

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 416 Fore St		Owner: Joseph Soley		Phone:		Permit No. 80760	
Owner Address:		Lessee/Buyer's Name: Tony Phadungthin		Phone: 775-414 771-0323		Business Name: World Gifts Center	
Contractor Name:		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  Permit Issued:  <b>JUL 16 1998</b>  <b>CITY OF PORTLAND</b> </div>	
Past Use: Bar		Proposed Use: Retail		COST OF WORK: \$ 33880x 10,000		PERMIT FEE: \$ 4538070.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
		Signature: <i>[Signature]</i>		Signature:		Zoning: CBL: 032-N-010	
Proposed Project Description:  Change of Use/Interior Renovations (1st & 2nd floor)		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Signature: _____ Date: _____		Zoning Approval: <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Sherry Pinard		Date Applied For: April 23, 1998				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Tony's Thai Vasta  
29 Wharf St  
Portland ME 04101

PERMIT ISSUED  
WITH REQUIREMENTS

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: <i>[Signature]</i>	ADDRESS: _____	DATE: April 23, 1998	PHONE: _____
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE: _____

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

CEO DISTRICT 2

DRYWALL  
 METAL STUDS  
 THERMA-STUDS SYSTEMS  
 SUSPENDED CEILING SYSTEMS  
 PAINTING  
 CARPENTRY  
 SPRA-TEX CEILINGS

**ROBERT C. ROLFE**  
 GENERAL CONSTRUCTION  
 PORTLAND, MAINE 04101

[REDACTED]  
 870-6960  
 [REDACTED]

ESTIMATE	TONY PHADUNGTAN	S	PROPOSED RENOVATIONS
	416 FONE ST.	H	418 FONE ST. 2ND AND 3RD FLOOR
	PORTLAND, ME.	P	PORTLAND, ME.

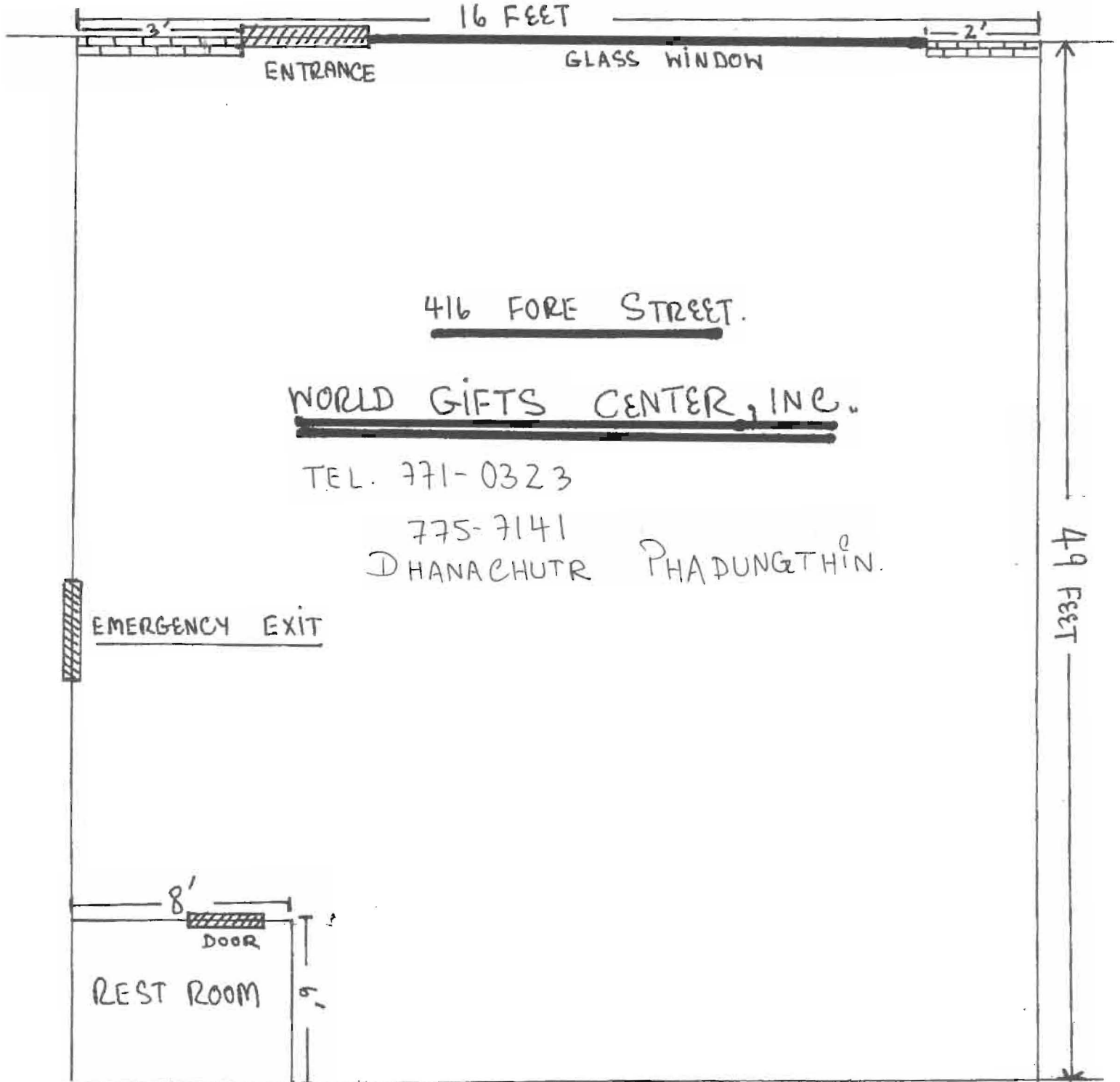
DATE	DATE SHIPPED	TERMS	SHIPPED VIA	FOB	SALESMAN	OUR ORDER NO.	CUST. ORDER NO.
4-15-98							

