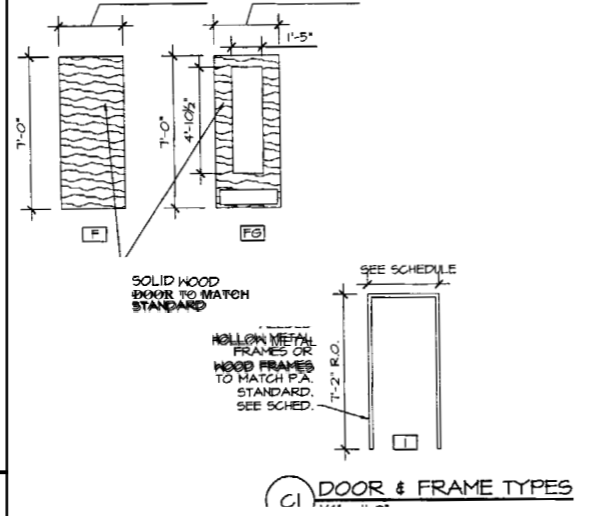
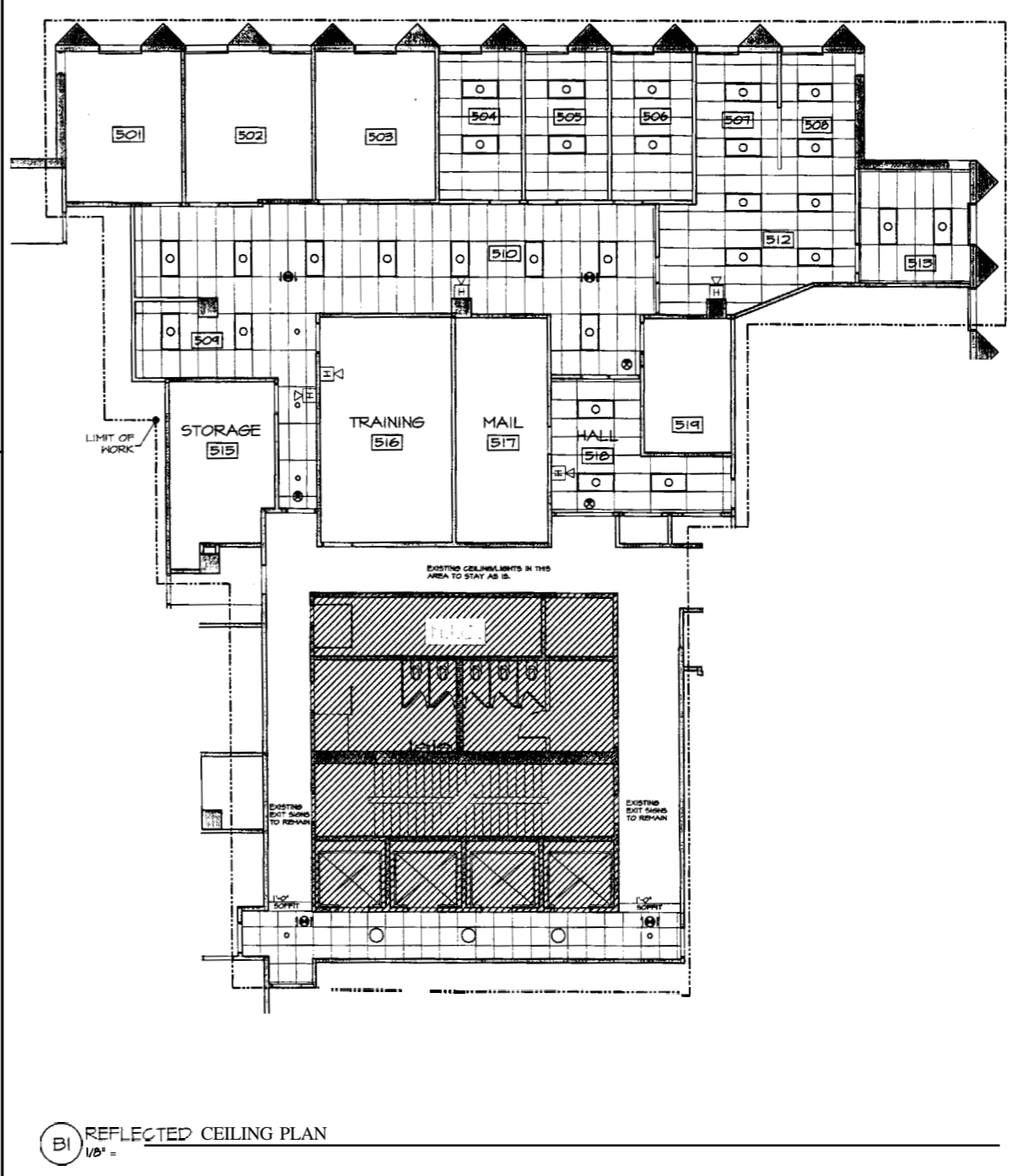


C3 TYPICAL HEAD @ H.M.
3" = 1'-0"

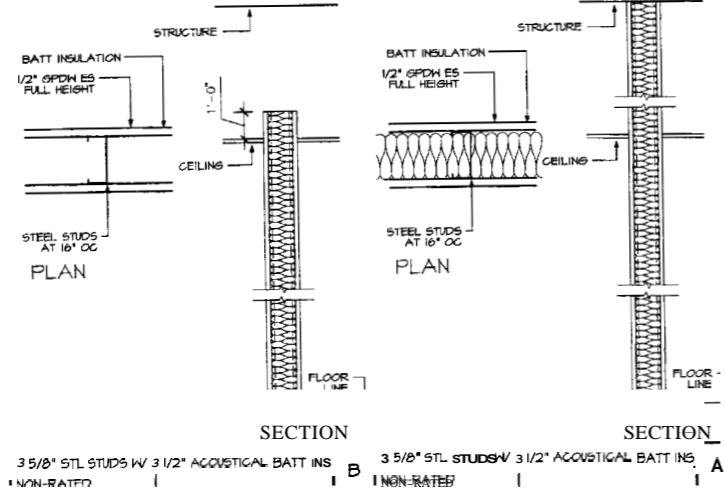
C2 TYPICAL JAMB @ H.M.
3" = 1'-0"



C1 DOOR & FRAME TYPES



B1 REFLECTED CEILING PLAN
1/8" = 1'-0"



A3 PARTITION TYPES
NA

LIGHT FIXTURE SCHEDULE

NO.	DESCRIPTION	FINISH	TYPE	REMARKS
1	2X4	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	REUSE EXISTING WHENMR POSSIBLE
2	2X4 / EMERGENCY	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	REUSE EXISTING WHENEVER POSSIBLE
3	2X4 / CN	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	REUSE EXISTING WHENEVER POSSIBLE
4	RECESSED PENDANT	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	REUSE EXISTING WHENEVER POSSIBLE
5	DOWN LIGHT	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	TO MATCH ELEV. LOBBIES ABOVE
6	SHAPER	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	TO MATCH ELEV. LOBBIES ABOVE
7	2X2	COOPER	METALUX 2RD1	

