

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK **CITY OF PORTLAND**

## **BUILDING INSPECTION** **PERMIT**

Please Read  
Application And  
Notes, If Any,  
Attached

<p><b>PERMIT ISSUED</b></p> <p>Permit Number: 051419</p> <p>OCT 25 2005</p> <p><b>CITY OF PORTLAND</b></p>
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This is to certify that Finard Murray W Tr/Finard Company  
has permission to Installation of emergency generator pit elevation recall

AT 1 Monument Sq 032 K012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise used-in. HOURS NOT REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Capt. Greg Cox 10-11-05 PFD

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Chris Cummins* 10/25/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	05-1419	Issue Date:	03/24/05	LCBL:	032 KO 2001
Location of Construction:	1 Monument Sq	Owner Name:	Finard Murray W Tr	Owner Address:	One Monument Square Suite 200
Business Name:		Contractor Name:	Finard & Company	Contractor Address:	One Monument Square Portland
Lessee/Buyer's Name		Phone:		Permit Type:	Alterations - Commercial
				Zone:	B3

Past Use:	Office Space	Proposed Use:	Office Space	Permit Fee:	\$1,191.00	Cost of Work:	\$130,000.00	CEO District:	1
Proposed Project Description: Installation of emergency generator pit for elevator recall				FIRE DEPT:		INSPECTION:			
				<input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>with conditions</i>		Use Group: <i>U</i> Type: <i>N/A</i> <i>10/24/05</i> <i>Chadley</i>			
				Signature: <i>Craig</i>		Signature: <i>Chadley</i>			
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)					
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied					
				Signature: _____ Date: _____					

Permit Taken By:	gad	Date Applied For:	08/31/2005	<b>Zoning Approval</b>					
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..				Special Zone or Reviews		Zoning Appeal		Historic Preservation	
				<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>exemption granted</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>9/10/05</i>		<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____		<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Ben</i> Date: _____	

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
05-1419	08/31/2005	032 K012001

Location of Construction: 1 Monument Sq	Owner Name: Finard Murray W Tr	Owner Address: One Monument Square Suite 200	Phone: ( ) 772-2257
Business Name:	Contractor Name: Finard & Company	Contractor Address: One Monument Square Portland	Phone: (207) 772-2257
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Office Space	Proposed Project Description: Installation of emergency generator pit for elevator recall
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 10/05/2005**Note:**      **Ok to Issue:** ☒

- 1) All sound generating from this machinery shall meet the maximum noise level requirements outlined within the B-3 Business Zone. The noise/sound levels shall not exceed fifty-five (55) decibels on the A scale between the hours of 9:00 p.m. And 7:00 am, and sixty (60) decibels on the A scale between 7:00 am and 9:00 pm at the boundaries of any lot nor within publicly accessible pedestrian open space except for sounds relating to temporary activities or emergency activities.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Mike Nugent      **Approval Date:** 10/24/2005**Note:**      **Ok to Issue:** ☒**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Cptn Greg Cass      **Approval Date:** 10/11/2005**Note:**      **Ok to Issue:** ☒

- 1) Fire alarm system required.
- 2) Generator room to be separated by 1 hour rated construction.  
Or  
An automatic sprinkler system in a smoke proof enclosure.

**Comments:**

10/13/2005-mjn: left message w/ applicant re Right/Title and Interest. Manager confirmed that the installation is on their property

# All Purpose Building Permit Application

Property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>One Monument Square</u>		
Total Square Footage of Proposed Structure <u>10' x 15'</u>	Square Footage of Lot <u>15,520 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>32-K-12</u> Block# Lot#	Owner: <u>Murry W. Finard Trust</u>	Telephone: <u>207-772-2257</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Finard &amp; Company Construction</u> <u>One Monument Square</u> <u>Portland, Maine 04101</u>	Cost Of Work: \$ <u>130,000</u> Fee: \$ <u>1,200</u>
Current use: <u>Office space</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>emergency generator pit</u>		
Project description: <u>emergency generator pit &amp; generator for elevator recall</u>		
Contractor's name, address & telephone: <u>Finard &amp; Company Construction</u> <u>One Monument Square, Portland, ME</u> <u>207-772-2252</u>		
Who should we contact when the permit is ready: <u>Patti Hinckley</u>		
Mailing address: <u>c/o Finard &amp; Company</u> <u>One Monument Square</u> <u>Portland, Maine 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-772-2257</u> .		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of the jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

<u>Patti Hinckley</u> Agent	Date: <u>9/29/05</u>
may not commence ANY work until the permit is issued. You may be subject to additional permitting and fees with the Department on the 4th floor of City Hall	
AUG 31 2005 RECEIVED	

**FINARD & COMPANY**

PATTI A. HINCKLEY  
Senior Property Manager

FINARD & COMPANY, LLC  
ONE MONUMENT SQUARE ■ SUITE 200 ■ PORTLAND, ME 04101  
TEL: (207) 772-2257 ■ FAX: (207) 773-9830 ■ www.finard.com

**Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon**

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ☒ Footing/Building Location Inspection: Prior to pouring concrete
- ☒ Re-Bar Schedule Inspection: Prior to pouring concrete
- ☒ Foundation Inspection: Prior to placing ANY backfill
- ☒ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ☒ Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

John If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

John G. Shuckley  
Signature of Applicant/Designee

5/25/05  
Date

[Signature]  
Signature of Inspections Official

25-0-05  
Date

CBL: 032K012

Building Permit #: 051419

04/07/09 CLEO 

FROM DESIGNER:

DATE:

Job Name:

Address of Construction:

CUBELLI'S ASSOCIATES

SEPT 28 '08

Tulard & CO GENERATOR

1 MONUMENT SQUARE

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year

IBC 2003

Use Group Classification(s)

B

Type of Construction

IB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC

✓

Is the Structure mixed use? NO if yes, separated or non separated (see Section 302.3)

Supervisory alarm system? Y Geotechnical/Soils report required? (See Section 1802.2)

NO

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members  
(1003.1, 1003.1.1)

N/A

Live load reduction  
(1603.1.1, 1607.9, 1607.10)

Roof live loads (1603.1.2, 1607.11)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS  
(1603)

Roof snow loads (7603.7.3, 1608)

N/A

Ground snow load,  $P_g$  (1608.2)

If  $P_g > 10$  psf, flat-roof snow load,  $P_f$   
(1608.3)

Uniformly distributed floor live loads (7603.11, 1607)

Floor Area Use

Loads Shown

If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
(Table 1608.3.1)

If  $P_g > 10$  psf, snow load importance  
factor,  $I_s$  (Table 1604.6)

Roof thermal factor,  $C_t$  (Table 1608.3.2)

Sloped roof snowload,  $P_s$  (1608.4)

Wind loads (1603.1.4, 1609)

N/A

Design option utilized (1609.1.1, 1609.6)

Basic wind speed (1609.3)

Building category and wind importance  
factor,  $I_w$  (Table 1604.5, 1609.5)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures  
(1609.1.1, 1609.6.2.2)

Main force wind pressures (7603.1.1,  
1609.6.2.1)

Seismic design category (1616.3)

Basic seismic-force-resisting system  
(Table 1617.6.2)

Response modification coefficient,  $R$ ,  
and deflection amplification factor,  $C_d$   
(Table 1617.6.2)

Analysis procedure (1616.6, 1617.5)

Design base shear (1617A, 1617.5.1)

Flood loads (1603.1.6, 1612)

Flood hazard area (1612.3)

Elevation of structure

Other loads

N/A

Concentrated loads (1607.4)

Partition loads (1607.5)

Impact loads (1607.8)

Misc. loads (Table 1607.6, 1607.6.1,  
1607.7, 1607.12, 1607.13, 1610,  
1611, 2404)

Earthquake design data (1609.1.5, 1614-1623)

Design option utilized (1614.1)

Seismic use group ("Category")  
(Table 1604.5, 1616.2)

Spectral response coefficients,  $S_{DS}$  &  
 $S_{D1}$  (1615.1)

Site class (1615.1.5)



CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

FROM: CUTELLIS ASSOCIATES

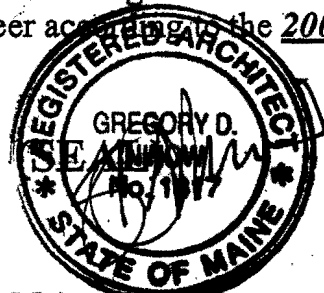
RE: Certificate of Design

DATE: SEPT 28 '05

These plans and / or specifications covering construction work on:

FINARD & CO. 1 MONUMENT SQUARE  
GRANDKATZ

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Signature: [Signature]  
Title: Principal  
Firm: Cutellis Assoc.  
Address: 428 FORE ST.  
PORTLAND ME





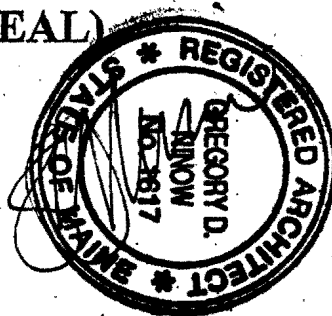
CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Room 315  
Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: GREGORY D. NINON  
Address of Project: 1 MONUMENT SQUARE  
Nature of Project: GENERATOR PIT  
\_\_\_\_\_  
\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature: *G. Ninon*  
Title: Principal  
Firm: Cubellis Assoc.  
Address: 420 FORE ST  
PORTLAND ME  
Phone: 874-2271

**NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.**



# APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

FINARD + CO.  
Applicant  
1 MONUMENT SQ floor #2.  
Applicant's Mailing Address  
PEREN WANNING V.P. FINARD + CO  
731-710-6146  
Consultant/Agent/Phone Number

6/28/05  
Application Date  
1 MONUMENT SQ.  
EMERGENCY GENERATOR  
Project Name/Description  
1 MONUMENT SQ.  
Address of Proposed Site

Description of Proposed Development:

EMERGENCY GENERATOR INSTALLATION FOR  
ELEVATOR RECALL.

