



K  
Q  
P  
O  
N  
M  
L  
K  
J  
I  
H  
G  
F  
E  
D  
C  
B  
A

011010 - MaineToday Media, One City Center Second floor		
IBC 2003 OVERVIEW		
Description of Project	Existing Business Occupancy B Partial renovation to the 2nd floor. All alterations are considered Level 2 by the 2003 International Existing Building Code.	
Code Chapters	Section 304 Business occupancy (existing) Section 403 High Rise building (existing)	
Type of Construction	Type II B Existing non rated structural frame, interior and exterior bearing walls, roof structure and floor construction	
Fire Protection	Existing NFPA 13 sprinkler system	
Occupant Load	5,160 s.f./100 = 51.6	
Separation of Occupancy Table 302.3.2	0	
CHAPTER 10 MEANS OF EGRESS		
Section Number	Title	Remark
1008.1.3.4	Access Controlled Egress doors	Must meet the requirements of 1008.1.3.4
1008.1.9	Panic Hardware	Panic Hardware is required on all stair exit doors on floors under construction
1013.3	Common Path of egress travel	B Occupancy - limited to 100 ft in areas with NFPA 13 sprinkler system
1014	Exit Access and Doorways	Two means of egress required in spaces with more than 50 occupants
1014.2.1	Distance between exists	Separation shall not be more than 1/3 the diagonal distance apart. Required and provided separation distances shown on plans.
Table 1015.1 A occupancy B Occupancy Table 1016.1	Travel Distance	B = 300 ft
Table 1016.1	Corridor Fire resistance rating	Not Applicable. Existing exit corridors are not under renovation.
1016.3	Dead End Corridors	B Occupancy = 50 ft
1018	Minimum Number of Exits	2 exits per floor required. Occupancy load per floor is less than 500.
1019	Vertical Exit Enclosures	Not Applicable. Existing exit enclosures are not under renovation.

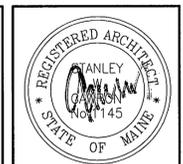
011010 - MaineToday Media, One City Center Fifth floor		
IBC 2003 OVERVIEW		
Description of Project	Existing Business Occupancy B Partial renovation to the 2nd floor. All alterations are considered Level 2 by the 2003 International Existing Building Code.	
Code Chapters	Section 304 Business occupancy (existing) Section 403 High Rise building (existing)	
Type of Construction	Type II B Existing non rated structural frame, interior and exterior bearing walls, roof structure and floor construction	
Fire Protection	Existing NFPA 13 sprinkler system	
Occupant Load	13,618 s.f./100 = 136.2	
Separation of Occupancy Table 302.3.2	0	
CHAPTER 10 MEANS OF EGRESS		
Section Number	Title	Remark
1008.1.3.4	Access Controlled Egress doors	Must meet the requirements of 1008.1.3.4
1008.1.9	Panic Hardware	Panic Hardware is required on all stair exit doors on floors under construction
1013.3	Common Path of egress travel	B Occupancy - limited to 100 ft in areas with NFPA 13 sprinkler system
1014	Exit Access and Doorways	Two means of egress required in spaces with more than 50 occupants
1014.2.1	Distance between exists	Separation shall not be more than 1/3 the diagonal distance apart. Required and provided separation distances shown on plans.
Table 1015.1 A occupancy B Occupancy Table 1016.1	Travel Distance	B = 300 ft
Table 1016.1	Corridor Fire resistance rating	Not Applicable. Existing exit corridors are not under renovation.
1016.3	Dead End Corridors	B Occupancy = 50 ft
1018	Minimum Number of Exits	2 exits per floor required. Occupancy load per floor is less than 500.
1019	Vertical Exit Enclosures	Not Applicable. Existing exit enclosures are not under renovation.

011010 - MaineToday Media, One City Center Second floor		
NFPA 2006 OVERVIEW		
Description of Project	Partial renovation to an existing high rise building with B Occupancy. Scope of work is limited to the second floor.	
Type of Construction	Type II 0,0,0 (existing)	
Fire Protection	Existing NFPA 13 sprinkler system - supervised.	
Occupant Load	5,160 s.f. / 100 = 51.6	
Occupancy Separation NFPA 2006 Table 6.1.2.2	Small assembly uses. Occupancy of any room or space for assembly purposes by fewer than 50 persons in another occupancy and incidental to such other occupancy shall be classified as part of the other occupancy and shall be subject to the provisions apply	
NFPA Chapters	Chapter 38 New Business Occupancy Chapter 11 Special structures and high rise buildings	
Means of Egress Chapter 7		
7.1.3.1.1	Exit access corridors	Existing to remain - existing area not under renovation and occupancy is not changing
7.3.2.1(1)	Exits	Existing to remain - existing area not under renovation and occupancy is not changing
7.2.1.6.2	Access - controlled egress doors	The doors shall be arranged to unlock in the direction of egress.
7.2.12.1.2	Area of Refuge	Not required - building is protected with NFPA 13 system
8.7.1.1(2)	Special Hazard Protection	Protecting the area with automatic extinguishing systems in accordance with Section 9.7. Rating: 0 hrs.
12.2.2.2.3	Panic hardware	Add panic hardware to exit stairs on floors under construction.
38.2.6.1 Business (B) Table A7.6	Travel Distance	Limited to 300 ft. (ordinary hazard)
38.2.2.2.5	Access controlled egress doors	comply with section 7.2.1.6.2
38.2.5.2.1 Business (B) Table A7.6	Dead End Corridors	Limited to 50 ft.
38.2.3.2*	The clear width of any corridor or passageway serving an occupant load of 50 or more shall be not less than 44"	corridor width: 44"
38.2.5.3.1 Business (B) Table A7.6	Common Path of Travel	Limited to 100 ft (ordinary hazard)

011010 - MaineToday Media, One City Center Fifth floor		
NFPA 2006 OVERVIEW		
Description of Project	Partial renovation to an existing high rise building with B Occupancy. Scope of work is limited to the fifth floor.	
Type of Construction	Type II 0,0,0 (existing)	
Fire Protection	Existing NFPA 13 sprinkler system - supervised.	
Occupant Load	13,618 s.f. / 100 = 136.2	
Occupancy Separation NFPA 2006 Table 6.1.2.2	Small assembly uses. Occupancy of any room or space for assembly purposes by fewer than 50 persons in another occupancy and incidental to such other occupancy shall be classified as part of the other occupancy and shall be subject to the provisions apply	
NFPA Chapters	Chapter 38 New Business Occupancy Chapter 11 Special structures and high rise buildings	
Means of Egress Chapter 7		
7.1.3.1.1	Exit access corridors	Existing to remain - existing area not under renovation and occupancy is not changing
7.3.2.1(1)	Exits	Existing to remain - existing area not under renovation and occupancy is not changing
7.2.1.6.2	Access - controlled egress doors	The doors shall be arranged to unlock in the direction of egress.
7.2.12.1.2	Area of Refuge	Not required - building is protected with NFPA 13 system
8.7.1.1(2)	Special Hazard Protection	Protecting the area with automatic extinguishing systems in accordance with Section 9.7. Rating: 0 hrs.
12.2.2.2.3	Panic hardware	Add panic hardware to exit stairs on floors under construction.
38.2.6.1 Business (B) Table A7.6	Travel Distance	Limited to 300 ft. (ordinary hazard)
38.2.2.2.5	Access controlled egress doors	comply with section 7.2.1.6.2
38.2.5.2.1 Business (B) Table A7.6	Dead End Corridors	Limited to 50 ft.
38.2.3.2*	The clear width of any corridor or passageway serving an occupant load of 50 or more shall be not less than 44"	corridor width: 44"
38.2.5.3.1 Business (B) Table A7.6	Common Path of Travel	Limited to 100 ft (ordinary hazard)

A1 IBC REVIEW

A11 NFPA REVIEW



Portland Press Herald  
MaineToday Media  
One City Center  
Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	

SHEET TITLE  
CODE REVIEW DATA

G101

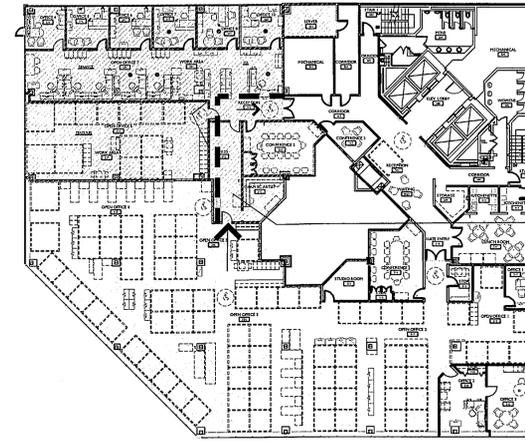
© COPYRIGHT 1985-2003 REPRODUCTION OR RESALE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GAWRON ARCHITECTS IS PROHIBITED

**LEGEND :**

- ALL EXISTING FIRE RATINGS TO REMAIN AS IS
- SOLID WALLS INDICATED NEW CONSTRUCTION, TYPICAL
- EXISTING PARTITIONS TO REMAIN, TYPICAL
- EXISTING AREAS NOT UNDER CONSTRUCTION
- AREAS UNDER CONSTRUCTION
- PHASED AREA MOVE IN

