ME 04101

Total Square Footage of Proposed Structure <u>308</u>	Square Footage of Lot <u>308</u>
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Tax Assessor's Chart, Block & Lot Number Chart# <u>32</u> Block# <u>N</u> Lot# <u>12</u>	Owner: <u>MONOPOLY, INC.</u>	Telephone#: <u>775-7141</u>
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Lessee/Buyer's Name (If Applicable) <u>THAILAND, INC.</u>	Owner's/Purchaser/Lessee Address: <u>#18 FORE ST PORTLAND.</u>	Cost Of Work: \$ Fee: \$75.00
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Current use: SIDE WALK.
 If the location is currently vacant, what was prior use: SIDE WALK
 Approximately how long has it been vacant:
 Proposed use: DINING TABLE FOR SUMMER.
 Project description: outside seating
 How many chairs 32 How many tables 8

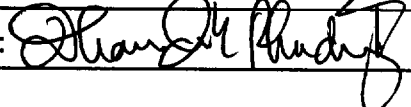
Contractor's Name, Address & Telephone:
 Applicants Name, Address & Telephone: THAILAND RESTAURANT. 27-29 WHARF ST. PORTLAND ME. 04101, 775-7141
 Who should we contact when the permit is ready: TONY. D. PHADUNGTHAN.
 Telephone: 775-7141
 If you would like the permit mailed, what mailing address should we use: 27-29 WHARF ST. PORTLAND

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED.

AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Certification

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Signature of applicant: 	Date: <u>7/10/01</u>
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75.00
1.24
75.00

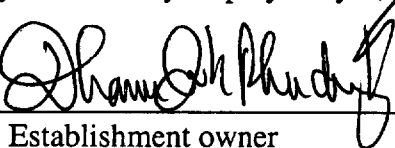


C/B/L: _____

CONDITIONS FOR SIDEWALK OCCUPANCY PERMIT

Written consent and agreement relating to occupancy of the City of Portland sidewalk in the front, side, and or rear of the building at the stated location: 27-29 WHARF ST. PORTLAND.; in Portland, Maine, by the owner of the establishment being: THAILAND, INC., doing business as: THAILAND RESTAURANT, hereby, to the fullest extent permitted by law, shall defend, indemnify and hold harmless the City of Portland, its officers and employees, from and against all claims, damages, losses and expenses, just or unjust, including, but not limited to costs of defense and attorney's fees, arising out of the establishment's occupancy of the sidewalk, provided that any such claims, damage, loss or expense (1) is attributable to bodily injury, sickness, disease, or death, or to injury to or destruction of tangible property including the loss of use therefrom, and (2) is caused in whole or in part by any negligent act or omission of the establishment, anyone directly or indirectly employed by it, or anyone for whose act it may be liable.

Signed and acknowledged: _____


Establishment owner

Date: _____

7/10/01

Design Standards for Outdoor Cafe Installations on Wharf Street

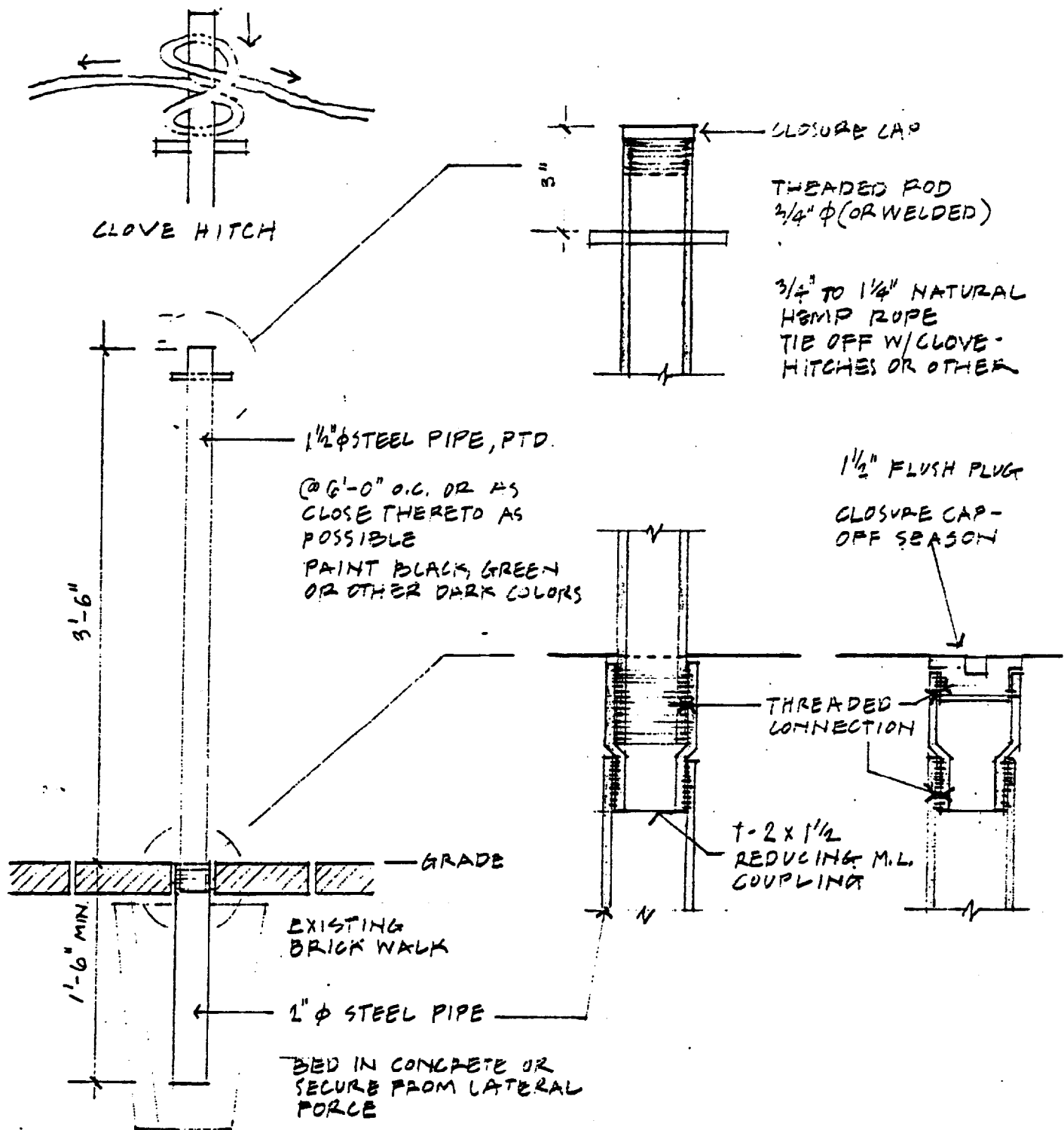
Over the past few years, numerous establishments have opened outdoor cafes along Wharf Street. In order to avoid visual clutter and lend some consistency to the streetscape, the Historic Preservation Committee of the City of Portland has developed design standards which will apply to all outdoor cafe installations on Wharf Street. Attached is a construction specification to be followed in installing posts or stanchions to cordon off the seating area. All of the materials specified are readily available through local suppliers.