CBL: 32-K-12

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Signage
- h) Adequate Utilities

Applicant's Assessment  
(Yes, No, N/A)

YES

NO

NO

YES

NO

NO

YES

YES

Planning Office  
Use Only

✓

✓

✓

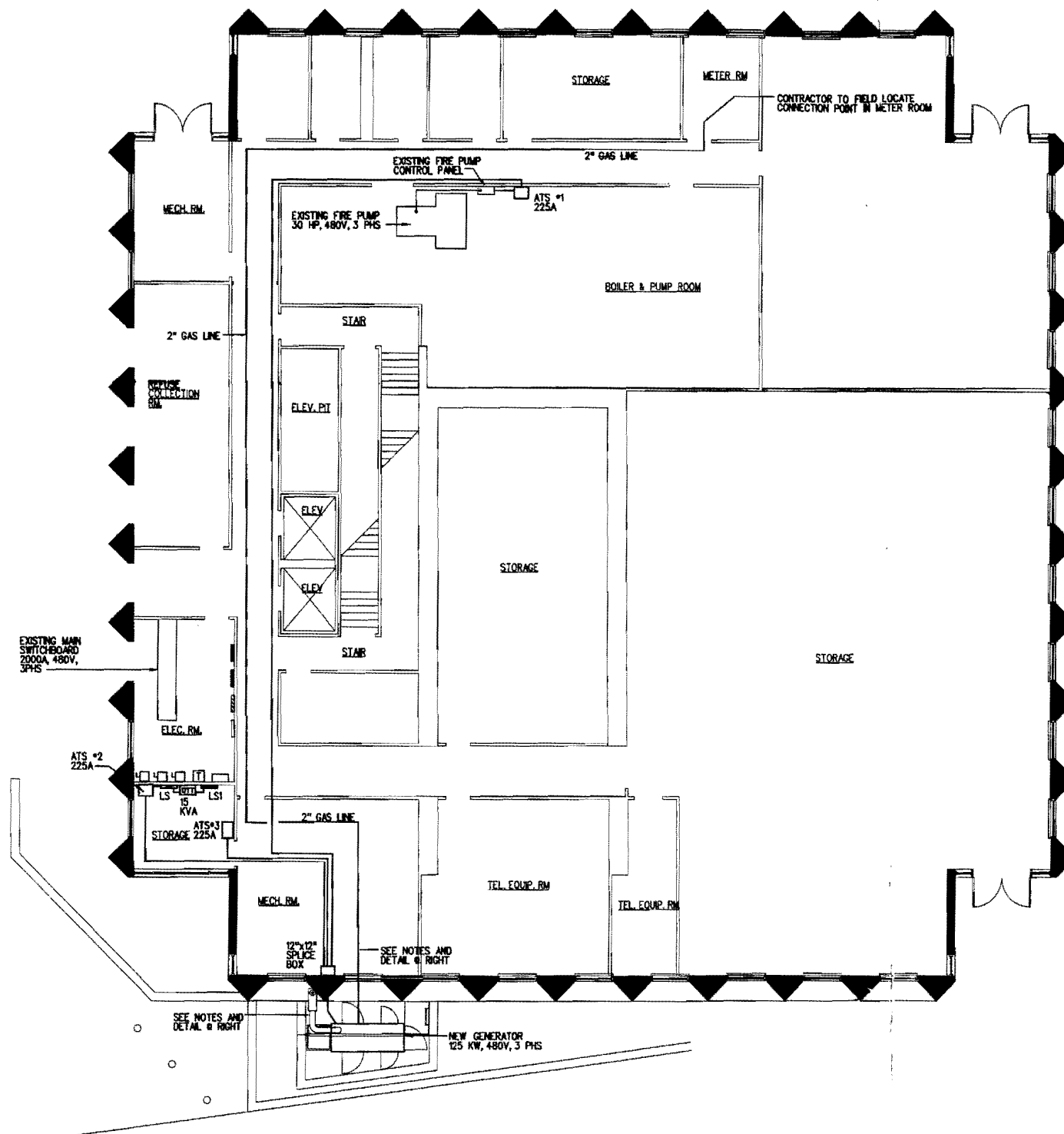
✓

✓

✓

✓

✓

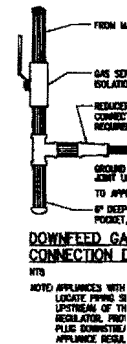


#### Gas Piping

- The Contractor shall install a gas regulator then
- All piping shall be installed in accordance with ASTM A-1977. Provide full size
- Gas valves shall be plug with petro
- All piping shall be
- Paint all piping

#### GENERATOR/EXHAUST

- Generator exhaust shall be carbon steel. Provide application to n
- Generator to be
- Extend exhaust to turn ninety deg



3/4\"C - 2\"12 UP TO ELEVATOR CONTROL PANEL @ SECURITY DESK

TO MAIN PANEL

REWORK EXISTING FEEDER

2 1/2\"C - 4\" & 1\"4 GND.