**PHASING PLAN :**

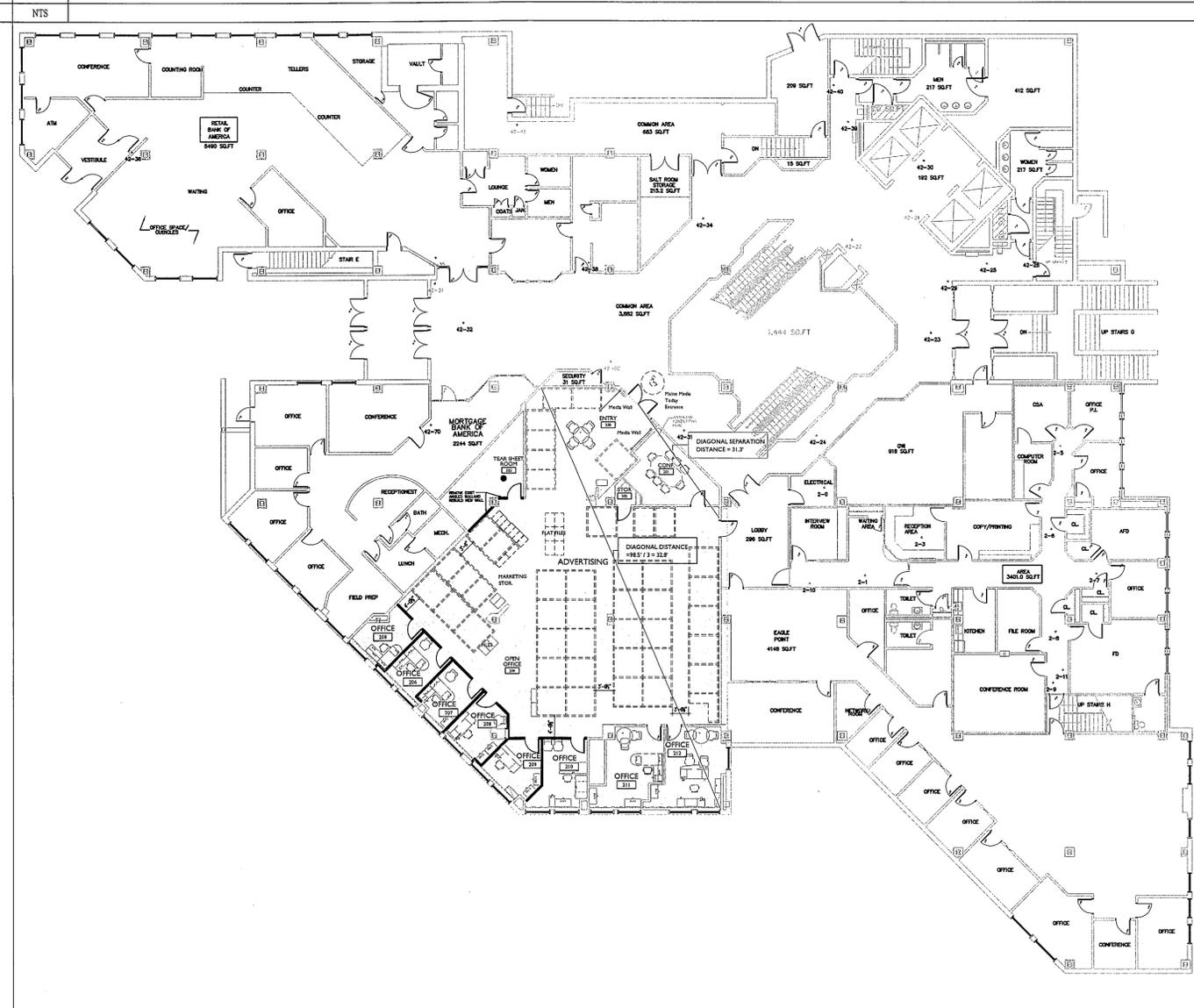
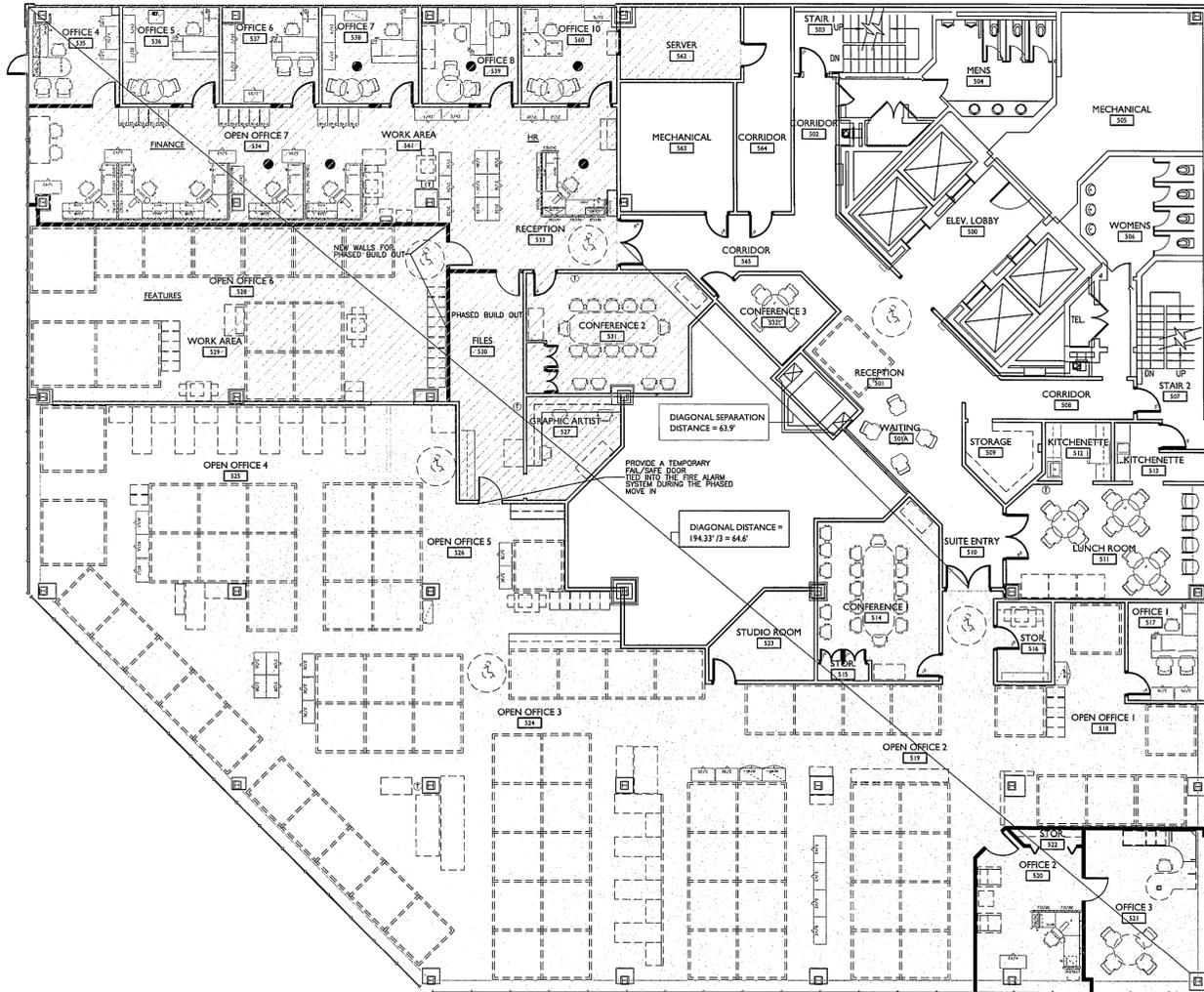
- PHASE 1
- PHASE 2



