

CONSTRUCTION LEGEND

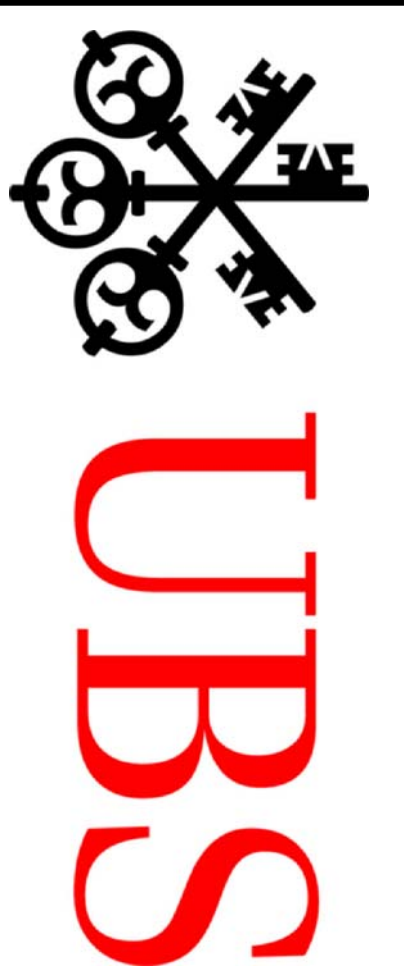
SYMBOL	DESCRIPTION
	EXISTING BLOCK CORE AND PARTITION TO REMAIN
	NEW PARTITION, REFER TO SHEET A-07
	NEW LOW-HEIGHT PARTITION @ 4'-6" AFF
	DETAIL NUMBER
	SECTION NUMBER
	PAGE NUMBER
	ROOM NAME
	ROOM OR AREA NUMBER
	REFERS TO FINISH/WALLWORK KEY PLAN FOR DETAILS
	HATCHED AREA N/C.
	FLAG INDICATES SYMBOL FOR WALL TYPE
	LETTER INDICATES WALL TYPE (SEE A-30)
	DOOR NUMBER
	1 HOUR RATED WALL - SEE DETAIL 4/A-02
	1 DECK TO DECK WALL - SEE DETAIL 4/A-02
	2 1/2" STUD WALL - SEE DETAIL 6/A-02
	LOW HEIGHT PARTITION - SEE DETAIL C/A-02
	SPOTLIGHT TO MATCH EXISTING SIDE LIGHT - SEE DETAIL
	2 1/2" STUD WALL UNDERPINNED WALL THICKNESS TO MATCH EXISTING WALL

DIMENSION KEY NOTES

- WALL TO BE BUILT OUT TO ACCORD DEPTH OF FIRE EXIT CAB.
- WALL TO BE BUILT OUT TO ACCORD DEPTH OF WALL SLOTS, 1 1/2" MIN. COORD. / WALLWORK.
- ADD 2 ADDITIONAL LAYERS OF BRICKMULL.