REFLECTED CEILING NOTES

1. THIS PLAN IS FOR CEILING FIXTURE LOCATIONS ONLY. REFER TO MEP ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2. NEW SPRINKLER HEADS, LIGHT FIXTURES, DIFFUSERS AND ANY CEILING MOUNTED ITEMS SHALL BE CENTERED IN CEILING PANELS AND SHALL BE COORDINATED WITH MEP ENGINEERING DRAWINGS.
3. ALL SUSPENDED CEILING HEIGHTS TO MATCH EXISTING AFF.
4. ELECTRICAL DESIGN BUILD CONTRACTOR TO PROVIDE NEW LIFE/SAFETY DEVICES WHERE NECESSARY.
5. ELECTRICAL DESIGN BUILD CONTRACTOR TO VERIFY EXISTING LIFE/SAFETY DEVICES AND PROVIDE NEW WHERE SHOWN ON PLAN IF NONE ARE EXISTING IN PROXIMITY.
6. ELECTRICAL DESIGN BUILD CONTRACTOR TO PROVIDE EMERGENCY LIGHTS AS REQUIRED BY CODE.

A2 LIGHT FIXTURE SCHEDULE
NA

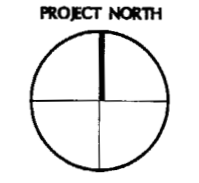
REFLECTED CEILING LEGEND

A		2X4 FLUORESCENT LIGHT FIXTURE
B		NOT USED
C		CEILING MOUNTED EXIT SIGN
D		SHAPER 499 SERIES RECESSED
E		BUILDING STANDARD DOWN LIGHT
F		FIRE STROBE

A1 REFLECTED CEILING LEGEND
NA



NO.	DATE	REVISIONS
1		ISSUED FOR REVIEW
2		REVISED FOR PRICING



PIERCE ATWOOD
ONE MONUMENT SQUARE
5TH FLOOR RENOVATION

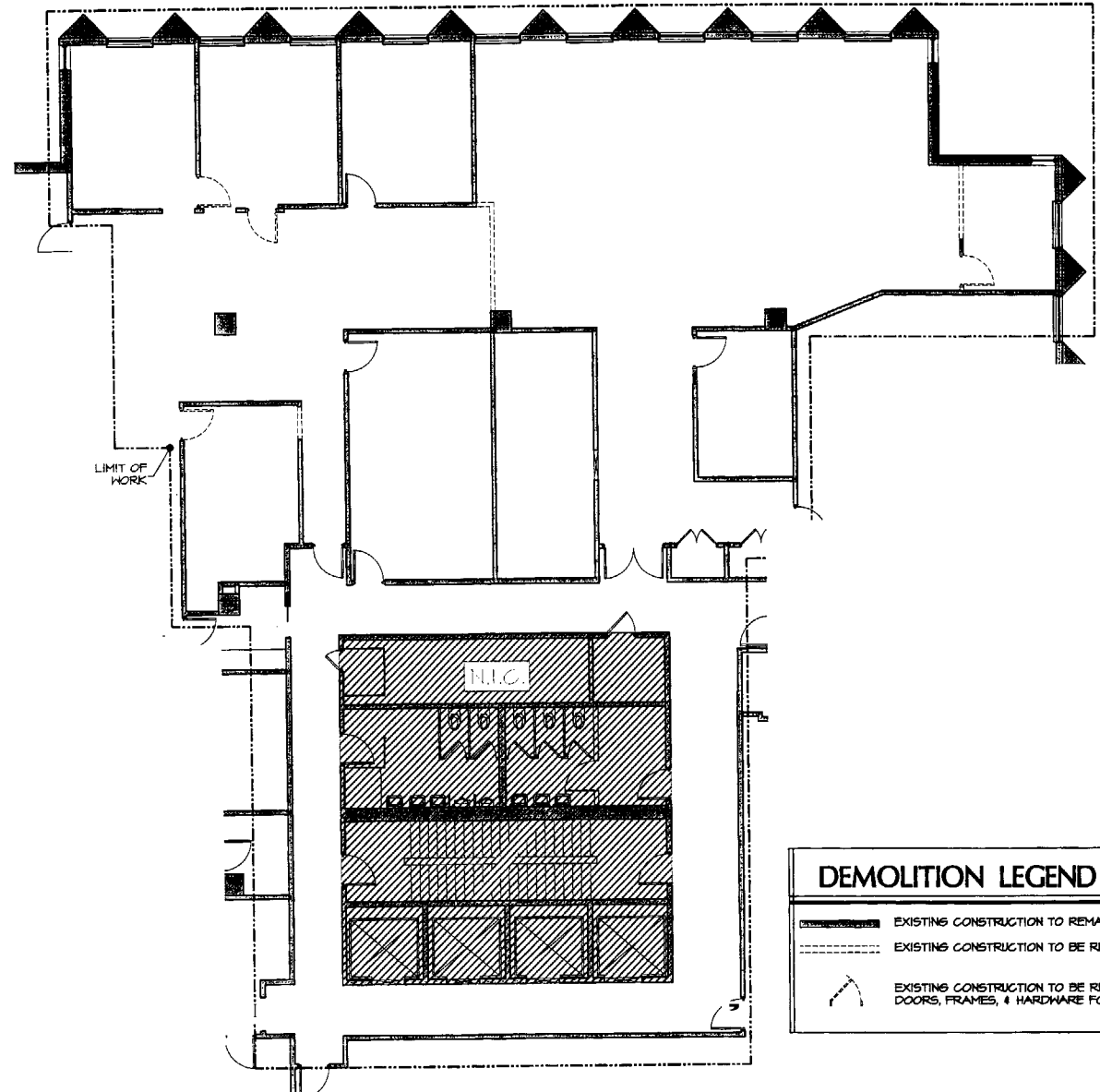
OWNER

REFLECTED CEILING PLAN AND DETAILS
SCALE AS NOTED

Cubellis Associates Inc.
Architects
428 Fore Street, 3rd Fl.
Portland, ME 04103
Tel: 207-487-2777
Fax: 207-487-2777
www.cubellis.com