TEMP EGRESS  
DURING PHASE II  
CONSTRUCTION

M1 LEGEND

M11 PHASE ONE EXIT PLAN



A1 FIFTH FLOOR CODE REVIEW

A11 SECOND FLOOR CODE REVIEW



Portland Press Herald  
MaineToday Media  
One City Center  
Portland, Maine

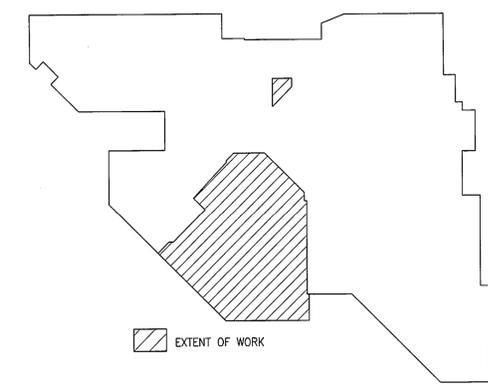
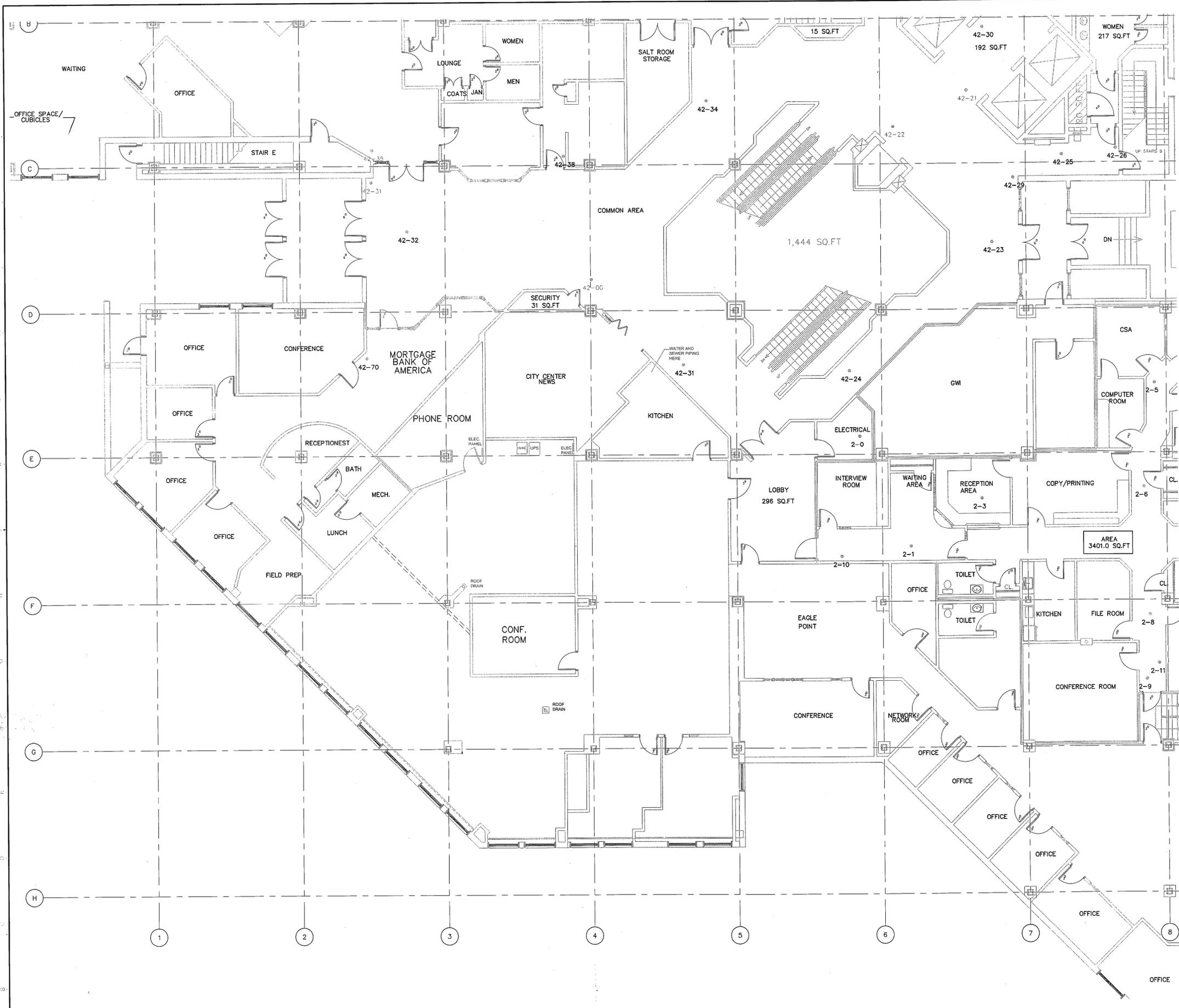
REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #:	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE:	

SHEET TITLE  
CODE REVIEW PLANS

G102

© COPYRIGHT 1985-2003.  
REPRODUCTION OR RESUSE OF  
THIS DOCUMENT WITHOUT  
WRITTEN PERMISSION OF  
GAWRON ARCHITECTS IS PROHIBITED



K17 KEY PLAN - SECOND FLOOR PLAN



**Gawron  
Turgeon  
ARCHITECTS**  
29 Black Point Road  
Scarborough, Maine 04074  
www.gawronturgeon.com  
207-883-6307 tel 207-883-0261 fax

**Portland Press Herald**  
MaineToday Media  
One City Center  
Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #:	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE:	1/8" = 1'-0"

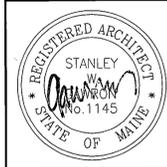
**SHEET TITLE**  
PARTIAL EXISTING  
CONDITIONS SECOND  
FLOOR PLAN/KEYPLAN

**EX100**

© COPYRIGHT 1985-2003  
REPRODUCTION OR REUSE OF  
THIS DOCUMENT WITHOUT  
WRITTEN PERMISSION OF  
GAWRON ARCHITECTS IS PROHIBITED

A1 PARTIAL EXISTING CONDITIONS SECOND FLOOR PLAN  
1/8" = 1'-0"





**Gawron Turgeon ARCHITECTS**  
 29 Black Point Road  
 Scarborough, Maine 04074  
 www.gawronturgeon.com  
 207-883-6307 tel 207-883-0361 fax

Portland Press Herald  
 MaineToday Media  
 One City Center  
 Portland, Maine

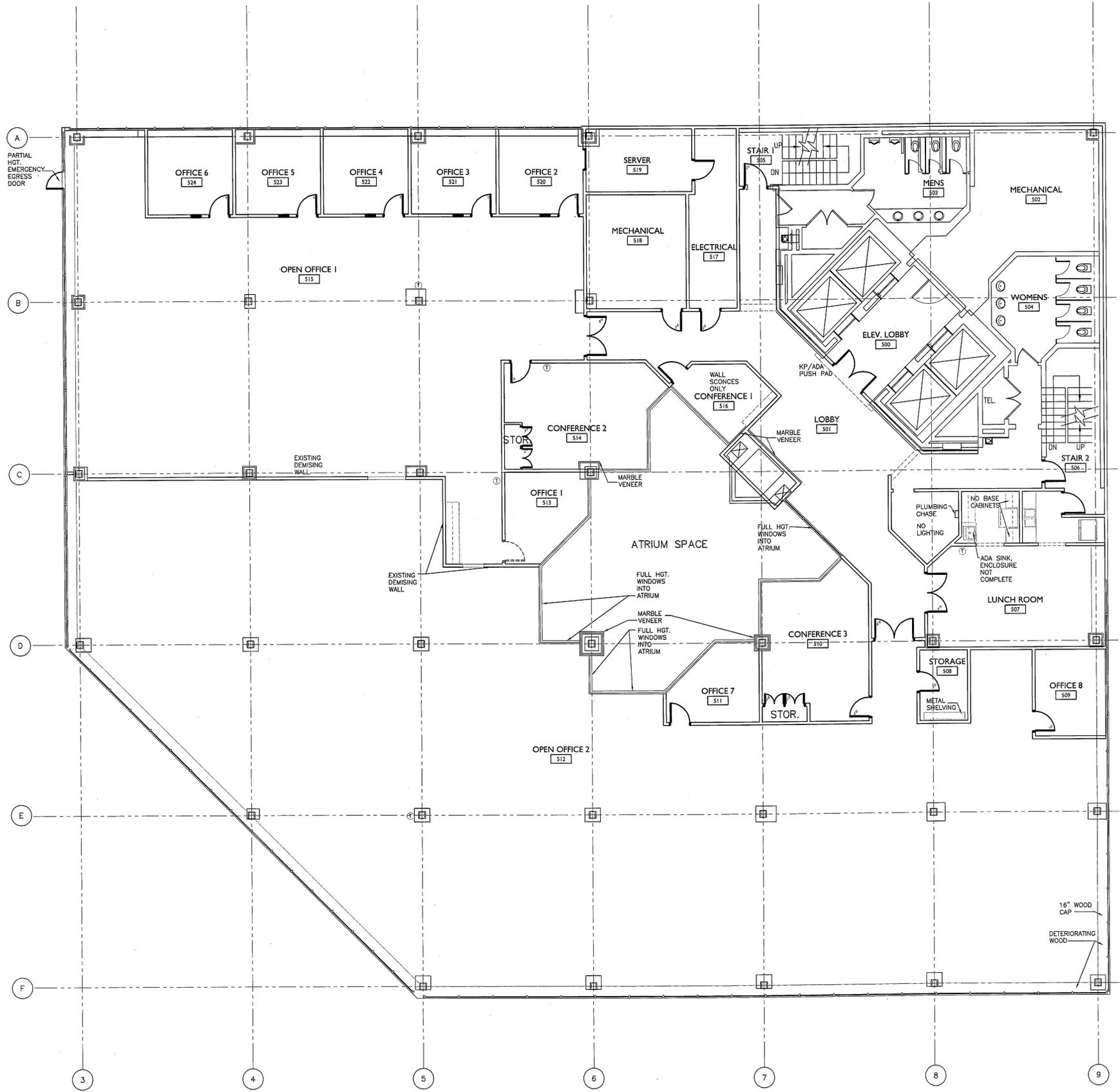
REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	1/8" = 1'-0"

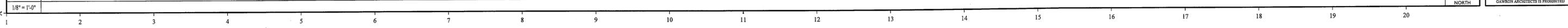
SHEET TITLE  
 FIFTH FLOOR EXISTING CONDITIONS PLAN

