

ISSUE HISTORY

1 3/17/05 ISSUED FOR CONSTRUCTION

LIST OF DRAWINGS

- T001 TITLE SHEET
- A001 DEMOLITION PLANS
- A101 FLOOR PLANS
- A201 ELEVATIONS
- A202 ELEVATIONS
- A401 REFLECTED CEILING PLANS
- A701 DETAILS
- A901 FINISH PLANS

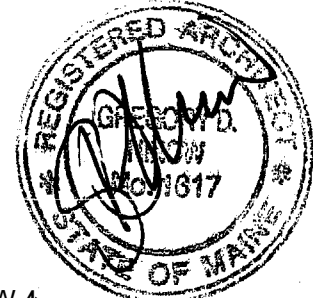
CODE SUMMARY

PROJECT IS DESIGNED TO: INTERNATIONAL BUILDING CODE, 2003 EDITION.
 USE GROUP: BUSINESS
 PROJECT SIZE: 360SF
 TYPE OF CONSTRUCTION: TYPE 2
 FIRE SUPPRESSION: NOT CURRENTLY SPRINKLERED. BUILDING OWNER IS UNDERGOING A PROJECT TO INSTALL AUTOMATIC SPRINKLERS FOR THIS FLOOR, TO RUN CONCURRENT WITH THIS RENOVATION.

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL PROVIDE **ANY** MECHANICAL WORK REQUIRED ON A DESIGN BUILD BASIS. REBALANCE SYSTEM WHEN COMPLETE.
2. GENERAL CONTRACTOR SHALL PROVIDE ALL **ELECTRICAL** AND PLUMBING WORK ON A DESIGN BUILD BASIS.
3. GENERAL CONTRACTOR **SHALL** PROVIDE ALL FIRE PROTECTION WORK ON A DESIGN BUILD BASIS.
4. MEP DESIGN BUILD SCOPE **OF WORK** SHALL MEET ALL APPLICABLE STATE AND CITY CODE REQUIREMENTS.
5. ALL WORK SHALL **CONFORM** TO FEDERAL, STATE **AND** MUNICIPAL CODES **AND** ORDINANCES. THESE SHALL **SUPERSEDE** DRAWINGS, NOTES **AND** DIMENSIONS IN **ALL** CASES. THE ARCHITECT SHALL BE NOTIFIED OF SUCH CHANGES BEFORE WORK **IS** STARTED. OBTAIN PERMITS BEFORE STARTING WORK AND OBTAIN **APPROVALS** OF ALL REGULATORY AGENCIES **WON** COMPLETION AND **AS** REQUIRED.
6. THE CONTRACT DOCUMENTS **CONSIST** OF THE DRAWINGS **4** SPECIFICATIONS, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION-AIA DOCUMENT **A201** (1987 EDITION), OWNER-CONTRACTOR AGREEMENTS **AND** ALL AGENDA ISSUED PRIOR TO **AND** ALL PLAN CHANGES ISSUED AFTER EXECUTION OF THE CONTRACT.
7. **UNLESS OTHERWISE** INDICATED IN THE CONSTRUCTION DOCUMENTS **AS** BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, **ALL** ITEMS, MATERIALS **AND** INSTALLATION OF **SAME** ARE A PART OF THE CONTRACT DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE **AND** INSTALL ALL ACCESSORIES, COMPONENTS **AND** ASSEMBLIES REQUIRED FOR THE WORK SHOWN.
8. CONTRACTOR SHALL SUBMIT A DETAILED PROJECT SCHEDULE. CONTRACTOR **IS** SOLELY RESPONSIBLE FOR CONSTRUCTION SEQUENCING, METHODS **AND** TECHNIQUES.
4. THE GENERAL CONTRACTOR **IS** RESPONSIBLE FOR PAYING **AND** OBTAINING **ALL** PERMITS, INSPECTIONS, REQUIRED TESTS **AND** UTILITY CONNECTIONS **UNLESS OTHERWISE** NOTED.
10. CONTRACTOR SHALL **PROVIDE** **AND** **IS** SOLELY RESPONSIBLE FOR PUBLIC **AND** EMPLOYEE PROTECTION **AS** NECESSARY **AND** **AS** REQUIRED BY THE CODES, ORDINANCES **AND** REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT PLACE.
11. CONTRACTOR TO INSPECT THE AREA **OF WORK** PRIOR TO STARTING **AND** NOTIFY THE ARCHITECT **OF** ANY DISCREPANCIES BETWEEN THESE DRAWINGS **AND** THE ACTUAL CONDITIONS. DO NOT **SCALE** THESE DRAWINGS.
12. PRIOR TO **CLOSING** ANY WALLS OR CEILINGS, **ALL** SYSTEMS (WAC, PLUMBING, ELECTRICAL) SHALL BE INSPECTED, **AND** WHERE REQUIRED, TESTING BY CONTRACTORS ENGINEERS **AND** BY PROPER AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION **AND** FUNCTION.
13. **ALL** DEMOLITION **AND** CONSTRUCTION WORK TO BE PERFORMED AFTER 7:00PM **AND** BEFORE 3:30AM SUNDAY THROUGH THURSDAY **UNLESS** PERMISSION **IS** OTHERWISE GRANTED BY BUILDING OWNERS.