DATE 04/14/06
DRAWN BY JAT
CHECKED BY
A401
02047PT

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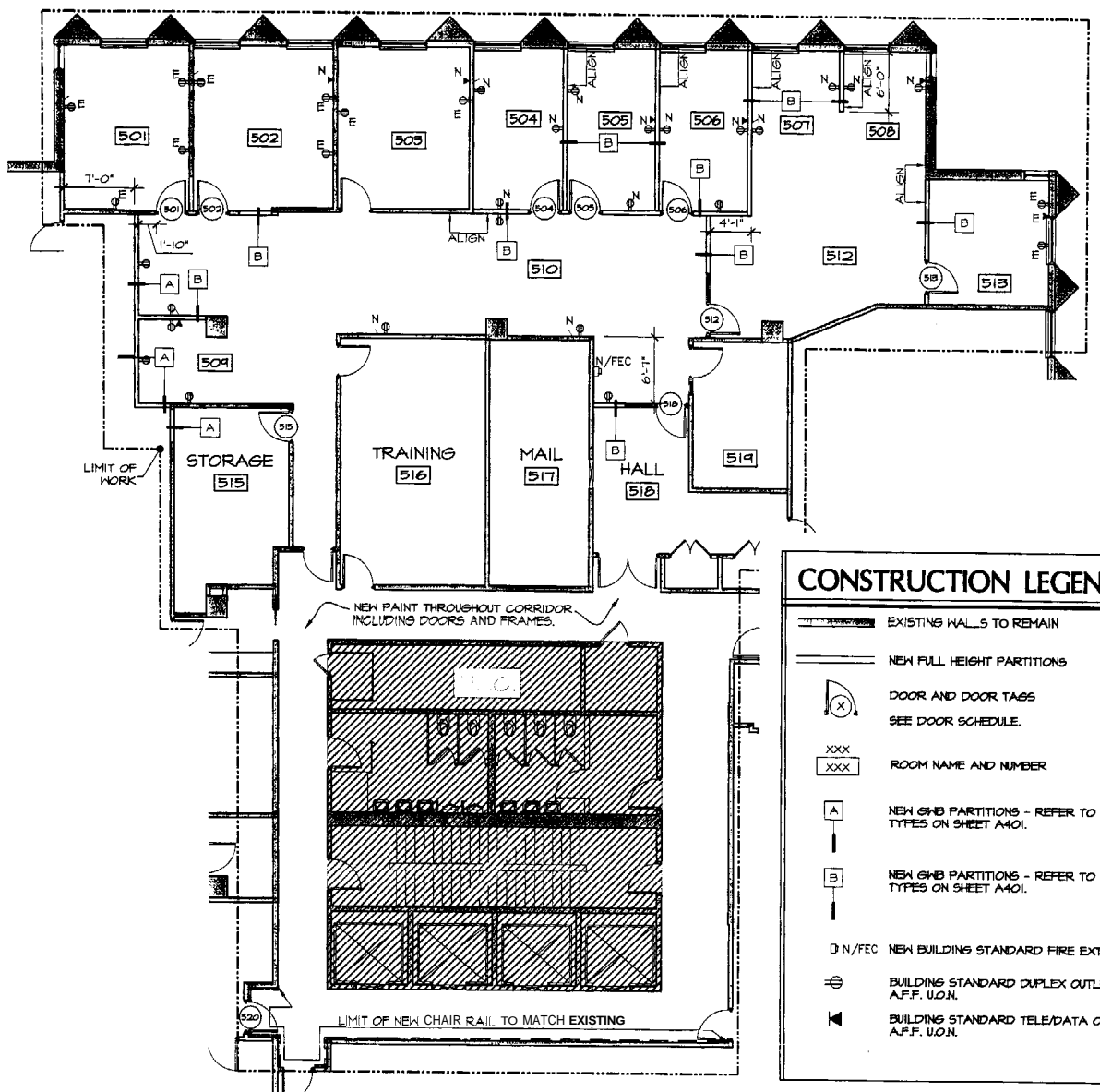
DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO BE REMOVED - SAVE DOORS, FRAMES, & HARDWARE FOR RE-USE.

B2 DEMOLITION PLAN
1/8" = 1'-0"

DOOR SCHEDULE

NUM	DOOR				FRAME		HARDWARE			DETAILS			NOTES
	WD	HGT	THK	MATL	TYPE	GLASS	MATL	TYPE	SET NO	HEAD	JAMB	SILL	
501	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	FIRE-RATING	---	C3/A401	C2/A401	MATCH FLOOR STANDARD REUSE EXISTING FROM DEMO
502	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD REUSE EXISTING FROM DEMO
504	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD
505	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD
506	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD
512	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD REUSE EXISTING FROM DEMO
513	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD
515	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD
518	3'-0"	7'-0"	1 3/4"	WD	F	---	HM	1	---	---	C3/A401	C2/A401	MATCH FLOOR STANDARD
520	3'-0"	7'-0"	1 3/4"	WD	FG	TEMP	WD	1	1 HR	REUSE	C3/A401	C2/A401	MATCH FLOOR STANDARD



CONSTRUCTION LEGEND

- EXISTING HALLS TO REMAIN
- NEW FULL HEIGHT PARTITIONS
- DOOR AND DOOR TAGS
SEE DOOR SCHEDULE.
- ROOM NAME AND NUMBER
- NEW GIB PARTITIONS - REFER TO AS PARTITION TYPES ON SHEET A401.
- NEW GIB PARTITIONS - REFER TO AS PARTITION TYPES ON SHEET A401.
- NEW BUILDING STANDARD FIRE EXTINGUISHER
- BUILDING STANDARD DUPLEX OUTLET AT 1'-6" A.F.F. U.O.N.
- BUILDING STANDARD TELE/DATA OUTLET AT 1'-6" A.F.F. U.O.N.

B1 FLOOR PLAN
1/8" = 1'-0"

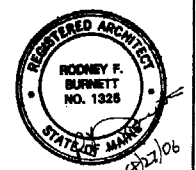
FINISH SCHEDULE

NO.	MATERIAL	MANUFACTURER	MFR. NUMBER/STYLE	COLOR	REMARKS/LOCATION
WALL FINISHES					
P-1	PAINT	BENJAMIN MOORE	OC-40	ALBESCENT	THROUGHOUT LIMIT OF WORK U.O.N.
P-2	PAINT	BENJAMIN MOORE	HC-81	MANCHESTER TAN	BELOW CHAIR RAIL, IN CORRIDOR, IIM DOOR FRAMES & DOORS THROUGHOUT U.O.N.
WOOD FINISHES					
W-1	WOOD	---	---	MATCH STANDARD	CHAIR RAIL IN ELEVATOR LOBBY & PAC. NEW DOOR
BASE					
B-1	VINYL	JOHNSONITE	---	---	TO MATCH EXISTING THROUGHOUT LIMIT OF WORK AS REQUIRED
FLOOR COVERINGS					
OPT-1	CARPET	---	---	---	TO MATCH EXISTING THROUGHOUT LIMIT OF WORK AS REQUIRED TO REPLACE MISTING GREEN IN PAC. SPACE
CEILING TILE					
CT-1	ACOUSTICAL	ARMSTRONG	---	WHITE	TO MATCH EXISTING THROUGHOUT LIMIT OF WORK AS REQUIRED
CT-2	ACOUSTICAL	ARMSTRONG	---	WHITE	ELEVATOR LOBBY: TO MATCH NEW 2X2 STANDARD IN ELEV. LOBBIES ABOVE

NOTES:

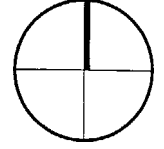
WINDOW BUNDS TO BE PRICED AS PIERCE ATWOOD/BUILDING STANDARD AS NEEDED
 LOCK-SETS TO BE COORDINATED W/ OWNER
 STENCIL ON GLASS - PIERCE ATWOOD CONSULTING DOOR 543. COORDINATE W/ OWNER

