

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <b>One City Center 1st Floor</b>		Owner: <b>One City Center Associates</b>		Phone: <b>871-1080</b>		Permit No: <b>981448</b>	
Owner Address: <b>One City Center</b>		Lessee/Buyer's Name: <b>Sybertours</b>		Phone:		BusinessName:	
Contractor Name: <b>Dirigo Management</b>		Address: <b>One City Center</b>		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>  <b>DEC 28 1998</b> </div>	
Past Use: <b>Vacant</b>		Proposed Use: <b>Office</b>		<b>COST OF WORK:</b> <b>\$ 10,000</b>		<b>PERMIT FEE:</b> <b>\$ 70.00</b>	
				<b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied		<b>INSPECTION:</b> Use Group: <b>B</b> Type: <b>1A</b> <b>BOCA</b>	
				Signature:		Signature: <i>[Signature]</i>	
Proposed Project Description:  <b>Amendment to Permit Number #980414.</b> <b>Additional new walls, windows, doors.</b>				<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		<b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: <b>SP</b>		Date Applied For: <b>12/23/98</b>				<b>Zoning Approval:</b>  	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED  
WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

**12/23/98**

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

**Action:**

- ☐ Approved  
☐ Approved with Conditions  
☐ Denied

Date: \_\_\_\_\_

**CEO DISTRICT**

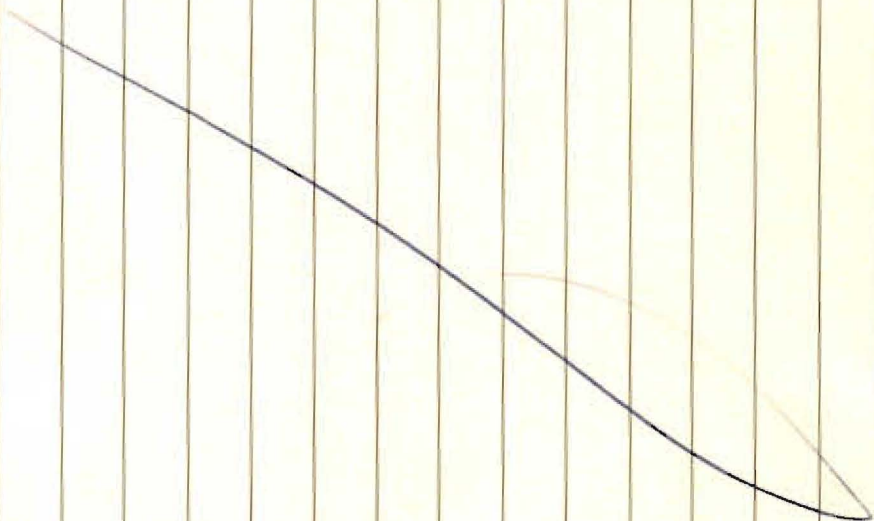


COMMENTS

6/15/99

Completed.





Inspection Record

Type

Date

Foundation: \_\_\_\_\_

Framing: \_\_\_\_\_

Plumbing: \_\_\_\_\_

Final: \_\_\_\_\_

Other: \_\_\_\_\_

## BUILDING PERMIT REPORT

DATE: 26 Dec. 98 ADDRESS: One City Center CBL: 032-L-002  
REASON FOR PERMIT: To Amend Permit #980414  
BUILDING OWNER: One City Center Assoc.  
CONTRACTOR: Dirigo Management  
PERMIT APPLICANT: \_\_\_\_\_  
USE GROUP: B BOCA 1996 CONSTRUCTION TYPE: 1A

### CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*18, \*19, \*20, \*24, \*25, \*30, \*31, \*32, \*33

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise. (Section 1014.0)
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special

knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
- \*18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- \*19. The Sprinkler System shall maintained to NFPA #13 Standard.
- \*20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
- \*24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
25. All requirements must be met before a final Certificate of Occupancy is issued.
- \*26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
28. Please read and implement the attached Land Use-Zoning report requirements.
29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.
- \*30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- \*31. No Combustible Framing materials can be used in a Type IA Construction except as otherwise specifically provided for in the code.  
(Table 602)
32. Dead-end shall not exceed 100' -

33.

 P. Schmuckal, Building Inspector

cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE  
PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <u>One City Center 15057</u>			
Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number		Owner:	Telephone#:
Chart# <u>032</u> Block# <u>L</u> Lot# <u>002</u>	<u>One City Center Associates</u>		<u>871-1080</u>
Owner's Address: <u>One City Center Portland, ME. 04101</u>	Lessee/Buyer's Name (If Applicable): <u>Sybertours</u>	Cost Of Work:	Fee
		<u>\$ 10,000.</u>	<u>\$ 70.</u>
Proposed Project Description: (Please be as specific as possible) <u>Amendment to prior permit additional new walls, windows, doors Permit # 980414</u>			
Contractor's Name, Address & Telephone: <u>*Dirigo Management, One City Center</u>			Rec'd By: <u>32</u>
Current Use: <u>Vacant</u> <u>ALDME 04101</u>	Proposed Use: <u>office</u> <u>Albert Knight</u>		

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

•All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.