NC CONTACTS

ATS #3 225A

REWORK EXISTING FEEDER

EXISTING PANEL IN PENTHOUSE

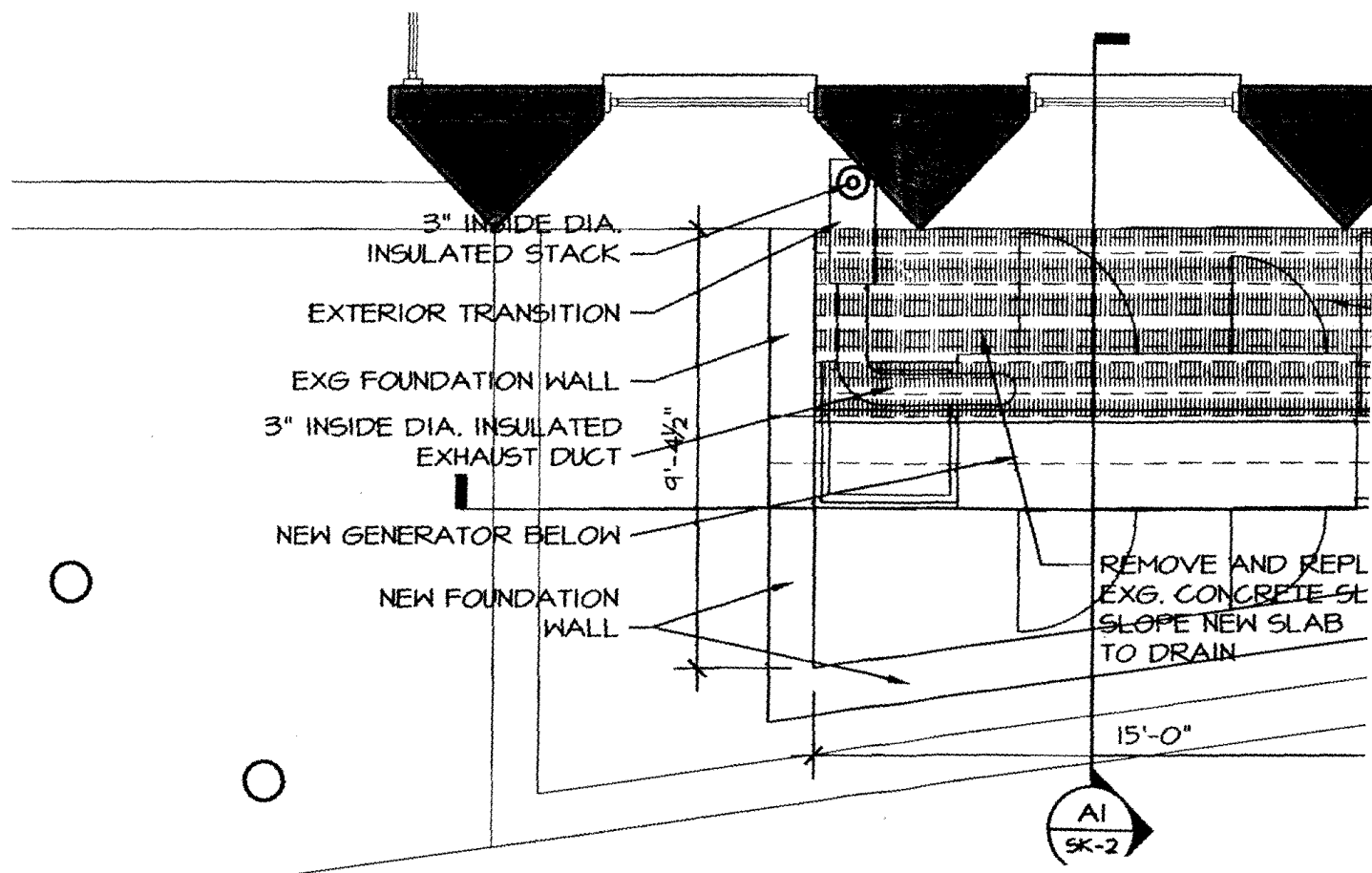