**EX101**

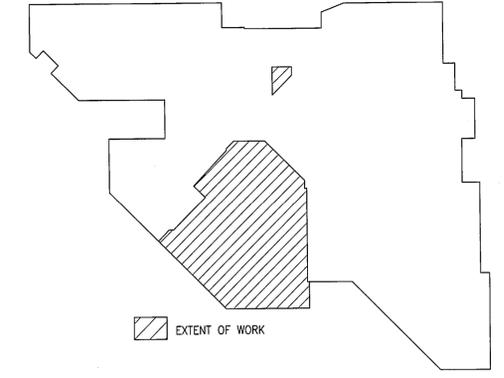
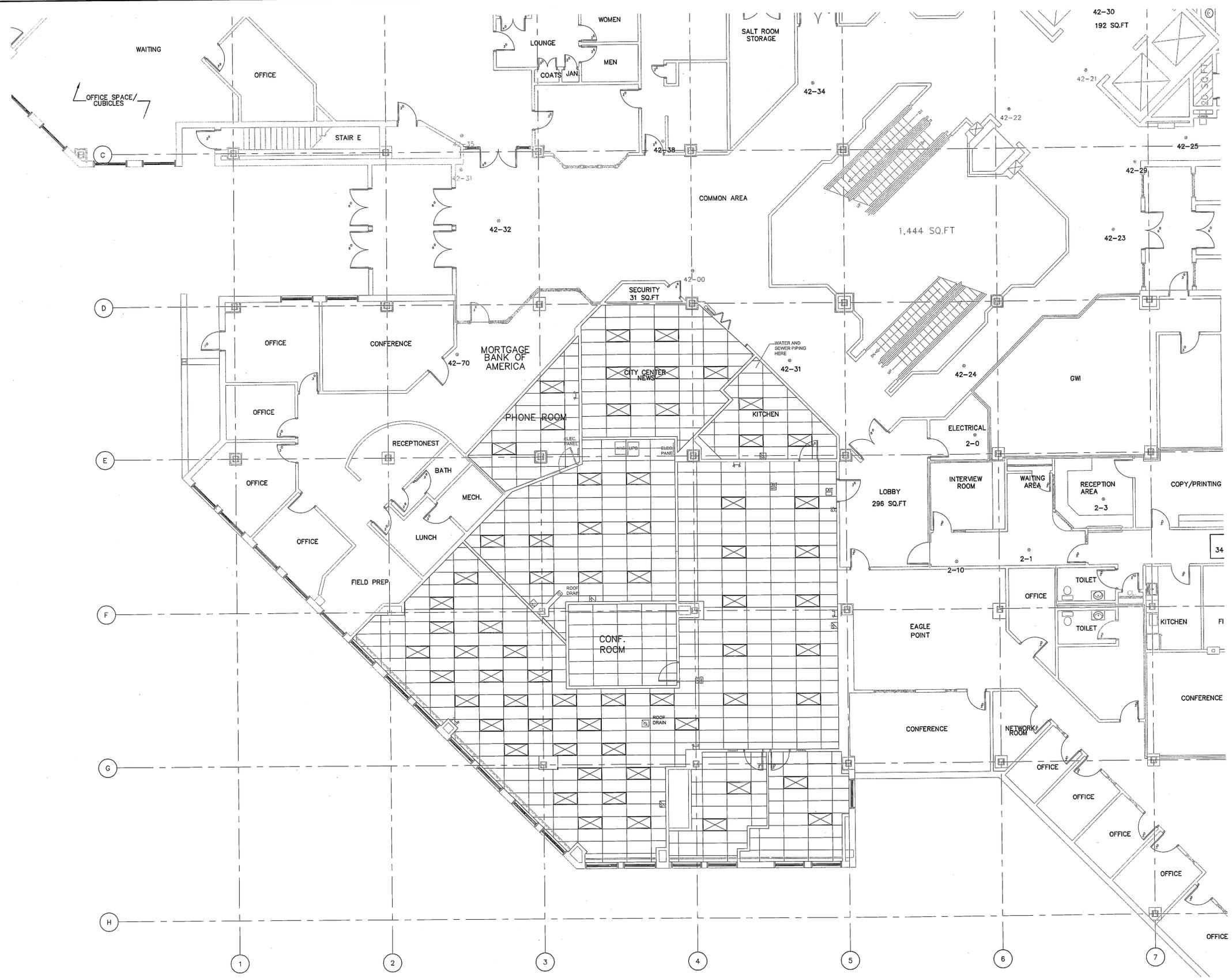
© COPYRIGHT 1985-2003  
 REPRODUCTION OR RESALE OF  
 THIS DOCUMENT WITHOUT  
 WRITTEN PERMISSION OF  
 GAWRON ARCHITECTS IS PROHIBITED



**A1 FIFTH FLOOR EXISTING CONDITIONS PLAN**



1/8" = 1'-0" (Scale)  
 02/01/10, On City Center (2), Architecture & Interior Design, Drawing/3D Floor Plan, Rev. 02/01/10, 10:24 AM, 010



K17 KEY PLAN - SECOND FLOOR PLAN



**Gawron Turgeon ARCHITECTS**  
 29 Black Point Road  
 Scarborough, Maine 04074  
 www.gawronturgeon.com  
 207-883-6307 tel 207-883-0361 fax

**Portland Press Herald**  
 MaineToday Media  
 One City Center  
 Portland, Maine

REVISIONS	
#	DATE DESCRIPTION
1	02/01/10 ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #:	011010.00
DRAWN BY:	KW
CHECKED BY:	MET
DRAWING SCALE:	1/8"=1'-0"

**SHEET TITLE**  
 PARTIAL SECOND FLOOR EXISTING CONDITIONS REFLECTED CEILING PLAN-LIFE SAFETY

**EX300**

- NOTES:**
- EXISTING CEILING GRID AND TILES TO BE REPLACED BY DIRIGO MANAGEMENT TO MEET BUILDING STANDARDS.
  - ALL LIGHTING FIXTURES ARE TO BE REPLACED WITH NEW ENERGY EFFICIENT LIGHTS - THIS WORK IS THE RESPONSIBILITY OF DIRIGO MANAGEMENT.
  - ALL EXISTING LIFE SAFETY DEVICES TO REMAIN AS IS
  - ADD NEW LIFE SAFETY DEVICES AS NECESSARY PER CODE.

A1 SECOND FLOOR EXISTING CONDITIONS PLAN - LIFE SAFETY

A17 NOTES



**Gawron Turgeon ARCHITECTS**  
 29 Black Point Road  
 Scarborough, Maine 04074  
 www.gawronturgeon.com  
 207-883-6307 ext. 207-883-6361 fax

Portland Press Herald  
 MaineToday Media  
 One City Center  
 Portland, Maine

REVISIONS	
#	DATE DESCRIPTION
1	02/01/10 ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	1/8"=1'-0"

SHEET TITLE  
 FIFTH FLOOR EXISTING CONDITIONS REFLECTED CEILING PLAN - LIFE SAFETY

**EX301**

© COPYRIGHT 1985-2003  
 REPRODUCTION OR RESALE OF  
 THIS DOCUMENT WITHOUT  
 WRITTEN PERMISSION OF  
 GAWRON ARCHITECTS IS PROHIBITED.



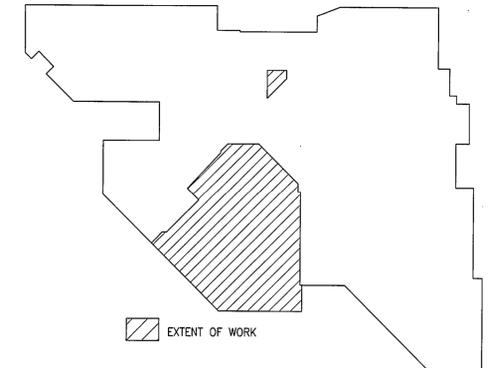
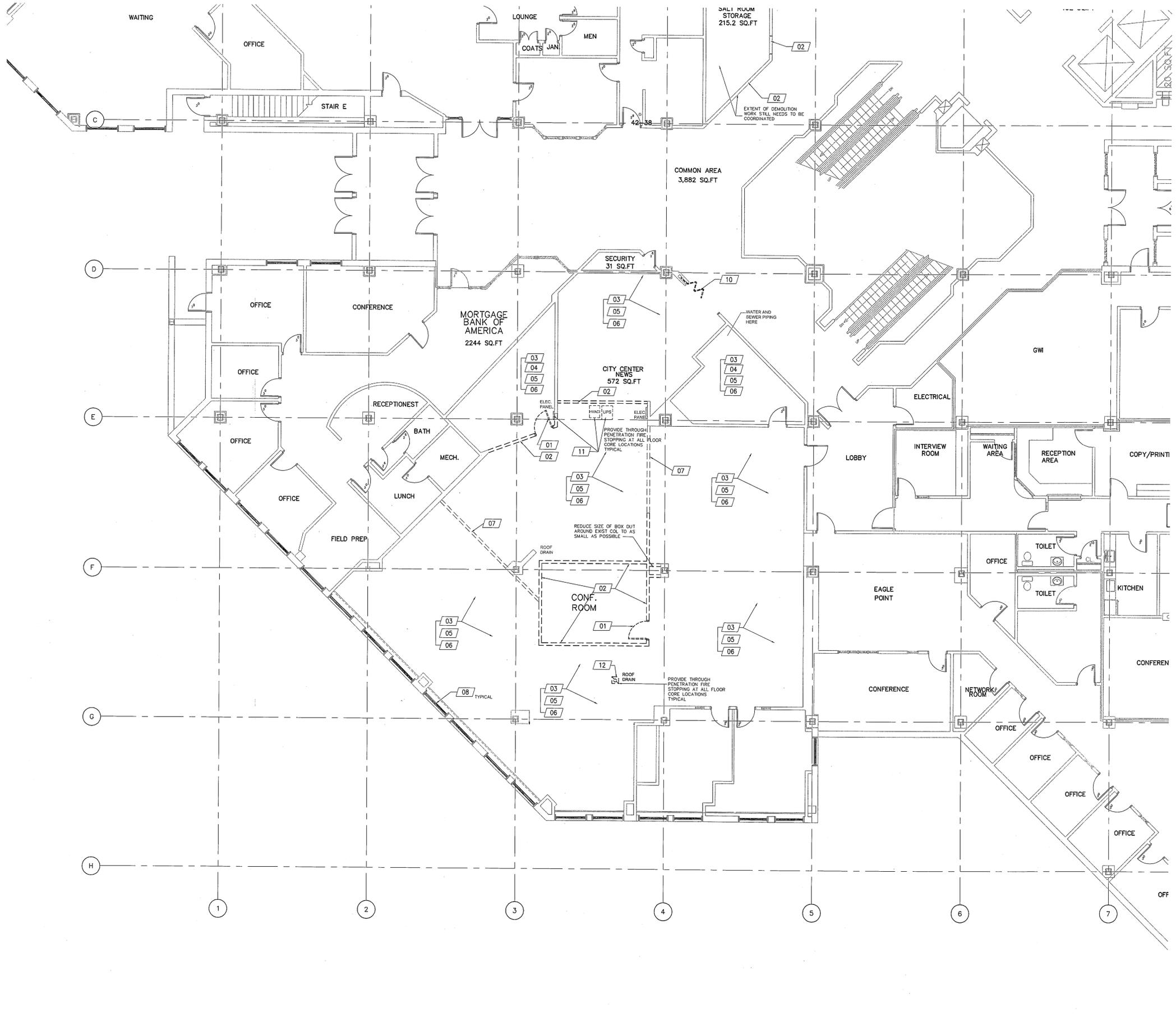
**A1 FIFTH FLOOR EXISTING CONDITIONS REFLECTED CEILING PLAN - LIFE SAFETY**

