

CITY OF PORTLAND, MAINE
PLANNING BOARD

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August 24, 2000

Mr. Steven Reynolds
J. B. Brown
482 Congress Street
Portland, Maine 04101

037 I 003

RE: Washington Park Office Building, 901 Washington Avenue

Dear Mr. Reynolds,

On July 25, 2000 the Portland Planning Board voted 4-0 (Cole, Hagge, Rodriguez) to approve the J. B. Brown application to construct a 27,600 sq. ft. office building in the vicinity of 901 Washington Avenue. The Board found that the application met the standards of the Site Plan ordinance of the Land Use Code subject to the following conditions:

- i. That if traffic signalization and or pedestrian signalization improvements are warranted at the Rainbow Mall Road/Washington Avenue intersection (as determined by the City Traffic Engineer) three (3) years after a certificate of occupancy is issued, the developer will fund the full installation costs.
- ii. After the new parking area is constructed, the City Arborist shall inspect the remaining vegetation buffer between the parking lot and the Rainbow Mall Road and if an adequate screen does not exist, the applicant shall plant additional landscape material as required by the City Arborist.

The Planning Board also voted 4-0 (Cole, Hagge, Rodriguez) to table consideration of your request for a waiver requiring a sidewalk northerly of the Washington Park entrance along Rainbow Mall Road.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report #36-00, which is attached. If you need to make any modifications to the approved site plan, you must submit a revised site plan for review and approval.

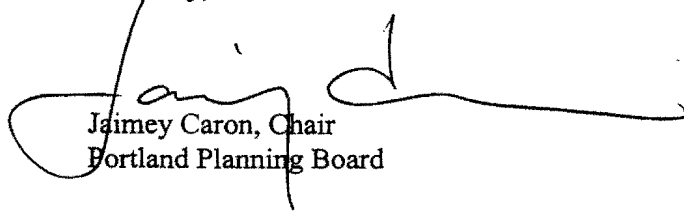
Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (who is located at DeLuca Hoffman at 775-1121) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Jaimey Caron, Chair
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning & Urban Development
Alexander Jaegerman, Chief Planner
Richard Knowland, Senior Planner
P. Samuel Hoffses, Building Inspector
√Marge Schmuckal, Zoning Administrator
Tony Lombardo, Project Engineer
Development Review Coordinator
William Bray, Director of Public Works
Nancy Knauber, Associate Engineer
Jeff Tarling, city Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Inspection Department
Lee Urban, Director of Economic Development
Don Hall, Appraiser, Assessor's Office
Susan Doughty, Assessor's Office
Brian O'Donnell, HKTA, 4 Milk Street, Portland, ME 04101
Approval Letter File