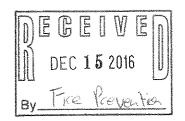
CITY OF PORTLAND FIRE PREVENTION BUREAU

380 Congress Street, Portland, Maine 04101 fireprevention@portlandmaine.gov (207) 874-8400



NOTICE OF VIOLATION AND ORDER TO CORRECT

November 19, 2016

Location	CBL	Inspection Date
1 CITY CTR	032 L002001	11/18/2016
Inspector	Inspection Type	Status
Sean Donaghue	FP Routine Inspection	Failed

The City of Portland Fire Department inspected this property, and found the fire and life safety code violations listed below, which you are hereby ordered to correct. You must complete the proposed date of completion column by proposing a reasonable timeframe to remedy each violation. This form must be received by the Fire Prevention Bureau no later than 12/15/2016. The Bureau reserves the right to reject or modify any proposed plan of action, and may require evidence of sufficient financial and technical capacity to complete the proposed plan. Please contact the Bureau with any questions.

YOUR FAILURE TO SUBMIT A PLAN OF ACTION BY THE DATE PROVIDED, OR TO CORRECT ANY VIOLATION WITHIN THE APPLICABLE TIME FRAME, MAY RESULT IN LEGAL ACTION AGAINST YOU, THE IMPOSITION OF CIVIL PENALTIES, AND THE PURSUIT OF OTHER LEGAL REMEDIES.

Violation	Proposed Date of Completion
NFPA 101- 31.3.1.1.1 VERTICAL OPENINGS NOT FIRE RATED; Vertical openings shall be enclosed or protected in accordance with Section 8.6.	//
Generator room has large open holes in vertical wall where wiring passes through, please fireproof these voids	TBD
NFPA 101-7.9.3 EMERGENCY LIGHTS REQUIRE MAINTENANCE; 7.9.3 Periodic Testing of Emergency Equipment 7.9.3.1 Required emergency lighting systems shall be tested in accordance with one of the three options offered by 7.9.3.1.1, 7.9.3.1.2, or 7.9.3.1.3. 7.9.3.1.1 Testing of required emergency lighting systems shall be permitted to be conducted as follows: (1) Functional testing shall be conducted monthly with a minimum of 3 weeks and a maximum of 5 weeks between tests, for not less than 30 seconds, except as otherwise permitted by 7.9.3.1.1(2). (2) The test interval shall be permitted to be extended beyond 30 days with the approval of the authority having jurisdiction. (3) Functional testing shall be conducted annually for a minimum 1-1/2 hours if the emergency lighting system is battery powered. (4) The emergency lighting equipment shall be fully operational for the duration of the test required by 7.9.3.1.1(1) and (3). (5) Written records of visual inspections and tests shall be kept by the owner for inspection by the authority having jurisdiction. Many out in Penthouse level throughout, please review all emergency lights throughout building and address any that don't illuminate on back-up power	In process: updating inventory; will identify all existing fixtures and will replace where needed. 13, & 6 will be completely changed. Have replace most on 12. Next week will work on 3rd floor.