QUANTITY	DESCRIPTION OF ESTIMATE	UNIT PRICE	AMOUNT
	1) REBUILD EXISTING PARTIAL FLOOR. ADD STAIRS - RAILS - POST		
	2) EXPAND BATHROOM - ADD 5' x 8' WALLS 9' HIGH.		
	3) REMOVE 8' WALL W/ DOOR		
	4) REPAINT UNIT COMPLETE 2ND + 3RD FLOOR		
	5) REPAIR EXISTING DRYWALL		
	6) INSTALL SUSPENDED CEILING. ADD GR. 2x4 TRUSS RAFTERS.		
	7) INSULATE ABOVE NEW SUSPENDED CEILING		
	8) CHANGE LOCKS - LABOR ONLY (READINGS BY OWNER)		
	9) REBUILD AREA TO MAKE WALK-IN CLOSET. ADD SHOWERS, DOORS, HARDWARE		
	10) REMOVE WALLS AT BACK DOOR + DOOR. ADD RAILS, REBUILD STAIRS. REBUILD DRYWALL AT EXISTING INTERIOR WINDOW OPENING		
	11) REBUILD + CLEAN EXTERIOR DECK		
	12) ALL LABOR + MATERIALS TO COMPLETE ITEMS #7 THRU #11.		
	13) ANY WORK DONE, NOT MENTIONED IN THIS QUOTE WILL BE AN EXTRA CHARGE FOR.		
	14) NO PLUMBING - NO ELECTRICAL WORK IS QUOTED.		
		SALES TAX	
		TOTAL	\$5000.00



416 FORE STREET

**FORE STREET**



16 FEET  
ENTRANCE      GLASS WINDOW

416 FORE STREET.

WORLD GIFTS CENTER, INC.

TEL. 771-0323

775-7141  
DHANACHUTR PHADUNGTHIN.