A3 FINISH SCHEDULE
NA



NO.	DATE	REVISIONS
1	4/27/06	ISSUED FOR REVIEW
2	4/28/06	ISSUED FOR BIDDING

PROJECT NORTH



PIERCE ATWOOD
ONE MONUMENT SQUARE
5TH FLOOR RENOVATION

OWNER

TITLE
FLOOR PLAN AND SCHEDULES

SCALE
AS NOTED

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Architects Interiors Engineering
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Portland, ME 04101
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CREATED BY: JAT
CHECKED BY: JAT
DATE: 04/14/06

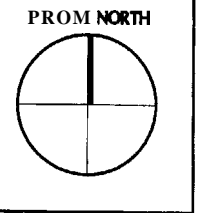
A101

02047PT

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NO.	DATE	REVISIONS
1	4/14/06	ISSUED FOR REVIEW
2	4/28/06	ISSUED FOR PERMITS



PIERCE ATWOOD
 ONE MONUMENT SQUARE
 5TH FLOOR RENOVATION

OWNER

TITLE
REFLECTED CEILING PLAN AND DETAILS

SCALE
 AS NOTED

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 Architecture Interiors Engineering
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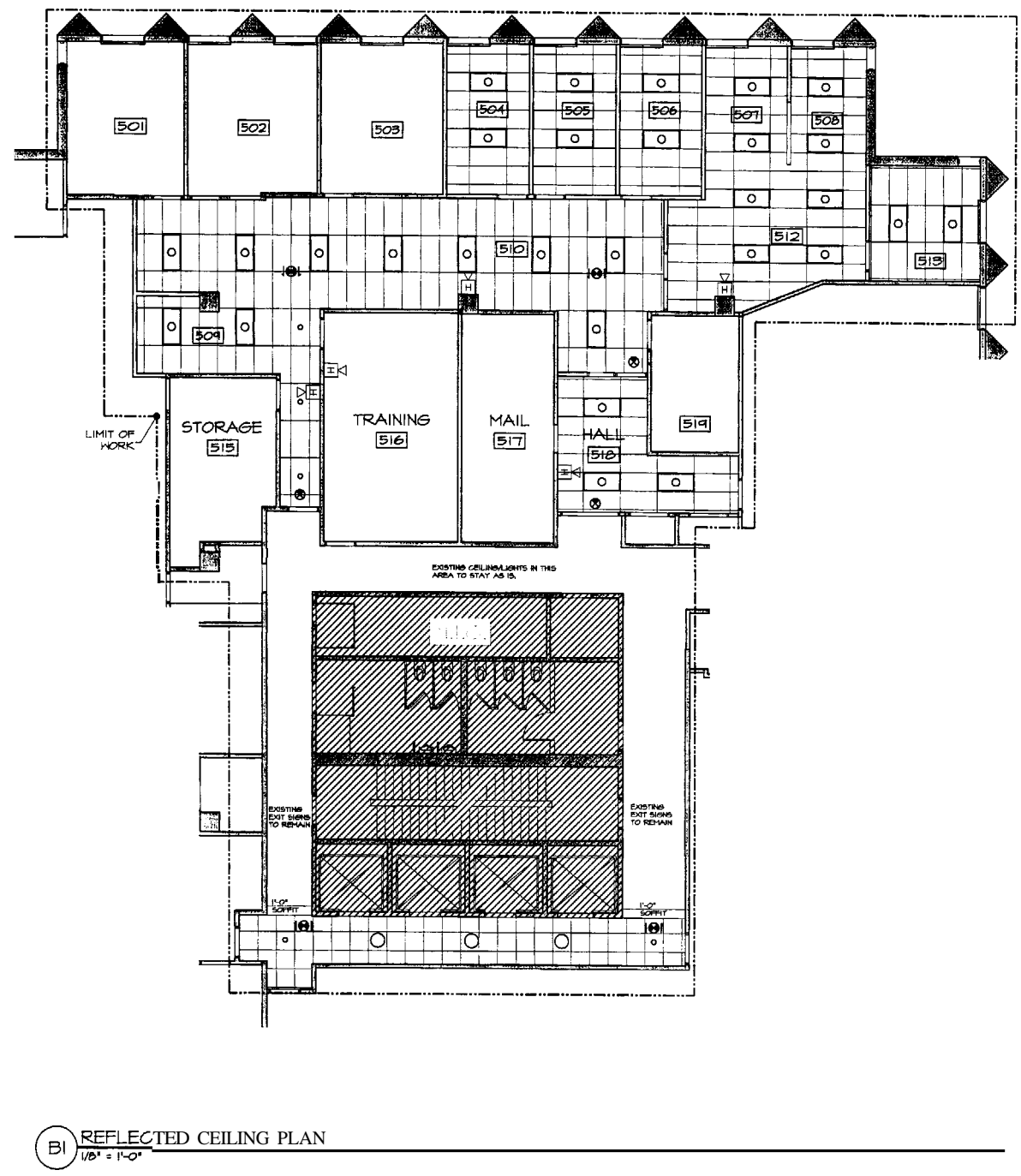
DATE
 04/14/06

CHECKED BY
 JAT

DRAWN BY
 JAT

A401

02047PT



LIGHT FIXTURE SCHEDULE

NO.	MATERIAL	MANUFACTURER	STYLE	
1	2X4	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	REUSE EXISTING WHEN NMR POSSIBLE
2	2X4 / EMERGENCY SIGN	MATCH BUILDING STANDARD	MATCH BUILDING STANDARD	REUSE EXISTING WHEN NMR POSSIBLE
3	RECESSED PENDANT LIGHT	SHAPER	499 SERIES	TO MATCH ELEV. LOBBIES ABOVE
4	DOWN LIGHT	WITCH BUILDING STANDARD	MATCH BUILDING STANDARD	
5	2X2	COOPER	METALUX 2RDI	