1/8"=1'-0"



**A17 NOTES**

13/01/10 11:00 AM City Center 021 Architecture & Interiors/Architectural Drawing/010 Plan Rev 04.dwg, 3/1/2010 1:05:35 AM, 40x



K17 KEY PLAN - SECOND FLOOR PLAN

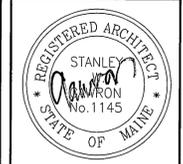
- GENERAL DEMOLITION NOTES:**
1. COORDINATE PRIOR TO ANY DEMOLITION ALL DEMOLITION WORK SHALL BE COORDINATED WITH ALL NEW CONSTRUCTION BY ALL TRADES. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY AND ALL FIELD CONDITIONS NOT SHOWN IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF DEMOLITION CONSTRUCTION. IN ASSOCIATION WITH INFORMATION INDICATING OTHERWISE, CONTRACTOR SHALL BRING AREAS UP TO STANDARDS OF NEW CONSTRUCTION IN THE AREAS CALLING FOR NEW CONSTRUCTION.
  2. DAMAGE: EXISTING BUILDING, BUILDING SYSTEM OR SITE COMPONENTS AFFECTED BY NEW WORK DEMOLITION OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR BY METHODS DESCRIBED IN THESE DOCUMENTS, OR AS APPROVED BY THE ARCHITECT.
  3. EQUIPMENT AND FIXTURES - NEW OR RELOCATED ITEMS SHALL BE VERIFIED BY CONTRACTOR AS APPROPRIATE TO THE ADJACENT AND CONTIGUOUS CONSTRUCTION PRIOR TO INSTALLATION OR REINSTALLATION. CONTRACTOR SHALL DETERMINE APPROPRIATE ANCHORING TYPES UNLESS OTHERWISE INDICATED.
  4. FINISHES: AFTER ALL REMOVALS OF WALLS, DOORS, WINDOWS, CEILING AND OTHER COMPONENTS, PATCH AND PREPARE THE REMAINING EXPOSED DAMAGED SURFACES TO PREPARE FOR NEW WORK AND NEW FINISH. INSTALL PRECED UNDERLAYMENT TO FLOORS BY WALL REMOVAL, INSTALL NEW WALKWAYS BY PATCHING IN AND FINISHING FLOOR AND FINISHING OR FINISHING AS NECESSARY.
  5. CONCEALED SPACES: DAMAGED CONSTRUCTION IN CONCEALED SPACES IS NOT REQUIRED TO BE REPAIRED, EXCEPT AS REQUIRED TO MAINTAIN FIRE RATINGS, STRUCTURAL INTEGRITY, WATERPROOFING AND/OR HEAT LOSS OR GAIN.
  6. PIPE REMOVALS: AFTER REMOVALS OF PIPING, RADIATORS, AND OTHER EQUIPMENT, REPAIR THE PIPE PENETRATIONS TO MATCH ADJACENT EXISTING SURFACE AND TO MAINTAIN RATINGS. FILL HOLES AND REPAIR WALL SURFACES.

- INSTRUCTIONS FOR DEMOLITION:**
1. LEVEL EXISTING FLOORS TO REMOVE NEW FINISHES AS INDICATED IN THE DRAWINGS - SEE INTERIOR FINISH SCHEDULE AND NOTES - AND SHALL BE CERTIFIED AS SUITABLE FOR THE NEW FINISHES BY THE INSTALLER PRIOR TO THE NEW WORK.
  2. COVER PLATES: PROVIDE COVER PLATES OVER ABANDONED ELECTRICAL DEVICES, PAINT WITH WALL.
  3. FIRE EXTINGUISHERS: CONTRACTOR SHALL REMOVE EXISTING EXTINGUISHERS AND INSTALL THEM AFTER THEIR WORK. NEW EXTINGUISHERS AND CABINETS SHALL BE INSTALLED BY THE CONTRACTOR FOR CODE. REMOVE EXISTING P.E. AND REINSTALL ADD NEW P.E. & CABINET TO MEET CODE.

- INSTRUCTIONS FOR DEMOLITION:**
1. CONTRACTOR IS RESPONSIBLE FOR SECURITY AND PROTECTION FROM DAMAGE AND WEATHER OF ANY EXPOSED BUILDING COMPONENTS RESULTING FROM DEMOLITION, REMOVALS AND NEW WORK.
  2. PLANS: SEE DEMOLITION PLANS FOR DEMOLITION WORK. REFER TO ALL CONSTRUCTION DOCUMENTS FOR COORDINATION OF DEMOLITION AND NEW WORK, COORDINATE WITH ALL TRADES.
  3. VERIFY STRUCTURAL CONDITIONS WITH DRAWINGS AND ACTUAL CONDITIONS PRIOR TO WALL AND FLOOR REMOVALS. REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR IS RESPONSIBLE FOR SHOWING AND OTHER TEMPORARY SUPPORT METHODS AS MAY BE NEEDED.

4. BRIDGE/SALVAGE: CONTRACTOR SHALL SALVAGE CERTAIN COMPONENTS FOR LIMITED USE TO MATCH EXISTING CONDITIONS TO PATCH AND REPAIR INCLUDING:
  - SALVAGE ALL EXISTING PERIMETER BLINDS
5. SALVAGE FOR OWNERS: PRIOR TO ANY AND ALL DEMOLITION, CONTRACTOR SHALL MEET WITH OWNERS REPRESENTATIVE TO DETERMINE REQUIRED SALVAGED ITEMS.
6. CONSULT WITH PORTLAND PRESS HERALDS DATA & TELEPHONE SYSTEM VENDOR ON EQUIPMENT TO BE REMOVED AND RELOCATED.

- DEMOLITION NOTES:**
- 01 REMOVE DOOR, FRAME AND ALL ASSOCIATED HARDWARE AS REQUIRED FOR NEW CONSTRUCTION SALVAGE FOR REUSE.
  - 02 REMOVE WALL AS REQUIRED FOR NEW CONSTRUCTION.
  - 03 REMOVE EXISTING CEILING GROSS, TILE AND ASSOCIATED HARDWARE AS REQUIRED DUE TO DEMOLITION AND NEW CONSTRUCTION.
  - 04 REMOVE ALL WALL FINISHES AND ASSOCIATED ADHESIVES AS REQUIRED FOR A SMOOTH AND LEVEL APPLICATION OF NEW FINISHES.
  - 05 REMOVE ALL FLOOR COVERING AND ASSOCIATED ADHESIVES, SOIL AND DEBRIS AND PREPARE EXISTING SUBFLOOR AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW FINISHING.
  - 06 REMOVE WALL BRACE AND ASSOCIATED ADHESIVES. PREPARE EXISTING WALL AS REQUIRED FOR SMOOTH AND LEVEL APPLICATION OF NEW BRACE.
  - 07 REMOVE EXISTING DND SCOTTS.
  - 08 REMOVE WINDOW TREATMENT & ACCESSORIES - SALVAGE FOR REUSE - TYPICAL AT ALL EXTERIOR WINDOWS. STORE IN A DUST FREE ENVIRONMENT.
  - 09 REPAIR ANY DAMAGED WOOD SILLS IN THEIR ENTIRETY TO MATCH EXISTING.
  - 10 REMOVE EXISTING FOLDING PARTITION DOOR - SALVAGE FOR REUSE FOR CITY CENTER NEWS.
  - 11 REMOVE EXISTING HANG FLOOR UNIT AND UPS UNIT - CIP AND REMOVE ANY AND ALL DUCTWORK ASSOCIATED WITH REMAIN - WORK TO BE DONE BY BUILDING MANAGEMENT COMPANY.
  - 12 EXISTING ROOF DRAIN TO BE REMOVED AND REDIRECTED. PROVIDE THROUGH PENETRATION FIRE STOPPING AT ALL FLOOR CORE LOCATIONS, TYPICAL.



Portland Press Herald  
 MaineToday Media  
 One City Center  
 Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #:	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE:	1/8"=1'-0"

SHEET TITLE  
 SECOND FLOOR  
 DEMOLITION PLAN  
 NOTES/KEYPLAN

D100

© COPYRIGHT 1985-2003  
 REPRODUCTION OR RESALE OF  
 THIS DOCUMENT WITHOUT  
 WRITTEN PERMISSION OF  
 GAWRON ARCHITECTS IS PROHIBITED