CONSTRUCTION NOTES

- GROSS REFERENCING: SCALE: 1/8"=1'-0" UNLESS OTHERWISE NOTED. INFORMATION BE MISSING, OR SHOULD DISCREPANCIES ARISE, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- PARTITIONS:
 - PARTITIONS: NEW PARTITIONS SHALL BE TYPE "B" - FULL PARTITION. SHALL MATCH THE EXISTING PARTITION FOR BOTH COORDS. AT ALL SHIFTS, WHICH ADJOINS BASE BUILDING PARTITION TYPE.
 - NEW PARTITIONS ARE DIMENSIONED FROM FINISHED FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD.
 - C.C. TO NOTIFY ARCHITECT FOR REVIEW, REVIEW & APPROVAL OF PARTITION LAYOUT PRIOR TO INSTALLATION OF TRACK & SECTION OF STUD FRAMES.
- C.C. SHALL VERIFY ALL DIMENSIONS FOR LOCATIONS OF NEW PARTITIONS & ROOM OPENINGS. ALL DISCREPANCIES TO CONSTRUCTION SHALL BE REPORTED TO THE ARCHITECT & RESOLVED PRIOR TO CONSTRUCTION.
- PERIMETER WALL TO REMAIN. NEW BRICKMULL DOES NOT NEED TO BE INCLUDED IN BRICKMULL BID.
- WHEN NEW PARTITION INTERSECTS WINDOW AT PERIMETER, BE SURE THAT ALL OPENINGS HAVE BEEN PROPERLY SEALED (BRUSH/CAULKING SPICES TO PREVENT SOUND TRANSMISSION).
- BOX OUT ALL COLUMNS WITH DRYPWALL TIGHT TO STRUCTURE.
- ALL METAL & STUD FRAMING SHALL EXTEND FROM CONCRETE SLAB TO UNDERSIDE OF STRUCTURE ABOVE.
- PATCH, LAWNITE OR FIBER-OUT EXISTING COLUMNS & WALLS AS REQUIRED THROUGHOUT THE ENTIRE SPACE TO ACCEPT NEW FINISHES (UNL.O.) & MEET DESIGN INTENT. ALSO COMPLY TO BUILDING STANDARDS & BUILDING CODE REQUIREMENTS (TYPE 2). EXAMINE EXISTING CONDITIONS & MAKE THE SCOPE OF VISIT WORK PART OF THE BASE CONTRACT BID (NO EXCLUSIONS ACCEPTED).
- FIBER-OUT ALL COLUMNS & WALLS THROUGHOUT THE SPACE TO RECEIVE NEW ELEC. UTILITIES, PIPES & VENT/EXHAUST WOODS FOR FURNITURE, ETC. (CC TO COORDINATE W/ MEP DRAWINGS).
- CC & BRICKMULL CONTRACTOR TO REVIEW REQUIRED CLEARANCES & ENSURE THAT THESE UTILITIES ARE FULLY CONCEALED W/IN PARTITION CAVITY.
- PATCH ALL SHIRT WALL & ETC. AS REQUIRED DUE TO SCOPE OF WORK W/ MIN. FIRE RATING THROUGHOUT THE ENTIRE OR WORK VIZ. BEFORE FINISH BID AND MAKE THE SCOPE OF WORK PART OF THE BASE CONTRACT (NO EXCLUSIONS ACCEPTED).
- PATCH AND REPLACE ANY FIBERWORK WHERE REQUIRED.
- UNIMPREGNATED WALL BELOW WINDOW SILL SHALL RECEIVE SHEETROCK WITH LEVEL 5 FINISH & PAINT AS SPECIFIED.
- FLOOR CORES / SLAB
 - CC TO X-RAY FLOOR SLAB PRIOR TO CORING.
 - PATCH & REPAIR SLAB AS REQUIRED & REPAIR TO RECEIVE NEW FINISH AS INDICATED ON FINISH PLAN.
 - ALL FLOOR PENETRATIONS MUST BE FIRE-RATED PER BUILDING CODE.
 - REPAIR EXISTING CONC. SLAB & UNDERLAYER OF SLAB DUE TO NEW MEP WORK FOR THE ENTIRE SPACE.
- PATCH EXISTING FLOOR @ ELEVATION TRANSITIONS GREATER THAN 1/4" W/ LANTHET OR AREA/FLOOR LEVELING COMPOUND TO NO GREATER THAN 1/8" FROM REFER LINEAR FT. TO ACCEPT FINISH FLOORING. (VIZ. BEFORE FINISH BID (NO EXCLUSIONS ACCEPTED)).
- BLOCKING
 - PROVIDE 2" X 4" WOOD BLOCKING OR 20 GA. SHEET METAL PANELS PRODUCTS (LANTHETS, COAT RODS, SHELVING PANEL, STANDBARS WALL MOUNTED CLOSERS, CAB BARS, AND WALKER/JACK BOLDS). REFER TO FURNITURE PLAN FOR LOCATIONS OF WALL MOUNTED FURNITURE.
- FIRE EXTINGUISHER CABINETS
 - CONFER WITH FIRE EXTINGUISHER CABINET LOCATIONS WITH ARCHITECT & FIRE DEPARTMENT. PROVIDE FIRE EXTINGUISHER CABINET PARTITION AT BACK AND SIDES AND CUT INTO PARTITION AT FRONT.
- GENERAL
 - MEP CONTRACTORS AND PLUMBING EXPERTS. REFER TO TEL/DMA
 - MEP CONTRACTORS FOR SPECIFICATIONS AND LOCATIONS.
 - MILLWORK: ARCHITECTURAL WOODWORK INSTITUTE'S QUALITY STANDARDS (AIA/CES) REFER TO THE ARCHITECTURAL WOODWORK QUALITY STANDARDS ILLUSTRATED MANUAL MOST CURRENT EDITION.
 - CC TO COORDINATE PERMITS AS REQUIRED IN ORDER TO MEET DESIGN INTENT FOR DIME PROJECT. CC/SUBS W/ AND MAKE THE SCOPE OF WORK PART OF THE BASE BID (NO EXCLUSIONS ACCEPTED).
 - DURING CONSTRUCTION, SECURITY & FIRE EXIT DOORS MUST NOT BE OBSTRUCTED.
 - NEW OR EXISTING SMOKE/FIRE ALARM SYSTEMS, SPEAKERS, ETC. DRAWINGS, LISTED TO REMAIN. REFER TO DIMENSIONS DRAWINGS.
 - CC SHALL TAKE DAILY PRECAUTION TO PROPERLY PROTECT ALL EXISTING CONSTRUCTION TO REMAIN.
- PROCEDURE
 - CC SHALL SUBMIT TO THE ARCHITECT & BUILDING MANAGEMENT CORPORATION OF ALL TRADES DURING EX. PHASE OF CONSTRUCTION. FROM COMMENCEMENT TO CONCLUSION.
 - CC SHALL SCHEDULE CONSTRUCTION IN SUCH A MANNER SO AS NOT TO DISTURB AREAS OUTSIDE OF THE AREA CURRENTLY UNDER CONSTRUCTION DURING NORMAL OPERATING HRS. CC SHALL COORDINATE W/ ARCHITECT & BUILDING MANAGEMENT CORPORATION TO SCHEDULE CONSTRUCTION TO OCCUR UNDER CONSTRUCTION EVEN IF SUCH DISRUPTION OCCURS AFTER NORMAL OPERATING HRS.
 - CC: ALL TIMES, SHALL KEEP THE PREMISES FREE FROM ACCUMULATED WASTE BY CONSOLIDATING EXCESS MATERIAL & DEBRIS CAUSED BY HIS OPERATION. CC SHALL NOT DISRUPT OR OBSTRUCT THE SITE W/ MATERIAL, OR EQUIPMENT OR EXCESS DEBRIS. ALL WASTE SHALL BE REMOVED FROM THE JOB SITE AT THE TIME OF COMPLETION.
 - CC SHALL SUBMIT SHOP DRAWINGS AS REQUIRED FOR ARCHITECT, ENGINEER & BUILDING MANAGER APPROVAL.
 - CC TO PROVIDE ARCHITECT WITH SCHEDULES & SHOP DRAWINGS FOR ALL SPECIFIED TRADES & FINISHES.
 - CC SHALL NOTIFY BUILDING MANAGEMENT, TELEPHONE COMPANY & BUILDING ELECTRICIAN TO COORDINATE ALL WORK @ ACCESS PANELS.
 - CC TO COORDINATE WITH BUILDING FOR ALL ELEVATOR TIMES, FEES, RULES & REGULATIONS.