REFLECTED CEILING NOTES

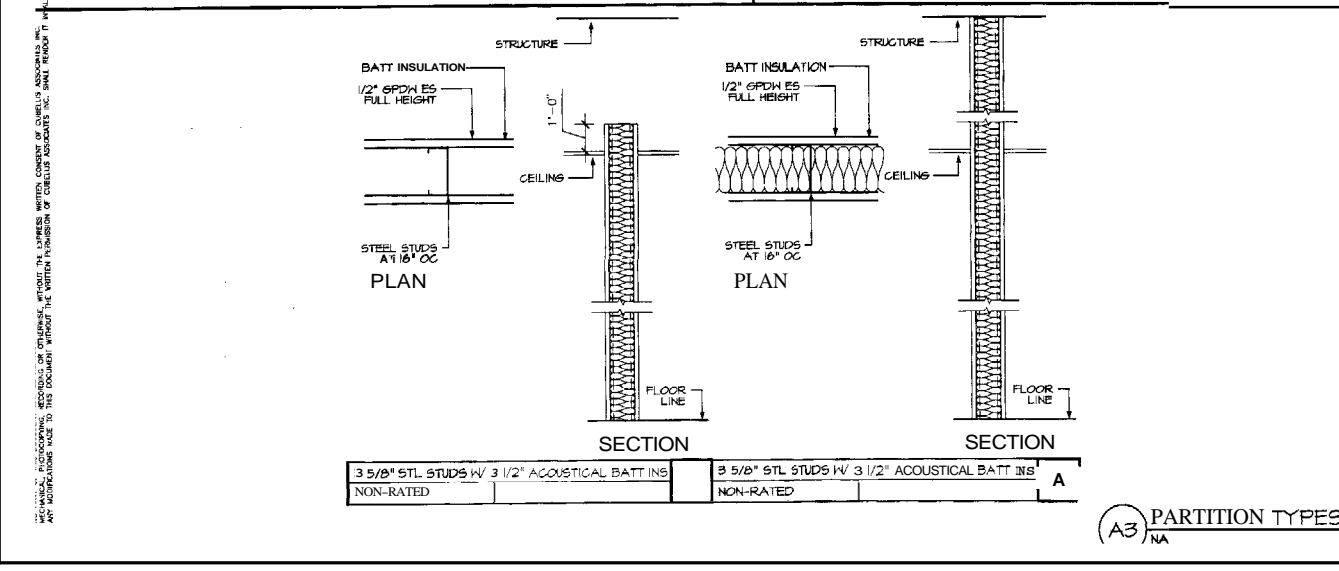
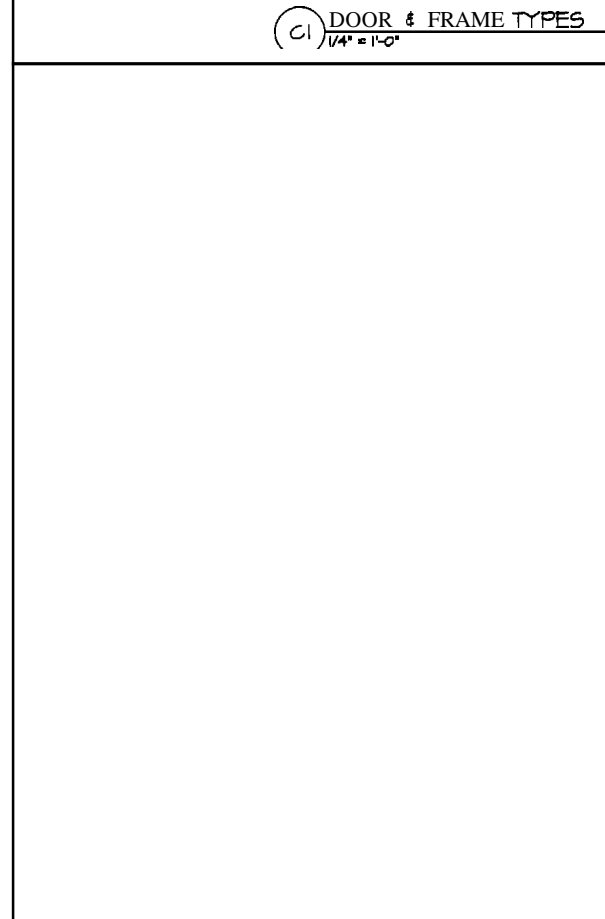
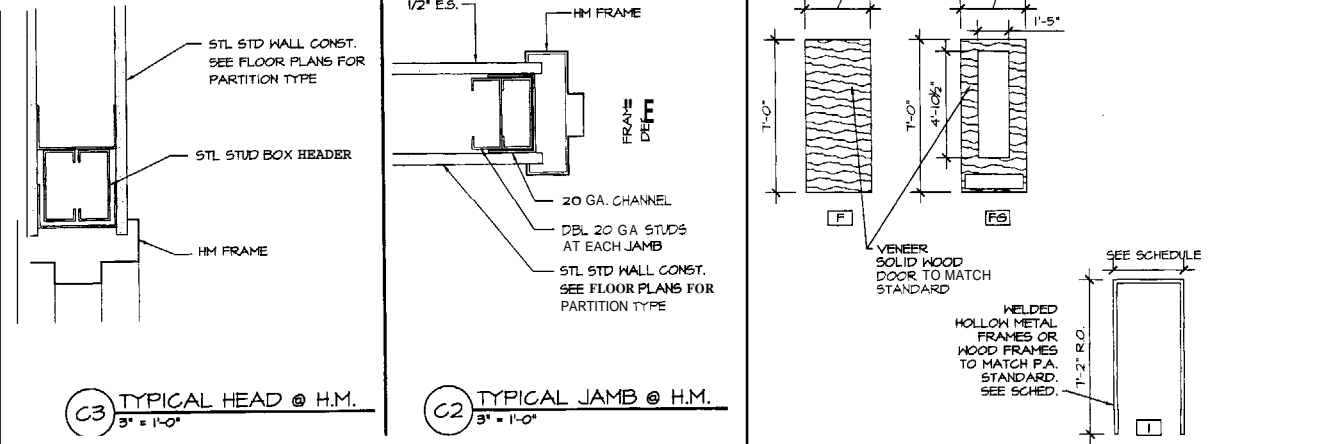
- THIS PLAN IS FOR CEILING FIXTURE LOCATIONS ONLY. REFER TO MEP ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW SPRINKLER HEMS, LIGHT FIXTURES, DIFFUSERS AND ANY CEILING MOUNTED ITEMS SHALL BE COORDINATED WITH MEP ENGINEERING DRAWINGS.
- A U SUSPENDED CEILING HEIGHTS TO MATCH MISTING A.F.F.
- ELECTRICAL DESIGN BUILD CONTRACTOR TO PROVIDE NEW LIFE/SAFETY DEVICES WHERE NECESSARY.
- ELECTRICAL DESIGN BUILD CONTRACTOR TO VERIFY MISTING LIFE/SAFETY DEVICES AND PROVIDE NEW WHERE SHOWN ON PLAN IF NONE ARE EXISTING IN PROXIMITY.
- ELECTRICAL DESIGN BUILD CONTRACTOR TO PROVIDE EMERGENCY LIGHTS AS REQUIRED BY CODE.