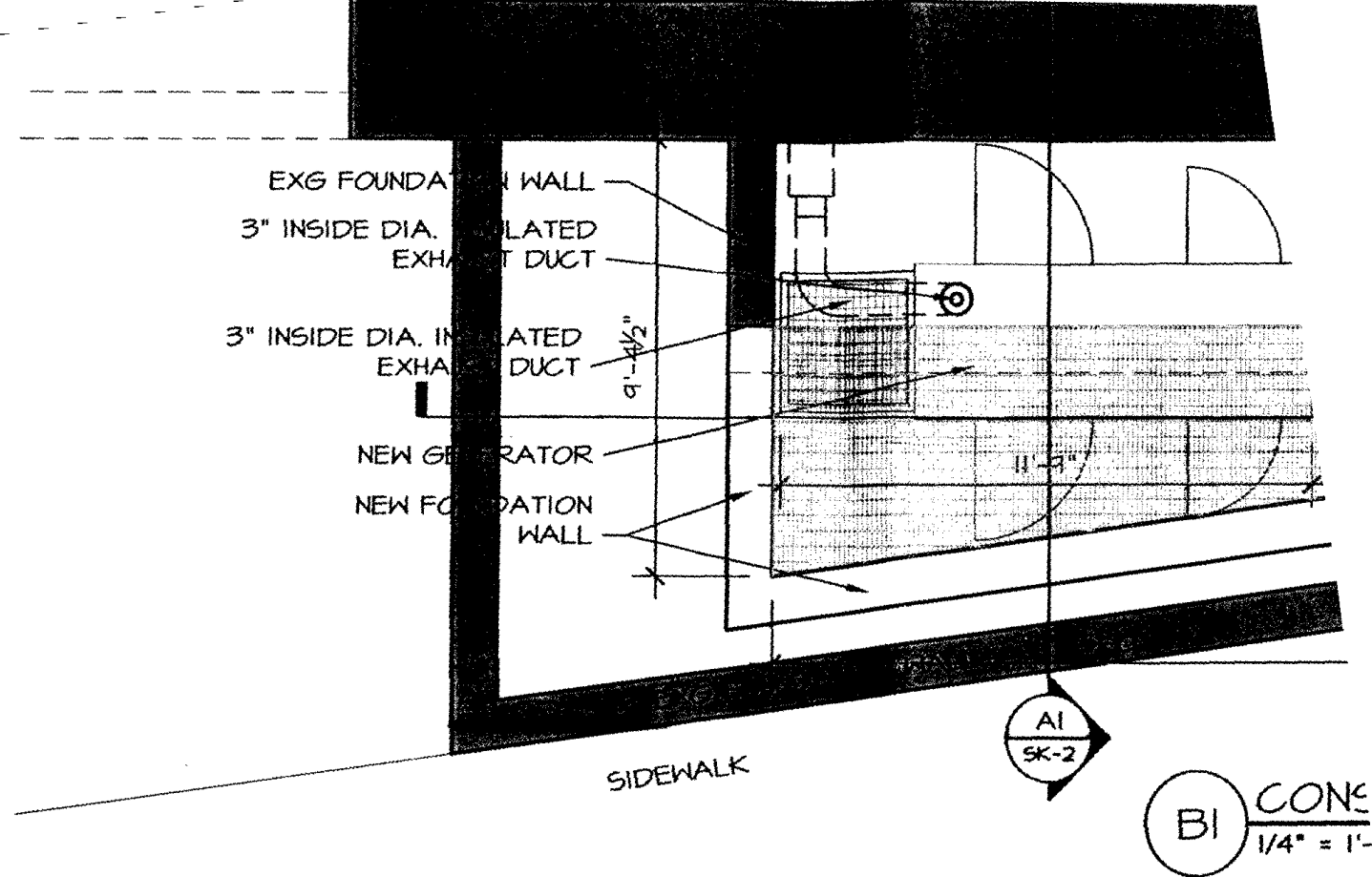
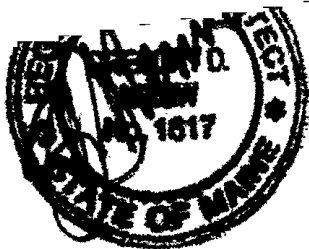
EXISTING ELEVATOR MACHINES IN PENTHOUSE