•All plumbing must be conducted in compliance with the State of Maine Plumbing Code.

•All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.

•HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1995 ASHRAE Mechanical Code.

You must include the following with your application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

**4) Building Plans**

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

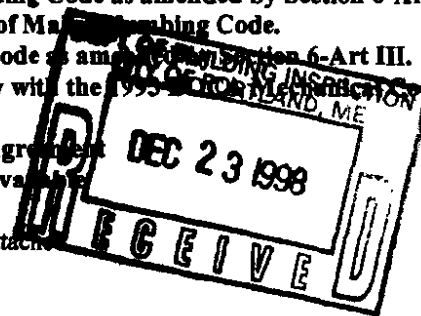
**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Albert Knight</u>	Date: <u>12/23/98</u>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum





**DIRIGO  
MANAGEMENT  
COMPANY**

December 23, 1998

Buildings Inspection Dept.  
City of Portland  
Portland, Maine 04101

RE: Revised Alterations / Cyber Tours, One City Center , Portland, Me.

Dear Sirs:

Please find enclosed a revised floor layout of the new space for Cyber Tours here at One City Center in Portland.

The original flooring plan has been changed due to further expansion by the tenant. The tenant has subcontracted their own work and we do not believe that any revision to the permit was submitted.

At this time, we would like to submit the revised floor plans for the tenant and ask that these plans be included with the original submission. A check for the additional work estimated at \$10,000. has also been included with this submission. All work will be done in accordance with all applicable codes and regulations as stated in the original scope of work.

Please note that the masonry opening to the exterior was not done, however that there is an existing exit from the stairway that is not shown on the drawing. This exit has not been altered in any way.

All new glass openings will be of tempered or safety glass is needed by code. (All new walls are standard metal stud and drywall and are not load bearing.

Should you have any questions, please feel free to contact me.

Thank You,

Albert W. Knight  
Dirigo Management Company  
One City Center  
Portland, Me. 04101  
Tel. (207) 871-1080



Individual Member



ONE CITY CENTER, PORTLAND, MAINE 04101-4009  
TEL: (207) 871-1080 • FAX (207) 871-7189  
E-MAIL: [info@dirigomgmt.com](mailto:info@dirigomgmt.com)  
WEB SITE: [www.dirigomgmt.com](http://www.dirigomgmt.com)

**Cyber Tours**  
Specifications for Construction  
First Floor  
One City Center  
Portland, Maine 04101  
April 1998

*Original  
Scope of Work*

**Demolition:**

- ◆ Remove and dispose of all interior walls.
- ◆ Remove and dispose of suspended ceilings.
- ◆ Remove and dispose of existing flooring.

**Drywall:**

- ◆ Construct new slab to slab tenant separating wall at "A" using 5/8" drywall and 3-1/2" metal studs. Wall to be insulated for sound reduction. Wall to be framed to accommodate possible future door to common area restrooms.

**Plumbing:**

- ◆ Remove existing sink and plumbing and cap off at floor per code.

**Electrical:**

- ◆ Remove all wiring in walls to be removed.
- ◆ Install electrical outlets as required to meet code.
- ◆ Reuse existing lights in new ceiling. Switch to be located at entrance. Provide night lighting as required.
- ◆ Install Emergency lighting, exit signage, and heat sensors as required by code. Fire alarm to be tied into existing building fire alarm system. Phone and computer cabling by others.

~~Masonry:~~

*OMITTED*

- ◆ Create new opening in outer masonry wall and install lintel to accommodate new bronze colored aluminum entrance door and sidelight to match building standard. All glass to be tempered safety glass. Door to be 3/0 x 7/0 with outward swing to meet egress codes.

**Sprinklers:**

- ◆ Install and rework sprinklers as necessary to meet current codes throughout space.

**HVAC:**

- ◆ Rework as necessary.

**Flooring:**

- ◆ Install tenant choice of carpeting using Ayers Hall 28oz. Direct glue installation.

**Ceilings:**

- ◆ Ceilings to be building standard 2x2 grid with non directional 2x2 reveal tiles.

**Paint:**

- ◆ All paint to be eggshell latex. (Tenant choice of colors.)

**Fire Extinguisher:**

- ◆ A fire extinguisher of suitable size and type (ABC) shall be provided and mounted in an area that is easily accessible.