(A2) LIGHT FIXTURE SCHEDULE
 NA

REFLECTED CEILING LEGEND

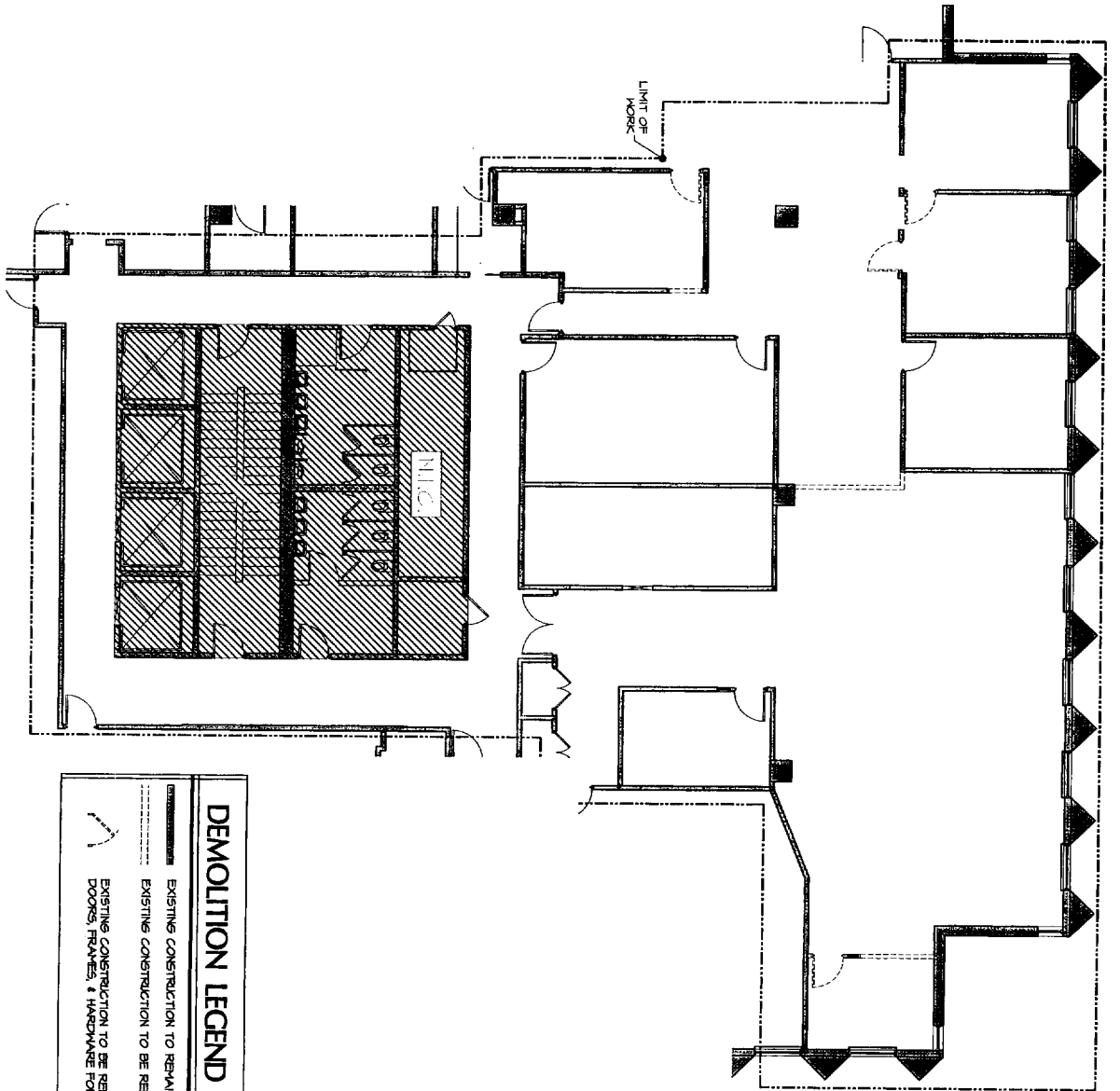
A		2x4 FLUORESCENT LIGHT FIXTURE
B		NOT USED
C		CEILING MOUNTED EXIT SIGN
D		SHAPER 499 SERIES RECESSED PENDANT
E		BUILDING STANDARD DOWN LIGHT
		FIRE STROBE

(A1) REFLECTED CEILING LEGEND
 NA



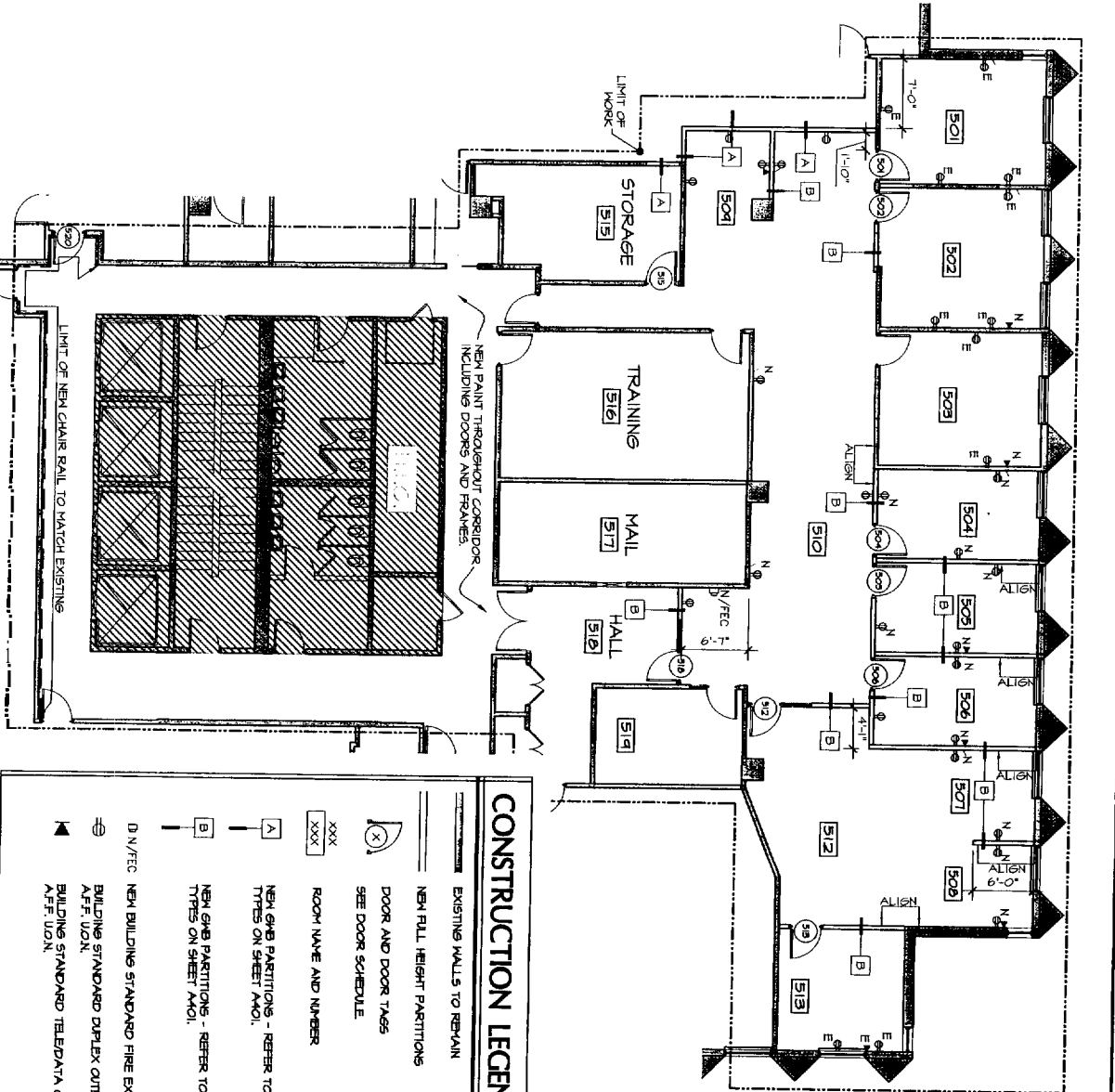
7
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B2 DEMOLITION PLAN
1/8" = 1'-0"