14. THE ARCHITECT RESERVES THE RIGHT TO MOVE **ANY** FIXTURE, RECEPTACLE OR WILT-IN OBJECT **UP** UNTIL THE TIME HE/SHE **SHALL** APPROVE THE WALLS **OR** CEILING TO BE CLOSED. THIS APPROVAL SHALL TAKE **PLACE** PRIOR TO THE INSPECTORS APPROVAL **SO** **AS** NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
15. AT NEW CONSTRUCTION PROVIDE **ONE** PRIMER COAT **AND** TWO TOP COATS OF PAINT WITH **COLOR**.
16. SUBMIT SAMPLES, SHOP DRAWINGS, CUT SHEETS, **4** SCHEDULES FOR ARCHITECT REVIEW **4** APPROVAL FOR THE FOLLOWING:
 - a. PAINT, BASE MOULDING
 - b. DOORS, FRAMES, HARDWARE
 - c. MILLWORK
 - d. CEILING SYSTEM
 - e. LIGHT FIXTURES
 - f. PLUMBING FIXTURES
17. IN THE EVENT OF DISCREPANCIES BETWEEN **ANY** DRAWINGS **AND/OR** SPECIFICATIONS, THE **COSTLIER** OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENT, **UNLESS** OTHERWISE STATED IN WRITING, FROM THE OWNER.
18. GENERAL CONTRACTOR SHALL WARRANT WORK PERFORMED FOR A PERIOD OF ONE **YEAR** FROM THE DATE OF FINAL ACCEPTANCE.
19. IT SHALL BE THE RESPONSIBILITY **OF** THE CONTRACTOR TO KEEP THE PREMISE CLEAN OF DEBRIS, RUBBISH, EXCESS MATERIALS, ETC.
20. CHARGES FOR EXTRA WORK DONE BY THE CONTRACTOR WILL NOT BE HONORED **UNLESS** THE WORK **AND** THE AMOUNT ARE AGREED TO BY THE OWNER IN WRITING BEFORE THE WORK IS **DONE**, BASED UPON UNIT PRICING.
21. **AS** REQUIRED BY CODE, EACH CONTRACTOR **AND** EACH SUBCONTRACTOR **SHALL** OBTAIN REQUIRED INSPECTION OF THAT PORTION **OF WORK**.
22. ALL DIMENSIONS ARE TO THE FACE OF DRYWALL OR MASONRY **UNON**.
23. QUALITY CONTROL:
 - A. SITE MEETINGS: CONTRACTOR TO CONDUCT SITE MEETINGS **AND** MEETING MINUTES AT FREQUENCY **AS** DIRECTED BY OWNER. CONTRACTOR **AND** ALL SUB-CONTRACTORS MUST BE PRESENT, **UNLESS** WAIVED BY OWNER.
 - B. INSTALLATION: EXCEPT **AS** MORE STRINGENT REQUIREMENTS ARE INDICATED ON THESE DRAWINGS **AND** IN THESE NOTES, COMPLY WITH **GENERALLY** ACCEPTED INDUSTRY STANDARDS **AND** INSTALL PRODUCTS IN STRICT COMPLIANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS.
 - C. WHEN EVALUATING APPEARANCE OR CONFORMANCE WITH DESIGN INTENT, THE WORDS 'ACCEPTABLE', 'VISIBLE', 'INVISIBLE', 'MATCHING', 'ALIGNED' **AND** SIMILAR TERMS **OF** JUDGEMENT SHALL MEAN 'ACCEPTABLE, ETC.', IN THE OPINION OF THE ARCHITECT OR OWNER.