NOTE: OTIS ELEVATOR SHALL PROGRAM AND INSTALL CONTROL PANEL LOCATED AT SECURITY DESK AT MAIN EA LOBBY FOR ELEVATOR CONTROL SELECT MANUALLY OPERATED SELECTOR SWITCH ANY ONE OF THE FOUR ELEVATORS TO UNDER EMERGENCY POWER CONDITION

#### ELECTRICAL PLAN

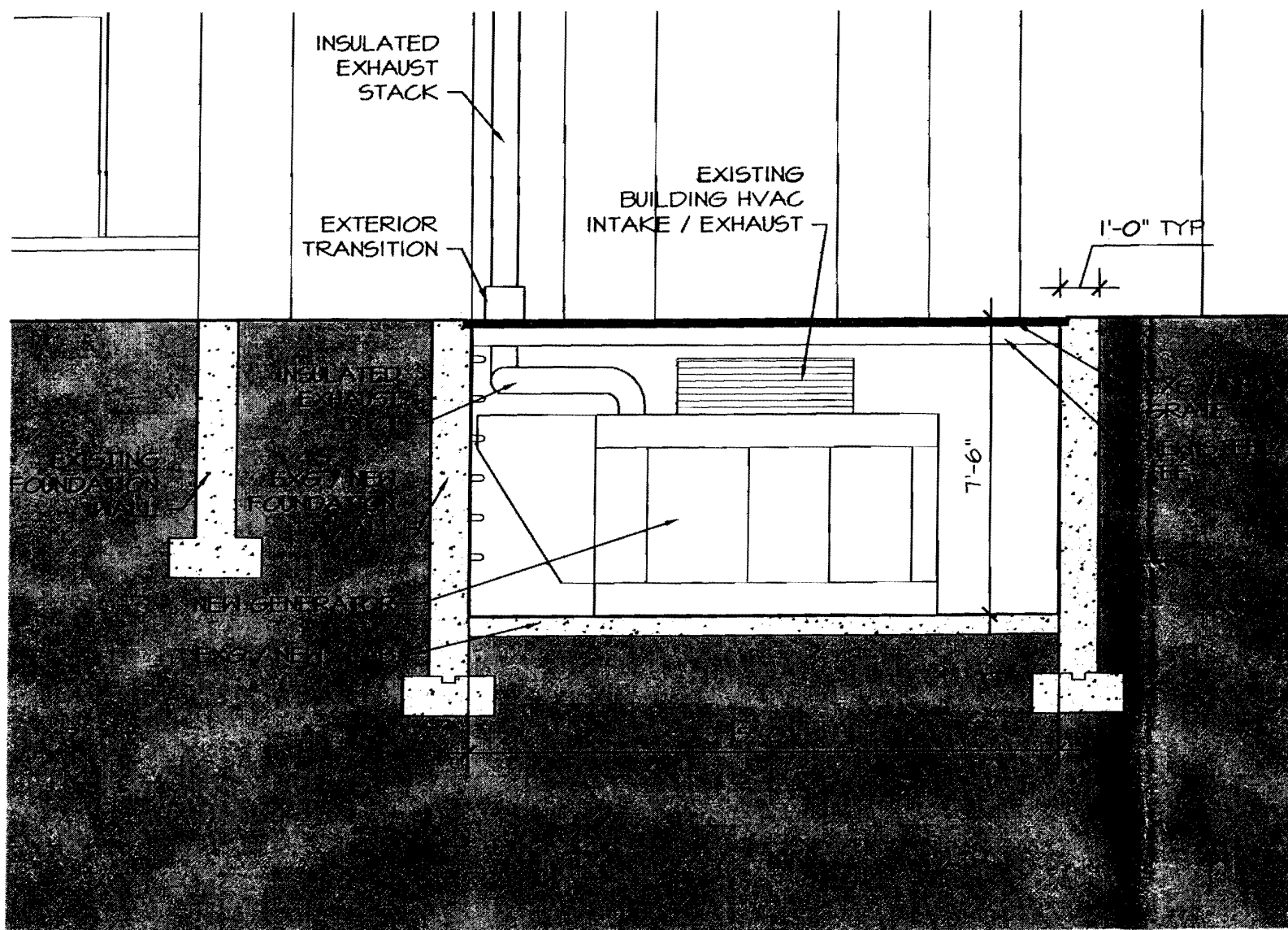
SCALE: 1/8\"=1'-0"

FINARD AND CON  
NEW GENERATOR  
ONE MONUMENT SQUARE  
PORTLAND, MAINE





A3 DETAIL  
NTS



A2 LONG SECTION  
1/4" = 1'-0"

## GENERAL NOTES:

1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
2. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
3. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
4. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

## FOUNDATION NOTES:

1. FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE OF 2500 PSF. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY. NOTIFY THE ENGINEER AND STOP WORK IF CLAY, WET SOILS, FILL, OR OTHER DELETERIOUS MATERIALS ARE ENCOUNTERED.
2. DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-6" BELOW FINISHED GRADE.
3. NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS OR SLABS UNLESS NOTED OTHERWISE.
4. EXCAVATING AND BACK FILLING AT NEW AND EXISTING FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.