NUM	WD	HT	TRK	MATT	TYPE	GLASS	MATT	TYPE	FRAME	FIRE RATING	HARDWARE SET NO.	HEAD	JAMB	SILL	NOTES
501	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
502	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
503	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
504	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
505	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
506	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
507	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
508	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
509	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
510	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
511	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
512	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
513	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
514	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
515	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
516	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
517	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
518	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
519	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD
520	3'-0"	7'-0"	1 1/2"	---	---	---	---	---	HM	---	---	C3/A401	C2/A401	---	MATCH FLOOR STANDARD



B1 FLOOR PLAN
1/8" = 1'-0"

NO.	MATERIAL	MANUFACTURER	MFR. NUMBER/STYLE	COLOR	REMARKS/LOCATION
W-1	WOOD	---	---	---	---
B-1	VINYL	JOHNSONITE	---	---	---
F-1	FLOOR COVERINGS	---	---	---	---
C-1	CEILING TILE	---	---	---	---
A-1	ACUSTICAL	---	---	---	---

FINISH SCHEDULE

NO.	MATERIAL	MANUFACTURER	MFR. NUMBER/STYLE	COLOR	REMARKS/LOCATION
P-1	PAINT	BENJAMIN MOORE	OC-40	ALBESCENT	THROUGHOUT LIMIT OF WORK U.O.N.
P-2	PAINT	BENJAMIN MOORE	HC-81	MANCHESTER TAN	BELOW CHAIR RAIL IN CORRIDOR, HM DOOR FRAMES & DOORS THROUGHOUT U.O.N.
W-1	WOOD	---	---	---	---
B-1	VINYL	JOHNSONITE	---	---	---
F-1	FLOOR COVERINGS	---	---	---	---
C-1	CEILING TILE	---	---	---	---
A-1	ACUSTICAL	---	---	---	---

NOTES:

WINDOW BLINDS TO BE PRICED AS PIERCE ATWOOD/BUILDING STANDARD AS NEEDED
 LOCK SETS TO BE COORDINATED W/ OWNER
 STENCIL ON GLASS © PIERCE ATWOOD CONSULTING DOOR 543. COORDINATE W/ OWNER

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DATE: 04/14/06
 DRAWN BY: JAT
 CHECKED BY: JAT

TITLE: FLOOR PLAN AND SCHEDULES
 SCALE: AS NOTED
 OWNER: PIERCE ATWOOD
 ONE MONUMENT SQUARE
 5TH FLOOR RENOVATION

PROJECT NORTH

NO. DATE REVISIONS
 1 4/14/06 ISSUED FOR REVIEW
 2 4/28/06 ISSUED FOR PRICING

REGISTERED ARCHITECT
 ROBERT F. BARNETT
 NO. 1328
 STATE OF MAINE

02047PT

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ISSUE/REVISION DATE LIST OF DRAWINGS

1	04/14/06	T001	TITLE SHEET
		A101	FLOOR PLAN & DEMOLITION PLAN
		A401	REFLECTED CEILING PLAN AND DETAILS
2	04/18/06	T001	TITLE SHEET
		A101	FLOOR PLAN & DEMOLITION PLAN
		A401	REFLECTED CEILING PLAN AND DETAILS

ISSUE HISTORY

1	04/14/06	- ISSUED FOR REVIEW
2	04/18/06	- ISSUED FOR PRICING

PROJECT SCOPE OF WORK:

THIS PROJECT CONSISTS OF TENANT IMPROVEMENT OF AN EXISTING OFFICE SITE NEW RILL HEIGHT PARTITIONS TO BE CONSTRUCTED. THE SPACE WILL RECEIVE NEW CARPET AND BASE, NEW PAINT, WALLCOVERING FINISHES AND MILLWORK.

CODE SUMMARY

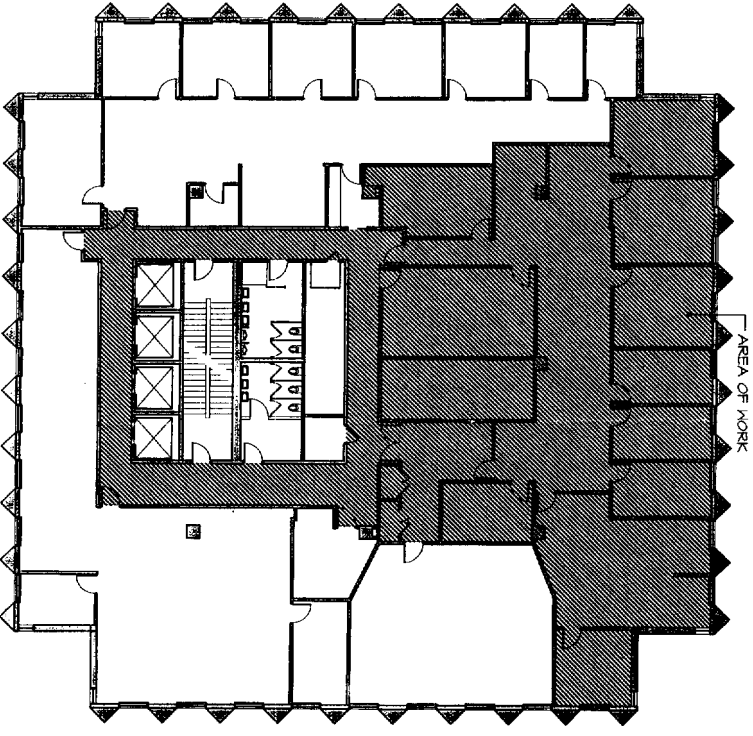
- INTERNATIONAL BUILDING CODE, 2003 EDITION
- 1. USE GROUP, B-BUSINESS (EXISTING, UNCHANGED)
- SCOPE FOR THIS PROJECT IS RENOVATION OF TENANT OFFICE SPACE FLOOR AREA FOR THIS TENANT, 3500 SF
- 2. CONSTRUCTION TYPE, 2A PROTECTED EXISTING (UNCHANGED)
- 4. THE EXISTING BUILDING AND SITE IS FULLY SPRINKLERED
- 5. THE RESISTANCE RATINGS FROM TABLE 601

TENANT SEPARATION	REQUIRED	PROVIDED
	0	0

- 6. OCCUPANT LOAD FROM TABLE 1004.1.2
- TENANT SPACE, 3500 SF FOR BUSINESS OCCUPANCY = 31 OCCUPANTS
- 1. EGRESS

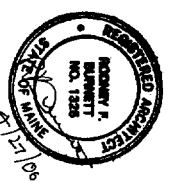
NUMBER OF EXITS FROM FLOOR	REQUIRED	PROVIDED
2 MIN.		2
NUMBER OF EXITS FROM TENANT SPACE		2
LENGTH OF EXIT ACCESS TRAVEL	250 FT.	65 FT.