In addition to the attached construction specification, the following general design standards shall also apply:

- * No decking shall be installed over the brick sidewalk.
- * No continuous awnings shall be installed to cover dining area; umbrellas may be installed over individual tables
- * Tables shall not exceed 4 feet in any dimension
- * Lighting shall consist of removable, table-top lights only

Note: Any exceptions to these approved standards must be approved by the Historic Preservation Committee

DESIGN STANDARD FOR OUTDOOR DINING



SECTION/ELEVATION

1"=1'-0"

DETAILS

3"=1'-0"

NOTES:

POSTS NOT TO BE INSTALLED BEYOND THE GRANITE CURB LINE.

RECOMMENDED TO USE GALVANIZED PIPE, PTD.

POSTS TO BE REMOVED IN OFF-SEASON + HOLES TO BE CAPPED.



CITY OF PORTLAND

OUTSIDE DINING ON PRIVATE AND/OR CITY PROPERTY

Permits are required for expanding eating facilities (tables and chairs) to the outside whether it is on private and/or City Property. The fee is based on the cost of work (which in most cases would be less than \$1,000 or a fee of **\$75.00**). The permit after obtained is covered from April 15th thru September 30th of that same year. **This is a permit that you must renew every year prior to commencing the activity.**

The following will have to be included as part of your submissions. Please note that you will also fill out a standard building permit. We have deleted many of the unnecessary requirements that are related to a structural building permit hoping to make the process easier for the applicant.

A plot plan showing the following:

- A drawing of the lot and where the building sits on the lot along with the lot and building dimensions
- Show the dimensional setback from the sidewalk to the building
- The location of the street, and if it's a corner lot intersecting streets
- Show the sidewalk on the drawing along with its width and location of curbing
- Show the location of the table and chair placement

The tables and chairs shall be placed on the sidewalk in such a manner as to allow the free and safe passage of pedestrian traffic. If the placement of the tables and chairs creates a public safety hazard, the establishment shall comply with the request of the Municipality to relocate the chairs and tables to a more suitable location.

The establishment shall keep the sidewalk area where the tables and chairs are located neat and free from litter and debris.

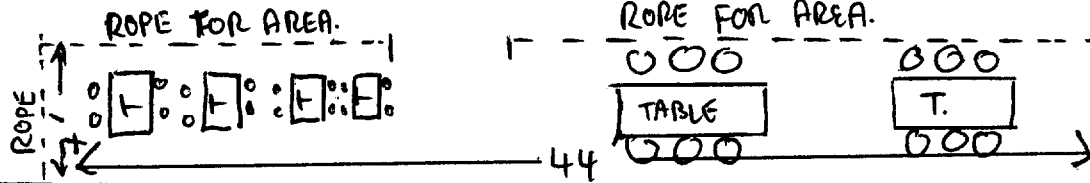
The establishment shall produce and maintain public liability insurance coverage in an amount of not less than three hundred thousand (\$300,000) combine single limit for bodily injury, death and property damage. The City will be named as an additional insured thereon if the chairs and tables on City property.

No food shall be prepared outside. If alcohol is to be served, we need to notified. State law requires that the area be segregated from the rest of the public. **Please contact the Licensing Department at 207-874-8557 before you commence any serving of alcohol outside.**

If the establishment is to be on City Property an indemnifying statement shall be signed by the establishment (owner). Please read the attached and sign.

DANA STREET

WHARF STREET.



KINKO

17 WHARF ST.

THAILAND RESTAURANT.

27 - 29 WHARF ST.

FORE STREET.