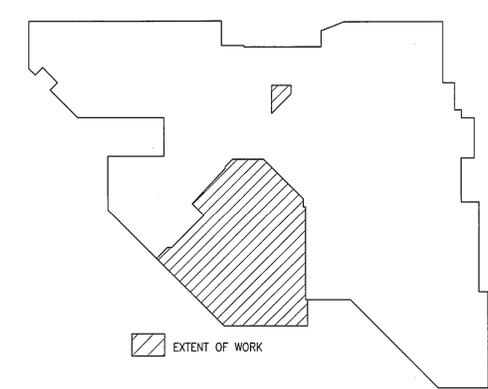
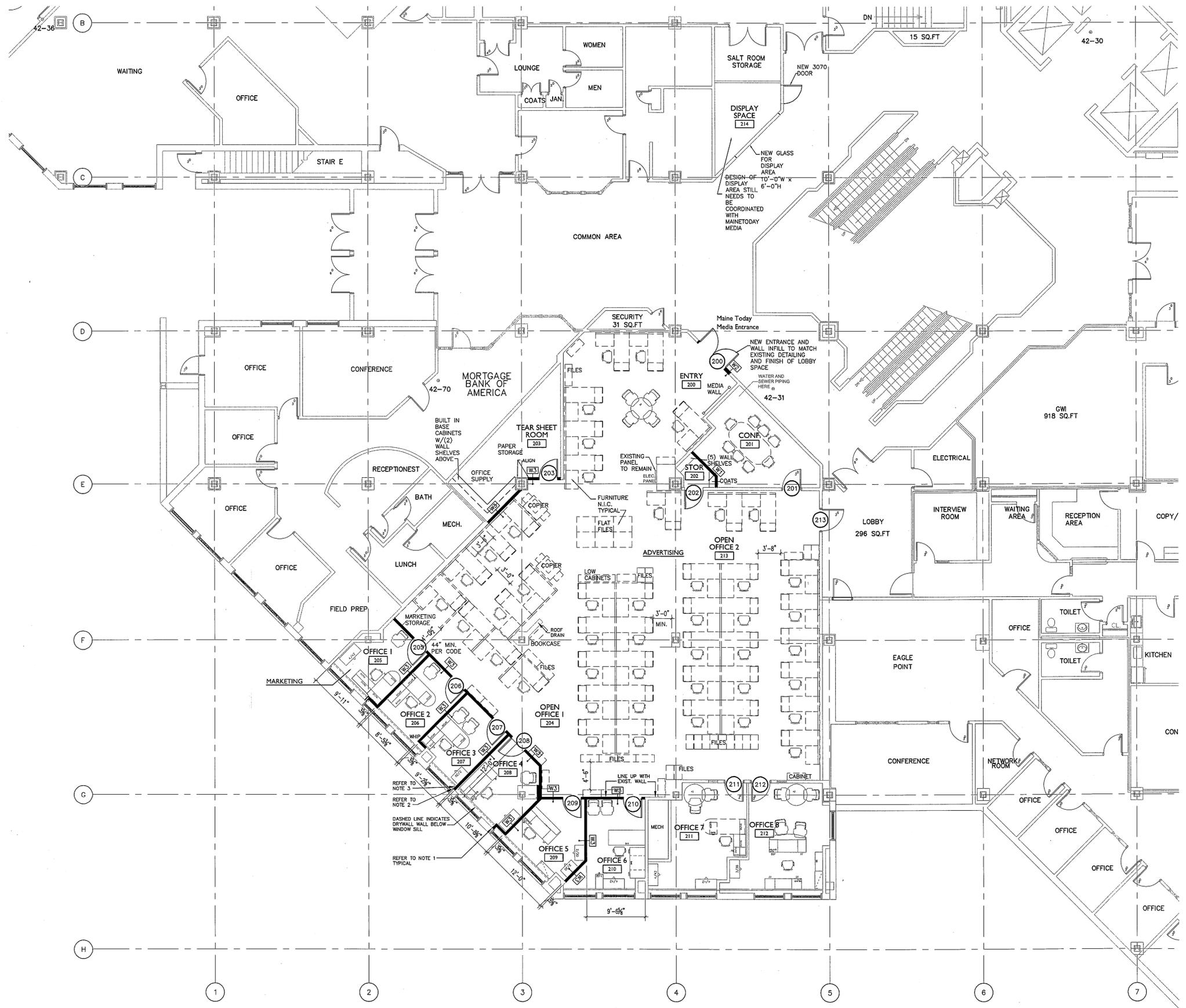
A1 DEMOLITION FLOOR PLAN

A17 DEMOLITION NOTES



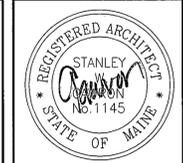
1/8" = 1'-0"





K17 KEY PLAN - SECOND FLOOR PLAN

- NOTES:
1. DESIGN BUILD MECHANICAL CONTRACTOR TO MODIFY PERIMETER FIN TUBE BASE BOARD SYSTEM IN ORDER TO ACCOMMODATE NEW WALLS.
  2. MODIFY/REPLACE EXISTING WINDOW SILLS TO ACCOMMODATE NEW WALLS.
  3. MODIFY/REPLACE WINDOW BLINDS DUE TO NEW WALL CONSTRUCTION.



**Gawron Turgeon ARCHITECTS**  
 29 Black Point Road  
 Scarborough, Maine 04074  
 www.gawronturgeon.com  
 207-883-6307 ext. 207-883-4361 fax

**Portland Press Herald**  
 Maine Today Media  
 One City Center  
 Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	1/8"=1'-0"

SHEET TITLE  
 PARTIAL SECOND FLOOR PLAN-NOTES/KEYPLAN

**A100**

A1 PARTIAL SECOND FLOOR PLAN  
 1/8" = 1'-0"

A17 GENERAL NOTES  
 PLAN NORTH

© COPYRIGHT 1985-2003  
 REPRODUCTION OR USE OF  
 THIS DOCUMENT WITHOUT  
 WRITTEN PERMISSION OF  
 GAWRON ARCHITECTS IS PROHIBITED



**Gawron Turgeon ARCHITECTS**  
 29 Black Point Road  
 Scarborough, Maine 04074  
 www.gawronturgeon.com  
 207-883-6307 tel 207-883-0361 fax

**Portland Press Herald**  
 Maine Today Media  
 One City Center  
 Portland, Maine

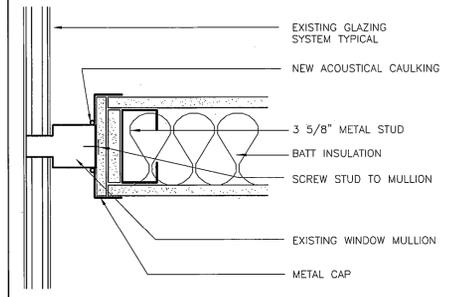
REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	1/8" = 1'-0"

SHEET TITLE  
 FIFTH FLOOR PLAN  
 NOTES/DETAIL

**A101**

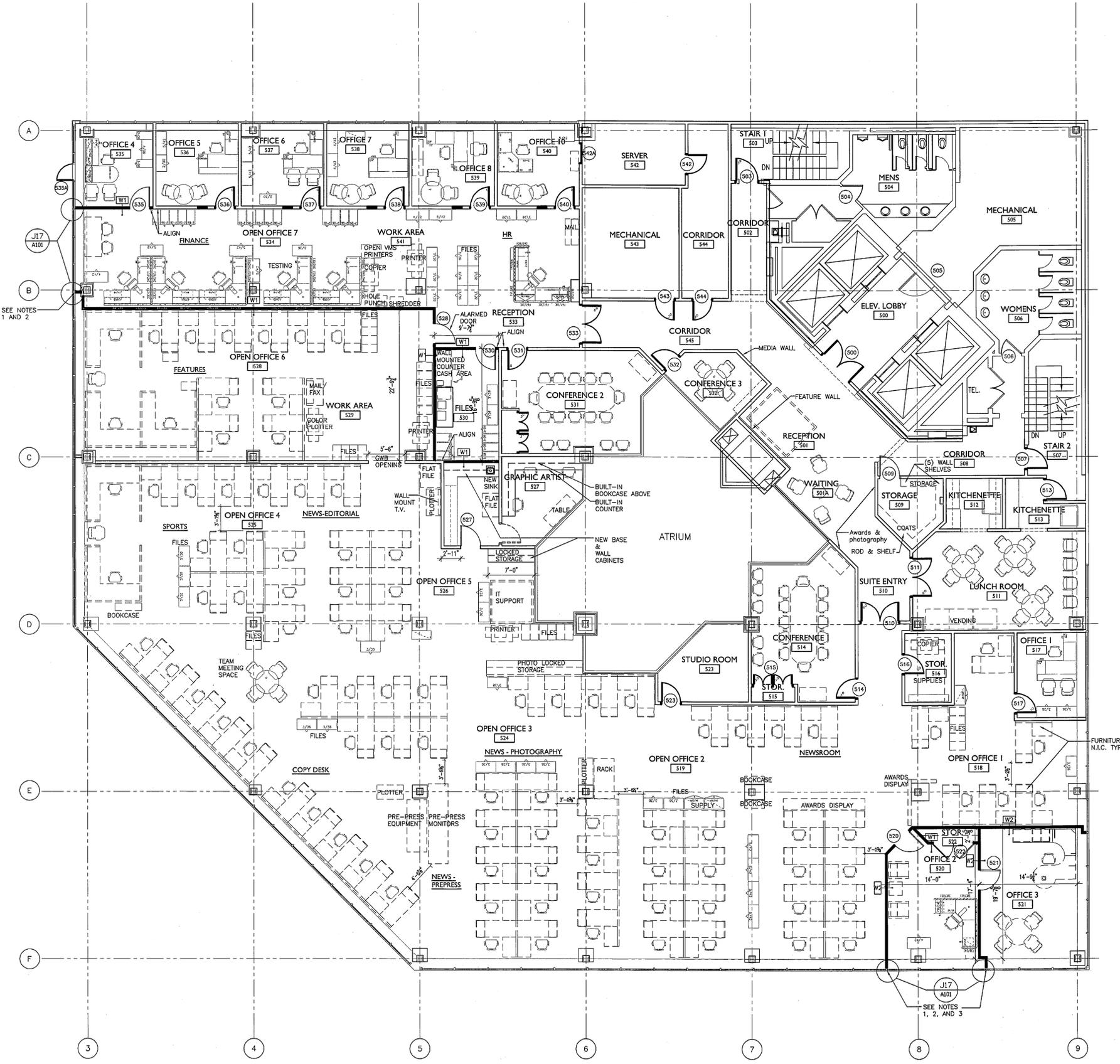
© COPYRIGHT 1985-2003  
 REPRODUCTION OR USE OF  
 THIS DOCUMENT WITHOUT  
 WRITTEN PERMISSION OF  
 GAWRON ARCHITECTS IS PROHIBITED



**J17 WALL/MULLION DETAIL**

3/8" = 1'-0"

- NOTES:
- DESIGN BUILD MECHANICAL CONTRACTOR TO MODIFY PERIMETER FIN TUBE BASE BOARD SYSTEM IN ORDER TO ACCOMMODATE NEW WALLS.
  - MODIFY/REPLACE EXISTING WINDOW SILLS TO ACCOMMODATE NEW WALLS.
  - MODIFY/REPLACE WINDOW BLINDS DUE TO NEW WALL CONSTRUCTION.