1

2

	Violation	Proposed Date of Completion	
3	NFPA 101-7.10.9 TESTING AND MAINTENANCE EXIT SIGNS REQUIRE MAINTENANCE; 7.10.9.1 Inspections. Exit signs shall be visually inspected for operation of the illumination sources at intervals not to exceed 30 days. 7.10.9.2 Testing. Exit signs connected to, or powered with, a battery-operated emergency illumination source shall be tested and maintained in accordance with 7.9.3. 7.9.3 Periodic Testing of Emergency Equipment 7.9.3.1 Required emergency lighting systems shall be tested in accordance with one of the three options offered by 7.9.3.1.1, 7.9.3.1.2, or 7.9.3.1.3. 7.9.3.1.1 Testing of required emergency lighting systems shall be permitted to be conducted as follows: (1) Functional testing shall be conducted monthly with a minimum of 3 weeks and a maximum of 5 weeks between tests, for not less than 30 seconds, except as otherwise permitted by 7.9.3.1.1(2). (2) The test interval shall be permitted to be extended beyond 30 days with the approval of the authority having jurisdiction. (3) Functional testing shall be conducted annually for a minimum 1-1/2 hours if the emergency lighting system is battery powered. (4) The emergency lighting equipment shall be fully operational for the duration of the test required by 7.9.3.1.1(1) and (3). (5) Written records of visual inspections and tests shall be kept by the owner for inspection by the authority having jurisdiction. Exits signs don't illuminate on back-up power Penthouse level and floor below. Please review	All repaired and workin	g.
4	all exit signs throughout building and address any that don't illuminate when tested. NFPA 101- 7.2.1.8.1 FIRE DOORS MUST BE SELF- OR AUTO-CLOSING; A door leaf normally required to be kept closed shall not be secured in the open position at any time and shall be self-closing or automatic-closing in accordance with 7.2.1.8.2, unless otherwise permitted by 7.2.1.8.3.	//	
	Multiple fire doors throughout noted to be normally blocked open or not properly fitted with appropriate self closing mechanisms. Noted int eh basement maintenance area, Boiler room (3 doors) and generator room on roof mechanical level, 8th floor near elevator.	Double doors in Maint are not fire doors. added for visual ১৫५ appearance only.	a Hack
5	PORTLAND FIRE DEPARTMENT CHAPTER 10 FIRE ALARM INSPECTION STICKER REQUIRED; Provide annual fire alarm inspection sticker at the annunciator. This sticker must be provided by a licensed master fire alarm company. A list of licensed master fire alarm companies can be found at: www.portlandmaine.gov/fireprevention .	Current sticker there	3
	Fire alarm inspection is expired, please show a current inspection/certification sticker on the main panel	see photo	7-59
6	NFPA 13 INCOMPLETE SPRINKLER COVERAGE; Refer to NFPA 13. Generator room on roof mechanical level doesn't appear to have sprinkler coverage. 2 sprink	lers in room (see photos)	
	NFPA 1 EXCESSIVE/DISORDERLY STORAGE; Reference NFPA 1 for excessive fuel-load.	, Not tax	100€
7	No storage 36" in front and 30" to side of all electrical panels, storage noted by electrical panels on 12, 11, and the basement workshop area. Please review all electrical panels for proper space and access.	In progréss-mostly complete	
8	NFPA 70- 590.6 EXTENSION CORDS; Ground-fault protection for personnel for all temporary wiring installations shall be provided to comply with 590.6(A) and (B). This section shall apply only to temporary wiring installations used to supply temporary power to equipment used by personnel during construction, remodeling, maintenance, repair, or demolition of buildings, structures, equipment, or similar activities.	Removed	
	Permanent use of extension cords noted on roof going to upper roof level and in elevator room to fan. Please remove any permanent and semi-permanent extension cords and wire directly to a properly rated outlet		
9	NFPA 70 MISSING BOX COVERS ; Refer to NFPA 70, National Electrical Code, on standards for missing box covers.	//	
	Junction boxes missing covers in boiler room roof mechanical level and in the Fllor 11 electrical room (2)	In progress	
10	NFPA 1 EXCESSIVE/DISORDERLY STORAGE; Reference NFPA 1 for excessive fuel-load.	//_	
	Basement, main electrical room, excessive storage all around main shut offs and panels, please remove all storage and debris within 36" in front and 30" to side of electrical panels and shut offs	Complete	

Violation		Proposed Date of Completion
of another section of this code, po maintained in accordance with NF	UISHERS REQ- OTHER; Where required by the provisions rtable fire extinguishers shall be installed, inspected, and PA 10, Standard for Portable Fire Extinguishers.	//
Fire extinguisher required in eleva	tor mechanical room, basement level	100
NFPA 1 EXCESSIVE/DISORDER	LY STORAGE; Reference NFPA 1 for excessive fuel-load.	/ /
Basement level elevator mechanic significant amount of storage, no c	cal room appears to be set up as an office and has debris or storage in elevator mechanical room	Otis Elev Responsibility not an office.
NFPA 101- 9.7.4.1 FIRE EXTING of another section of this code, po maintained in accordance with NF Please mount the fire extinguisher	//	
-	TECTOR NEEDS REPAIR; System defects and malfunctions	3
In basement maintenance area, so that occurs directly below it. It was covered all the time. Please remo occur around/under the detector.	Complete	
VIOLATOR CERTIFICATION	ON	•
understand that I must contact t entirely within the Bureau's dis I further understand that it is m	by responsibility to schedule a reinspection of my proper My failure to schedule a reinspection shall be deemed an	est an extension, which is
	eement, I understand that I am liable for penalties pursual 1-15 and 10-25, and 30-A M.R.S. § 4452 and may be s	
Date	Responsible Party	
Date	Responsible Party	
SEEN AND AGREED	a 1 P D 01	
12/22/2016	Fire Prevention Bureau	
1 111163 1	rire Prevention Bureall	

From: Mike Freed

Sent: Thursday, December 8, 2016 10:34 AM

To: donaghues@portlandmaine.gov

Cc: Mark Dussault; Johno Bishop; OCC Security

Subject: RE: Portland Fire Department, 1 City Center Inspection

Sean,

I just received this Notice to Prosecute. Is this process that we are following adequate to insure that a plan of action is being followed? Are you and the Fire Prevention Bureau one and the same? Does anyone else need to be notified that we are working on resolving these issues? I want the Corporation Counsel to be aware that we are addressing these violations.



Attached is the updated Violation report. We have created an inventory of emergency lights and exit signs (#2&3). We will be replacing older emergency lights and exit signs with new LED ones. A number of LED replacements already exist throughout the building.



The elevator room#12 is not used as an office. The elevator company stores elevator materials there and uses the desk occasionally when they are working here. The elevator company has been told to straighten this room.



The double doors #4 in the back hall in the maintenance hall were added when Red Thread moved in. They are not intended to be fire doors. Red Thread has a bathroom located in the back hall and the doors were put in to discourage those using the Red Thread bathroom from wandering into the maintenance area.

I will continue to send you updated as work progresses. Thank you.

Mike

		•