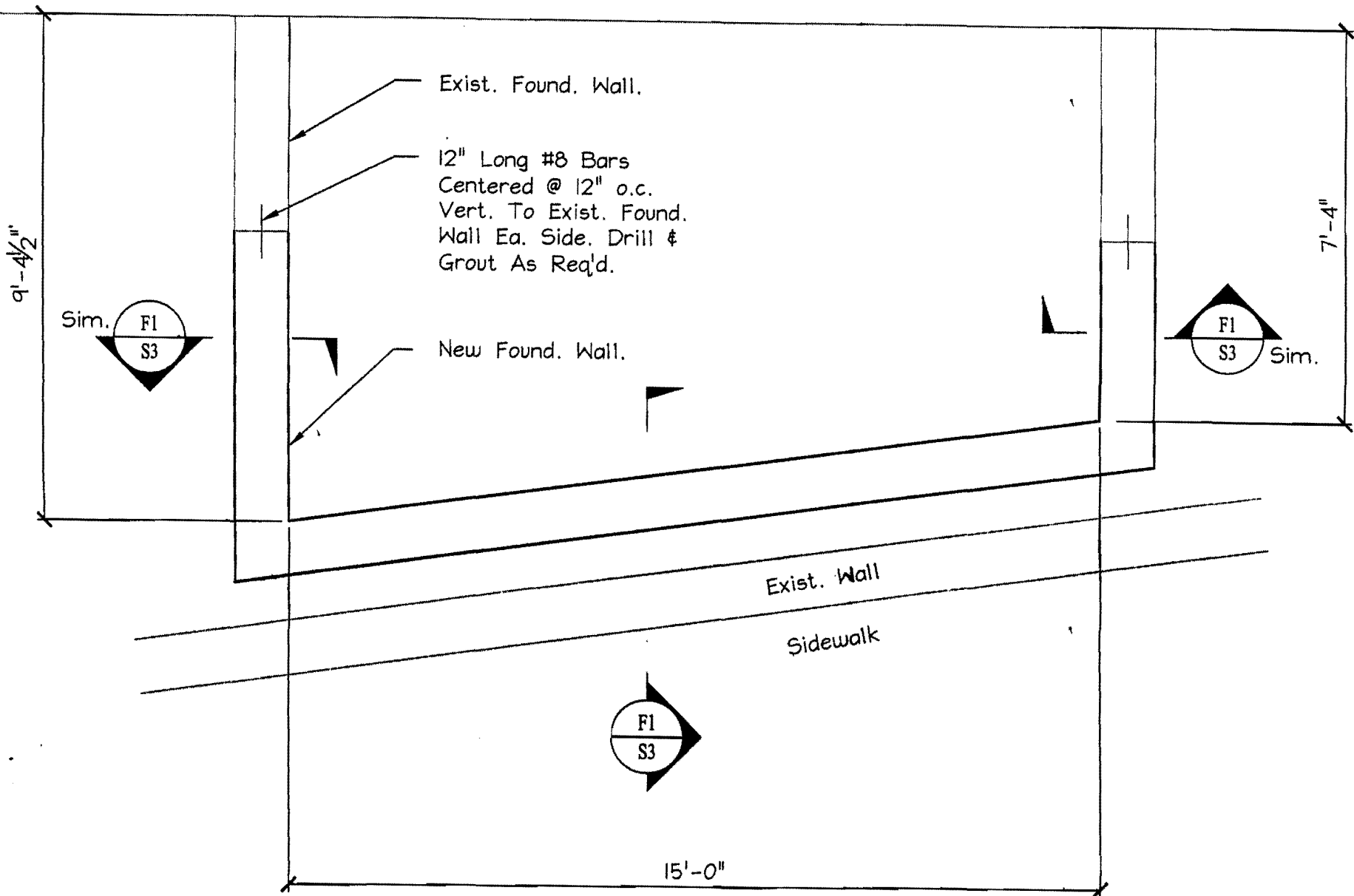
# 1 MONUMENT GENERATOR PORTLAND, M

## STRUCTURAL DESIGN CRITERIA:

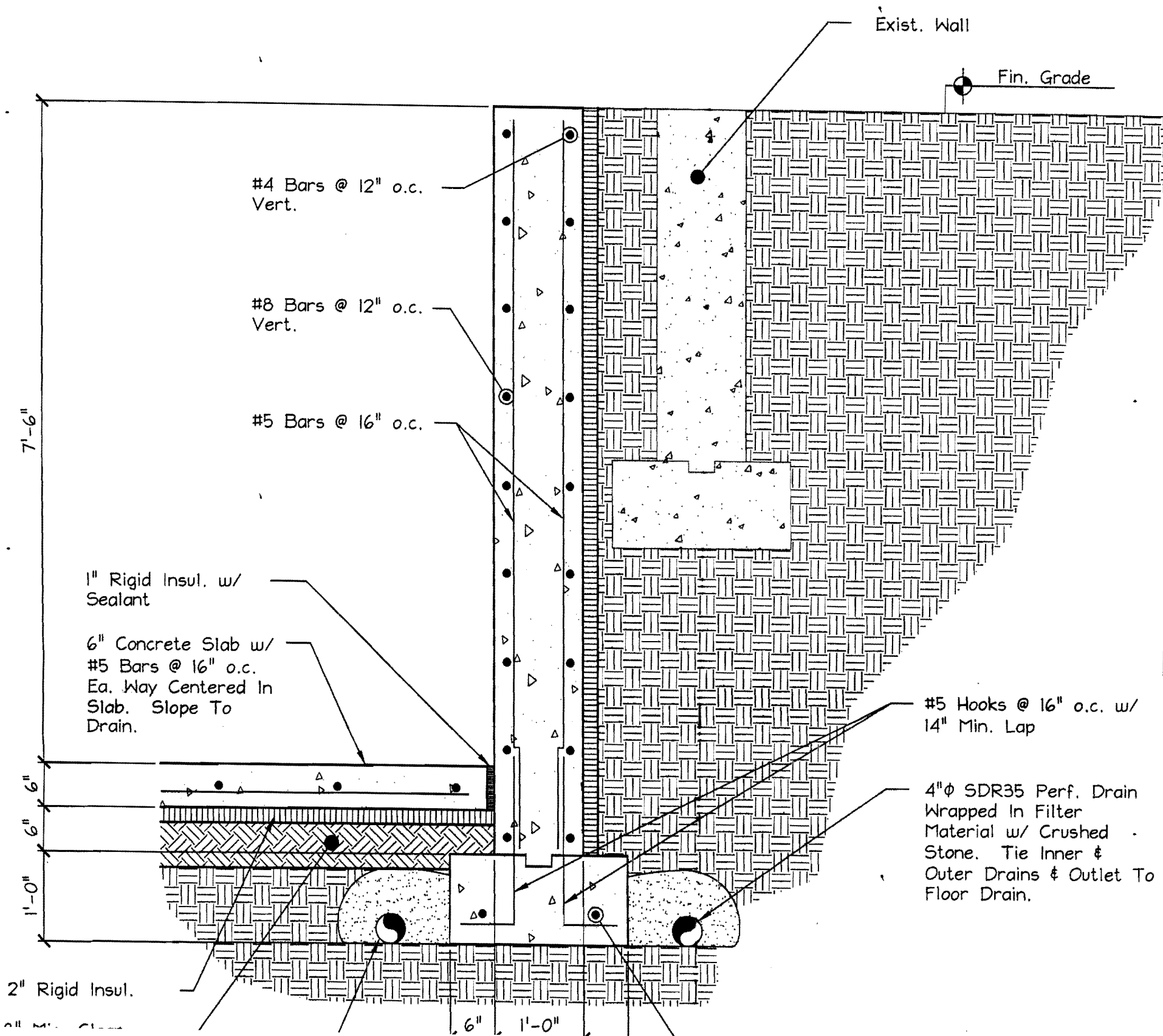
1. BUILDING CODE: IBC 2003 BUILDING CODE

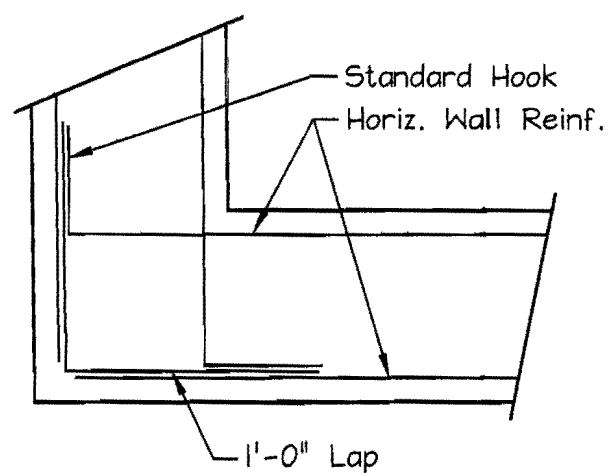
## CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO ACI 308-11.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 4000 PSI AT FOUNDATION WALLS AND FOOTINGS, 3000 PSI AT ELEVATED FLOOR SLABS, MAXIMUM SIZE 3/4" AGGREGATE.
3. CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE FINISHED WITH A BRUSHED OR BROOMED FINISH.
4. CONCRETE SHALL NOT BE PLACED IN WATER.
5. REINFORCING BARS SHALL CONFORM TO ASTM A601. DEFORMED BARS SHALL BE DETAILED AND PLACED IN ACCORDANCE TO ACI-315 LATEST EDITION, AND ALL OTHERS IN ACCORDANCE WITH ACI-318.
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A661 AND BE PROVIDED IN FLAT SHEETS.
7. SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318-93. SPLICES OF WWF SHALL BE 6" MINIMUM.
8. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
9. HOOKS NOT DIMENSIONED SHALL BE ACI 318-11 STANDARD.
10. CONCRETE COVER OVER REINFORCEMENT SHALL BE 4" FOR CONCRETE CAST AGAINST EARTH, 3" FOR CONCRETE EXPOSED TO EARTH OR WEATHER, AND 2" FOR CONCRETE NOT EXPOSED TO EARTH OR WEATHER.
11. SUBMIT COMPLETE REBAR SHOP DRAWINGS AND ELEVATIONS PRIOR TO POURING CONCRETE.









Plan - Typ. Reinf. @ Corners

## DETAIL - TYPICAL WALL REINFORCING

SCALE: 1" = 1'-0"