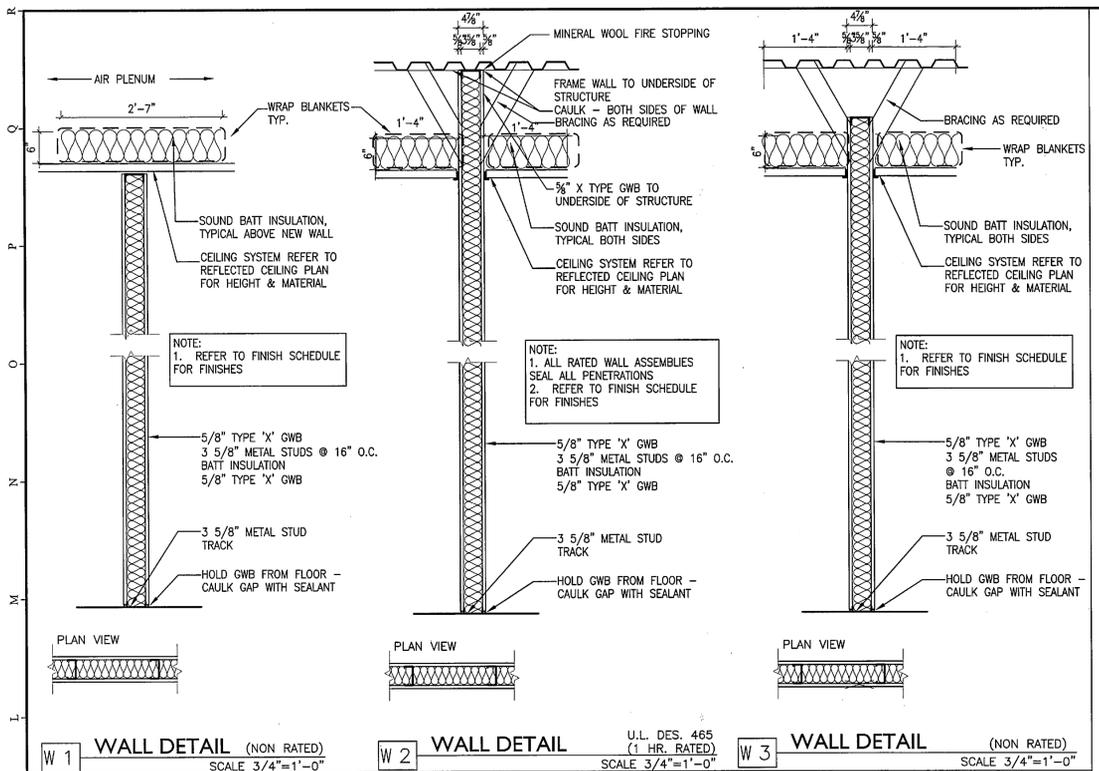


**A1 FIFTH FLOOR PLAN**

1/8" = 1'-0"



**A17 NOTES**



# DOOR SCHEDULE

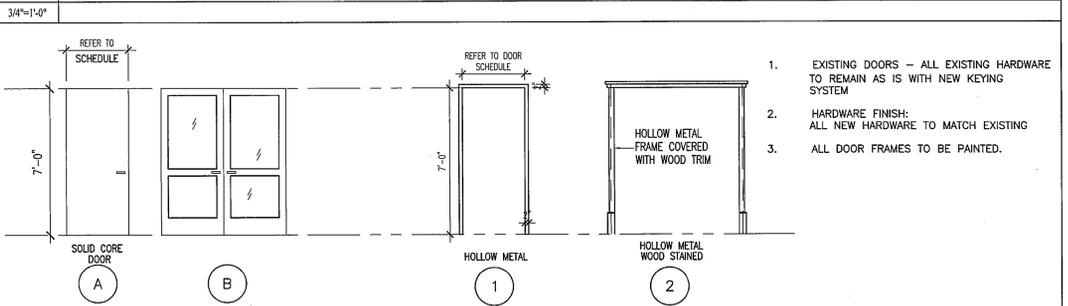
MAINE TODAY MEDIA  
ONE CITY CENTER  
GTA# 011010

DOOR SCHEDULE ABBREVIATIONS			
EH	ELECTRO. HOLD OPENER	NO	NUMBER
HM	HOLLOW METAL	ES	ELECTRIC STRIKE
INS	INSULATED	TEMP	TEMPERED
MTL	METAL	THK	THICKNESS
WD	WOOD (SOLID)	WG	WIRE GLASS
S	STAIN	P	PAINT

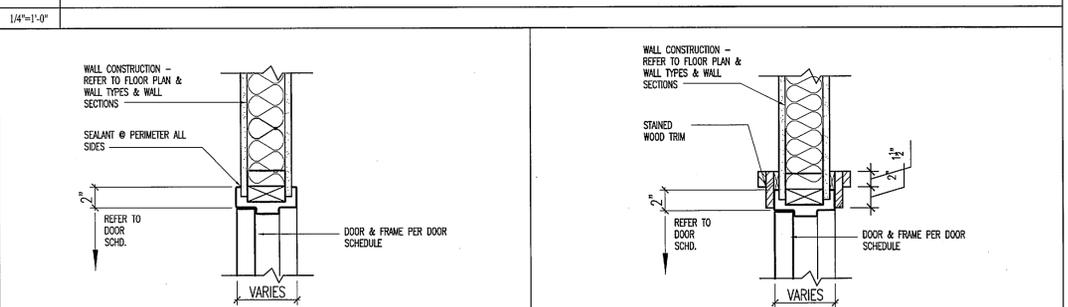
DOORS										FRAMES				SILL CONDITION		HDW	DOORS	
NO	TYPE	SIZE	THK.	MAT.	FINISH	F.R. LABEL	REMARKS	TYPE	MAT.	DETAILS		FINISH	REMARKS	MAT.	DETAILS		SET	NO
										HEAD	JAMB				SILL	HEIGHT		
<b>SECOND FLOOR</b>																		
200	B	6'-0" x 7'-0"	1 3/4	WD	S	-		2	HM/WD	D5/A500	A5/A200	P/S		-	-	-		200
201	EXISTING																	201
202	EXISTING																	202
203	* EXISTING						RELOCATED											203
204	NOT USED																	204
205	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		205
206	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		206
207	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		207
208	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		208
209	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		209
210	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		210
211	EXISTING																	211
212	EXISTING																	212
213	EXISTING																	213
<b>FIFTH FLOOR</b>																		
500	EXISTING																	500
501	NOT USED																	501
502	NOT USED																	502
503	EXISTING																	503
504	EXISTING																	504
505	EXISTING																	505
506	EXISTING																	506
507	EXISTING																	507
508	NOT USED																	508
509	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		509
510	EXISTING																	510
511	EXISTING																	511
512	NOT USED																	512
513	EXISTING																	513
514	EXISTING																	514
515	EXISTING																	515
516	EXISTING																	516
517	EXISTING																	517
518	NOT USED																	518
519	NOT USED																	519
520	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		520
521	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		521
522	A	(2) 3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		522
523	EXISTING																	523
524	NOT USED																	524
525	NOT USED																	525
526	NOT USED																	526
527	A	3'-0" x 7'-0"	1 3/4	WD	S	-	Note 3	1	HM	D1/A200	A1/A200	P		-	-	-		527
528	A	3'-0" x 7'-0"	1 3/4	WD	S	-	Note 3	1	HM	D1/A200	A1/A200	P		-	-	-		528
529	NOT USED																	529
530	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		530
531	EXISTING																	531
532	EXISTING																	532
533	EXISTING																	533
534	NOT USED																	534
535	A	3'-0" x 7'-0"	1 3/4	WD	S	-		1	HM	D1/A200	A1/A200	P		-	-	-		535
536	EXISTING																	536
537	EXISTING																	537
538	EXISTING																	538
539	EXISTING																	539
540	EXISTING																	540
541	EXISTING																	541
542	EXISTING																	542
543A	EXISTING																	543A
543	EXISTING																	543
544	EXISTING																	544

- All door frames to be painted
- All wood doors to match existing wood finish
- Fail safe door to have a door release, closer, lock and shall be tied into the buildings alarm system.