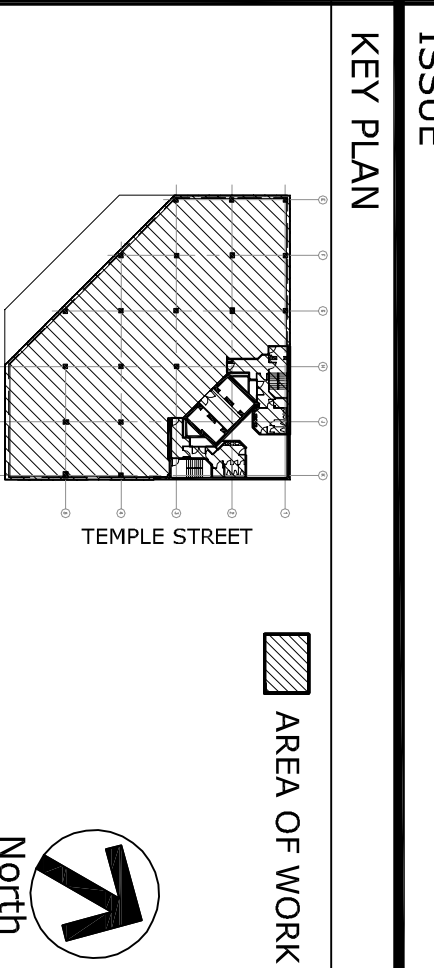
REVISIONS

NO.	DATE	DESCRIPTION

KEY PLAN

AREA OF WORK

NO.	DATE	COPIES	ISSUE	ISSUE TO WHOM
2	07.13.07	1	ISSUE FOR BID	ISSUE FOR PERMIT
1	07.13.07	1	ISSUE FOR CLIENT REVIEW	ISSUE TO ENGINEER
06.26.07	06.13.07	1	ISSUE TO ENGINEER	ISSUE TO WHOM



Ted Moulds Architects
 ARCHITECTURE
 INTERIORS

70 Madison Avenue
 New York, NY 10017
 Tel: 212.541.2000
 Fax: 212.541.2000

One Financial Place
 Portland, ME 04103
 Tel: 617.262.6138
 Fax: 617.262.6138
 www.tedmoulds.com

PROJECT NUMBER
107126.01

SCALE
1/8"=1'-0"

DATE
07.13.07

PROJECT ARCHITECT
AE

PROJECT MANAGER
AE

CHECKED BY
AE

7th FL. DIMENSION PLAN

UBS

ONE CITY CENTER

PORTLAND, ME 04101

A-102.07.1