EMERGENCY EXIT

8'  
DOOR  
REST ROOM

49 FEET

**WHARF STREET**

DRYWALL  
 METAL STUDS  
 THERMA-STUDS SYSTEMS  
 SUSPENDED CEILING SYSTEMS  
 PAINTING  
 CARPENTRY  
 SPRA-TEX CEILINGS

**ROBERT C. ROLFE**  
 GENERAL CONSTRUCTION  
 PORTLAND, MAINE 04101

870-6960

ESTIMATE	T: Tony PHADUNSTHIN		S: PROPOSED Gift Shop AT				
	416 Fore St.		416 Fore St.				
	P: PORTLAND, ME.		P: PORTLAND, ME.				
	O:		O:				
DATE	DATE SHIPPED	TERMS	SHIPPED VIA	FOB	SALESMAN	OUR ORDER NO.	CUST. ORDER NO.
4-15-98							
QUANTITY	DESCRIPTION OF ESTIMATE					UNIT PRICE	AMOUNT
	1) STOREFRONT - REMOVE AND RE-INSTALL PANELS + MOULDINGS - STAIN AND POLY - REPAINT PORTIONS. SAND OFF OLD PAINT						
	2) CLEAN BRICK WALL ± 12' x 47' - SEAL W/ THORO-SEAL.						
	3) EXISTING BATHROOMS - REMOVE WALLS, DOORS, CEILING, ETC. REBUILD NEW WALLS TO ENLARGE BATH TO MAKE ONE UNISEX H.C. BATH. INSTALL DOOR, FRAME, HARDWARE. REMOVE DEMOLITION FROM BUILDING. INSULATE						
	4) FRAME IN 3' x 4' HOLE IN WALL. INSULATE. DRYWALL						
	5) REPAINT EXISTING DRYWALL, WOODWORK, CEILING PANELS BETWEEN CEILING JOISTS. CLEAN + SEAL BEAMS. REMOVE EXISTING SUSPENDED CEILING TILE GRID.						
	6) CHANGE LOCKS - ETC. LABOR ONLY (DOORS BY OWNER)						
	7) REPAIR EXISTING DRYWALL THRU-OUT						
	8) ADD SHELVES TO EXISTING CLOSET BY ENTRANCE						
	9) ALL LABOR AND MATERIALS, DUMP FEES TO COMPLETE ITEMS #1 THRU #8.						
	NOTE: SPIRAL STAIRCASE FRAMING - BUILDING PERMITS WILL BE EXTRA.						
						SALES TAX	
						TOTAL	\$ 5000. <sup>00</sup>



# BUILDING PERMIT REPORT

DATE: 7/14/98 ADDRESS: 416 Ferris Ø32-N-Ø1Ø  
REASON FOR PERMIT: Change of Use  
BUILDING OWNER: Sale  
CONTRACTOR: Roffe  
PERMIT APPLICANT: \_\_\_\_\_  
USE GROUP M BOCA 1996 CONSTRUCTION TYPE 3B

## CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*8, \*9, \*10, \*11, \*17, \*20, \*24, \*26, \*19, \*29, \*30

- X1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups +2", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38" Use Group R-3 shall not be less than 30", but not more than 38") Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
9. Headroom in habitable space is a minimum of 7'6"
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension

shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
- 15. -The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.

16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

in addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.

18. The Fire Alarm System shall be maintained to NFPA #72 Standard.

19. The Sprinkler System shall maintained to NFPA #13 Standard.

20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.

25. All requirements must be met before a final Certificate of Occupancy is issued.

26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).

28. Please read and implement the attached Land Use-Zoning report requirements.

29. A Two hour Fire resistance rating requirements between ~~any~~ Mercantile and Residential shall be maintained -

30. Spiral Stair must meet the requirements of Section 1014.6.4 of The bldg Code

31. \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

32. \_\_\_\_\_


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\_\_\_\_\_

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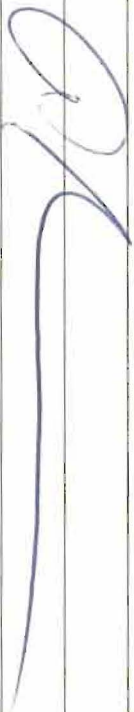
\_\_\_\_\_

  
 P. Samuel Hoffses, Building Inspector  
 cc: Lt. McDougall, PFD  
 Marge Schmuckal



COMMENTS

Work - Wren completed.  
This is how the Box would  
be by Tom Manning.



	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____