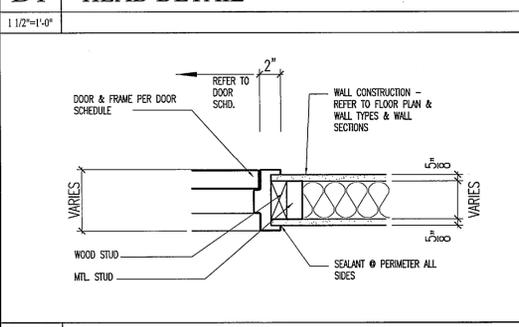
## K1 PARTITION TYPES



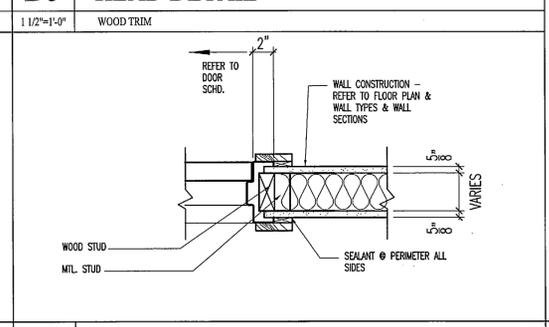
## G1 DOOR/FRAME TYPES



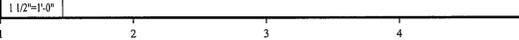
## D1 HEAD DETAIL



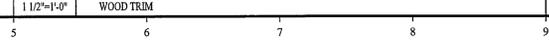
## D5 HEAD DETAIL



## A1 JAMB DETAIL



## A5 JAMB DETAIL



## D9 DOOR SCHEDULE



**Gawron Turgeon ARCHITECTS**  
29 Black Point Road  
Scarborough, Maine 04074  
www.gawronturgeon.com  
207-883-6307 tel. 207-883-0361 fax

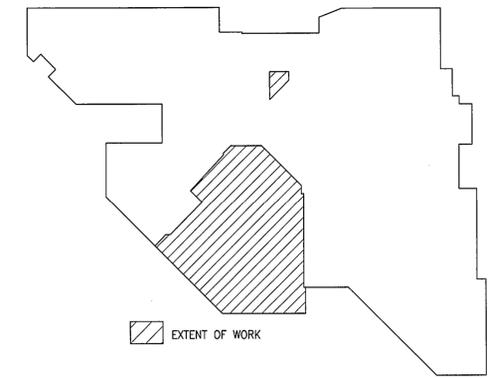
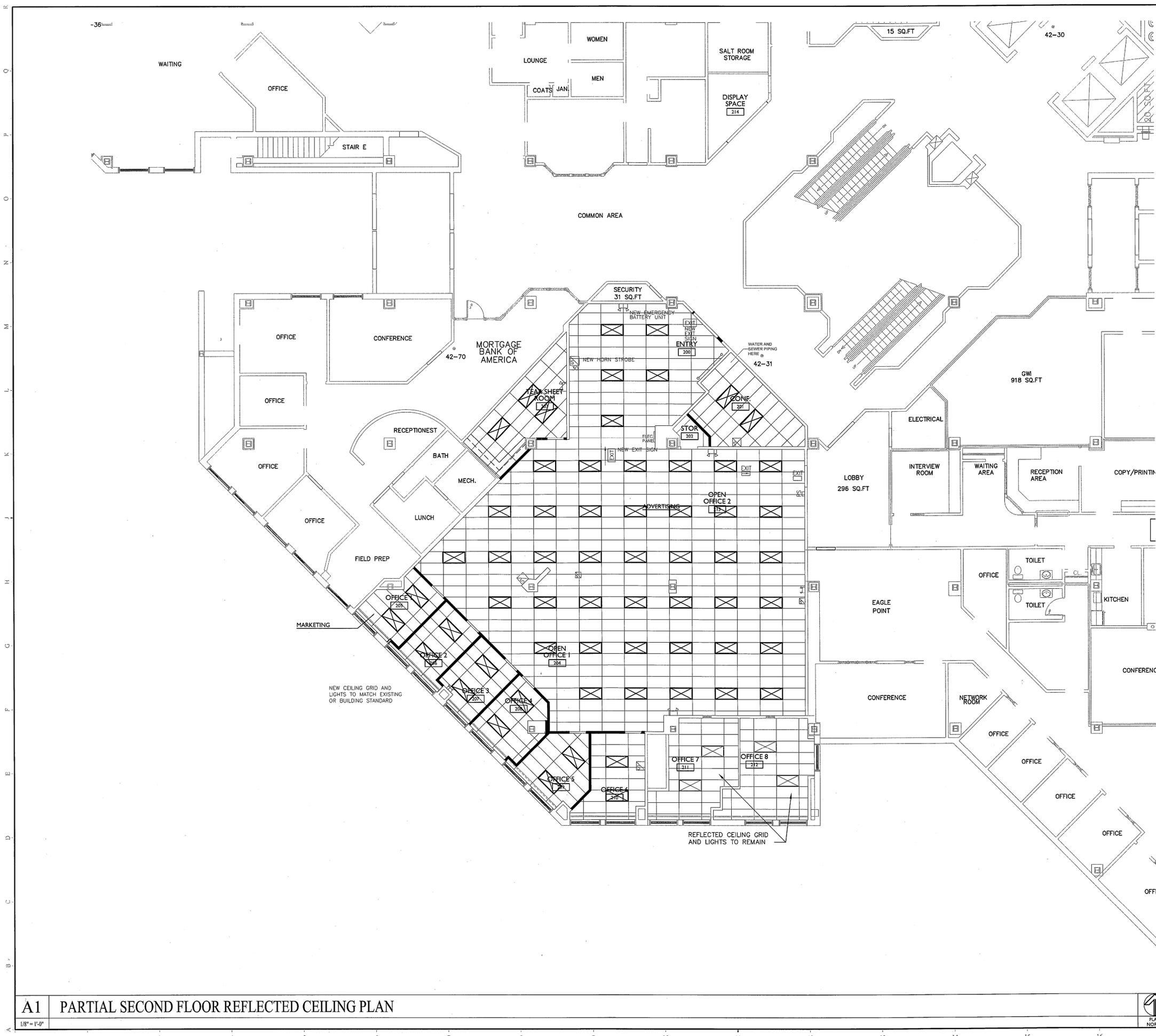
**Portland Press Herald**  
MaineToday Media  
One City Center  
Portland, Maine

REVISIONS	
#	DATE DESCRIPTION
1	02/01/10 ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	

**SHEET TITLE**  
DOOR SCHEDULE  
FRAME & TYPES  
PARTITION TYPES

**A200**



K17 KEY PLAN

- LIGHTING LEGEND**
- LIGHTS TO MATCH EXISTING
  - NEW EMERGENCY BATTERY UNIT
  - NEW CEILING MOUNTED EXIT SIGN
  - NEW HORN STROBE

- NOTES:**
1. EXISTING CEILING GRID AND TILES TO BE REPLACED BY DIRIGO MANAGEMENT TO MEET BUILDING STANDARDS.
  2. ALL LIGHTING FIXTURES ARE TO BE REPLACED WITH NEW ENERGY EFFICIENT LIGHTS - THIS WORK IS THE RESPONSIBILITY OF DIRIGO MANAGEMENT.
  3. ALL EXISTING LIFE SAFETY DEVICES TO REMAIN AS IS
  4. ADD NEW LIFE SAFETY DEVICES AS NECESSARY PER CODE.



**Gawron Turgeon ARCHITECTS**  
 29 Black Point Road  
 Scarborough, Maine 04074  
 www.gawronturgeon.com  
 207-883-6307 tel 207-883-0361 fax

**Portland Press Herald**  
 MaineToday Media  
 One City Center  
 Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
1	02/01/10	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	KW
CHECKED BY:	DP
DRAWING SCALE	1/8"=1'-0"

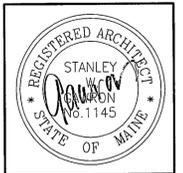
**SHEET TITLE**  
 PARTIAL SECOND FLOOR REFLECTED CLNG PLAN

**A300**

© COPYRIGHT 1985-2003  
 REPRODUCTION OR REUSE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF GAWRON ARCHITECTS IS PROHIBITED

A1 PARTIAL SECOND FLOOR REFLECTED CEILING PLAN  
 1/8" = 1'-0"

A17 GENERAL NOTES  
 PLAN NORTH



**Gawron Turgeon ARCHITECTS**  
 29 Back Point Road  
 Scarborough, Maine 04074  
 www.gawronturgeon.com  
 207-883-6307 ext. 207-883-0361 fax

Portland Press Herald  
 Maine Today Media  
 One City Center  
 Portland, Maine

REVISIONS	
#	DATE
1	02/01/10
	ISSUED FOR PERMITTING ONLY

DATE:	02-01-10
PROJECT #	011010.00
DRAWN BY:	DLP
CHECKED BY:	MET
DRAWING SCALE	1/8" = 1'-0"

SHEET TITLE  
**FIFTH FLOOR REFLECTED CEILING PLAN & NOTES**

**A301**

© COPYRIGHT 1985-2003  
 REPRODUCTION OR RESALE OF  
 THIS DOCUMENT WITHOUT  
 WRITTEN PERMISSION OF  
 GAWRON ARCHITECTS IS PROHIBITED



**LIGHTING LEGEND**

- LIGHTS TO MATCH EXISTING
- NEW
- 6" INTERIOR RECESSED FLUORESCENT DOWNLIGHT
- NEW EMERGENCY BATTERY UNIT
- NEW CEILING MOUNTED EXIT SIGN
- NEW HORN STROBE

- NOTES:**
- ALL EXISTING CEILING GRID AND TILES TO REMAIN. REPLACE ANY AND ALL DAMAGED TILES TO MATCH BUILDING STANDARD.
  - ALL LIGHTING FIXTURES ARE TO BE REPLACED WITH NEW ENERGY EFFICIENT LIGHTS - THIS WORK IS THE RESPONSIBILITY OF DIRIGO MANAGEMENT.
  - ALL EXISTING LIFE SAFETY DEVICES TO REMAIN AS IS
  - ADD NEW LIFE SAFETY DEVICES AS NECESSARY PER CODE.

**A1 FIFTH FLOOR REFLECTED CEILING PLAN**  
 1/8" = 1'-0"

**A17 LEGEND/NOTES**

1320101010 - One City Center CHD - Architecture & Interiors/Planning Drawing/5th Floor Reflected Ceiling Plan.dwg, A01, 2/1/2010 8:20:17 AM, dlp