PIERCE ATWOOD
INTERIOR OFFICE FIT-UP
ONE MONUMENT SQUARE, 5TH FLOOR
PORTLAND, ME

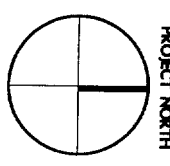


GENERAL NOTES

1. ALL WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE SHALL BE THE BASIS FOR ALL DIMENSIONS IN ALL CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK IS STARTED AND ALL PLAN CHANGES ISSUED AFTER EXECUTION OF THE CONTRACT. ALL REVISIONS SHALL BE MADE IN WRITING AND SHALL BE APPROVED BY THE ARCHITECT AND THE OWNER.
2. THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS & SPECIFICATIONS GENERAL CONDITIONS OF THE CONTRACT AND ALL ADDENDUMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT.
3. UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR THE EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT DEFINED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.
4. CONTRACTOR SHALL SUBMIT AND MAINTAIN AN UPDATED AND DETAILED PROJECT SCHEDULE IN CONFORMANCE WITH THE SCHEDULE OF WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT.
5. ANY DAMAGE TO EXISTING WORK WHICH IS NOT SCHEDULED FOR REMOVAL OR REPAIR, IF CAUSED BY THE CONTRACTOR'S OPERATIONS UNDER THIS CONTRACT SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING AND OBTAINING ALL PERMITS, INSPECTIONS, REQUIRED TESTS AND UTILITY CONNECTIONS UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT PLACE.
8. ANY WORK INVOLVING ALTERATIONS TO EXISTING BUILDING UTILITIES, WHICH REQUIRE UTILITY SHUT DOWN, SHALL BE COORDINATED WITH THE OWNER AND SHALL REQUIRE A MINIMUM OF 60 DAYS NOTICE TO THE OWNER. SCHEDULED SHUT DOWNS WITH BUILDING OCCUPANTS.
9. IN THE EVENT OF DISCREPANCIES BETWEEN ANY DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR OR WORK RESTRICTIVE CONDITIONS SHALL BE DECIDED BY THE CONTRACTOR'S SUPERVISOR UNLESS OTHERWISE STATED IN WRITING FROM THE OWNER.
10. GENERAL CONTRACTOR SHALL WARRANT WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
11. VERIFY DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS, AND REPORT TO THE ARCHITECT AND OWNER DISCREPANCIES WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK. DO NOT SCALE THE DRAWINGS.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP THE PROJECT CLEAN OF DEBRIS, RUBBISH, EXCESS MATERIALS, ETC. RESULTING FROM THE WORK OF THIS CONTRACT. OFFICE AREAS SHALL BE KEPT CLEAN EACH WORK DAY.
13. CHANGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE HONORED UNLESS THE WORK AND THE AMOUNT ARE AGREED TO BY THE OWNER IN WRITING BEFORE THE WORK IS DONE BASED UPON UNIT PRICING.
14. AS REQUIRED BY CODE EACH CONTRACTOR AND EACH SUBCONTRACTOR SHALL OBTAIN REQUIRED INSPECTION OF THAT PORTION OF WORK.
15. ALL FIRE-RATED ASSEMBLIES SHALL BE INSTALLED, LABELED, AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE.
16. GENERAL CONTRACTOR SHALL PROVIDE PERMANENT FIRE EXTINGUISHERS AS DICTATED BY STATE AND LOCAL BUILDING AND SAFETY CODES.
17. ALL DIMENSIONS ARE TO THE FACE OF DETAIL OR MASONRY UNLESS NOTED OTHERWISE.
18. REFER TO/COORDINATE LANDLORD BUILDING STANDARDS REQUIREMENTS
19. QUALITY CONTROL
20. A SITE MEETING CONTRACTOR TO CONDUCT MEETINGS AND WRITE MEETING MINUTES AT REGULAR INTERVALS AS DIRECTED BY OWNER. CONTRACTOR AND ALL SUB CONTRACTORS MUST BE PRESENT UNLESS EXCEPT AS NOTED OTHERWISE. AS WORK PROGRESS REQUIREMENTS ARE INDICATED ON THESE DRAWINGS AND IN THESE NOTES CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT.
21. SUBMIT SAMPLES, SHOP DRAWINGS, DATA SHEETS AND SCHEDULES FOR ARCHITECT REVIEW AND APPROVAL FOR THE FOLLOWING:
 - A. FINISH MATERIALS
 - B. CEILING SYSTEMS
 - C. CEILING FIXTURES AND HARDWARE
 - D. LIGHT FIXTURES, ELECTRICAL EQUIPMENT
 - E. MILLWORK
 - F. PLUMBING FIXTURES
 - G. MECHANICAL EQUIPMENT
 - H. FIRE PROTECTION EQUIPMENT
22. CLOSE-OUT
23. CONTRACTOR TO PROVIDE TO OWNER THREE (3) SETS OF THE FOLLOWING CLOSE-OUT DOCUMENTS IN THREE (3) RING BINDERS:
 - MARRANTIES
 - FINAL INVENTORY OF LIEN
 - OPERATIONS & MAINTENANCE MANUALS (INCLUDING ARCHITECTURAL ELEMENTS I.E. SPECIAL LIGHT FIXTURES, SHOP DRAWINGS, ETC.)
 - LETTERS OF WARRANTIES FROM SUB CONTRACTORS
 - RECORD DRAWINGS (INCLUDING CONTRACTOR'S RECORDS)
 - LIST OF CONTRACTS OF ALL SUB CONTRACTORS & SO
 - LETTER OF WARRANTIES FROM SC
 - FINAL APPLICATION FOR PAYMENT
 - FIN BALANCING REPORTS
 - FINAL SCHEDULE OF VALUES
 - FINAL RINCH LIST
24. NEP & FIRE PROTECTION TO BE PROVIDED ON A DESIGN BUILD BASIS BY CONTRACTOR.
25. MECHANICAL CONTRACTOR TO RE-BALANCE SYSTEM AT COMPLETION OF WORK.
26. NEP DESIGN BUILD SCORE OF WORK SHALL MEET ALL APPLICABLE STATE & CITY CODE REQUIREMENTS.
27. PRIOR TO CLOSING ANY WALLS OR CEILING, ALL SYSTEMS (HVAC, PLUMBING, ELECTRICAL) SHALL BE INSPECTED AND WHERE REQUIRED, TESTING BY CONTRACTORS ENGINEERS AND BY PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
28. THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FIXTURE, RECEPTACLE OR BALL IN OR OBJECT UP UNTIL THE TIME THE ARCHITECT APPROVES THE WALLS OR CEILING TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO INSPECTOR'S APPROVAL, SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
29. AT NEP CONSTRUCTION PROVIDE ONE PRIMER COAT AND TWO TOP COATS OF PAINT WITH COLOR AND FINISH TO MATCH ADJACENT SERVICES. PROVIDE VINYL WALL BASE TO MATCH BUILDING STANDARDS SPECIFICATIONS.
30. FINISH TO MATCH ADJACENT SERVICES. PROVIDE VINYL WALL BASE TO MATCH BUILDING STANDARDS SPECIFICATIONS.



NO	DATE	REVISIONS
1	4/14/06	ISSUED FOR REVIEW
2	4/18/06	ISSUED FOR PRICING



PIERCE ATWOOD
 ONE MONUMENT SQUARE
 5TH FLOOR RENOVATION

OWNER

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DATE: 04/14/06
 DRAWN BY: JAT
 CHECKED BY:

TITLE: TITLE SHEET
 SCALE: N/A

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