NO	DATE	REVISIONS
1	3/17/05	ISSUED FOR CONST.



PROJECT
FINARD RESTROOMS
 ONE MONUMENT SQUARE, 9TH FLOOR
 PORTLAND, MAINE

TITLE	SHEET	SCALE
TITLE	SHEET	AS NOTED

Cubellis Associates Inc.
 428 Fore Street, 3rd Flr.
 Portland, ME 04101
 Tel: 207-874-2777 • Fax: 207-874-2775

DRAWN BY: JMH
 CHECKED BY: JAT
 DATE: 3/7/05

INTERIOR CONSTRUCTION
FINARD RESTROOMS
ONE MONUMENT SQUARE, 9TH FLOOR, PORTLAND, MAINE

T001
05102PT

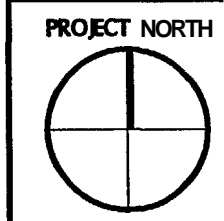
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DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIALS FROM THE SITE, LEAVING A CLEAN-SWEPT SPACE. THE CONTRACTOR SHALL FOLLOW ALL BUILDING RULES AND REGULATIONS FOR WORKING HOURS, SCHEDULING ELEVATORS AND DUMPSTER RULES. COORDINATE W/ OWNER.
2. ALL DEMOLITION (& CONSTRUCTION) WORK SHALL BE PERFORMED AFTER 7PM AND BEFORE 3:30AM SUNDAY THROUGH THURSDAY UNLESS PERMISSION IS GRANTED OTHERWISE BY BUILDING OWNER.
3. CONSTRUCT AND INSTALL TEMPORARY DUST-PROOF POLYETHYLENE AND ZIP WALLS IN CORRIDOR (BOTH SIDES) TO SECURE DUST AND CONSTRUCTION DEBRIS.
4. ANY WORK INVOLVING ALTERATIONS TO EXISTING BUILDING UTILITIES & WHICH REQUIRE UTILITY SHUT DOWN, SHALL BE COORDINATED WITH THE OWNER AND SHALL REQUIRE A MINIMUM OF FIVE (5) DAYS NOTICE.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY RELOCATION OF ALL EQUIPMENT AND MATERIALS AS REQUIRED.
6. IMMEDIATELY GLEAN AND REMOVE DEBRIS FROM AREAS OF CONSTRUCTION PRIOR TO THE COMMENCEMENT OF THE NEXT NORMAL WORKING DAY.
7. CONTRACTOR TO VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT BEARING, AND SHORE ALL EXISTING AND NEW OPENINGS AS REQUIRED.
8. IN AREAS WHERE FLOORING IS TO BE REMOVED, CARE TO BE TAKEN THAT THE SURFACE IS CLEANED OF ALL ADHESIVE AND PREPARED TO RECEIVE NEW FLOORING.

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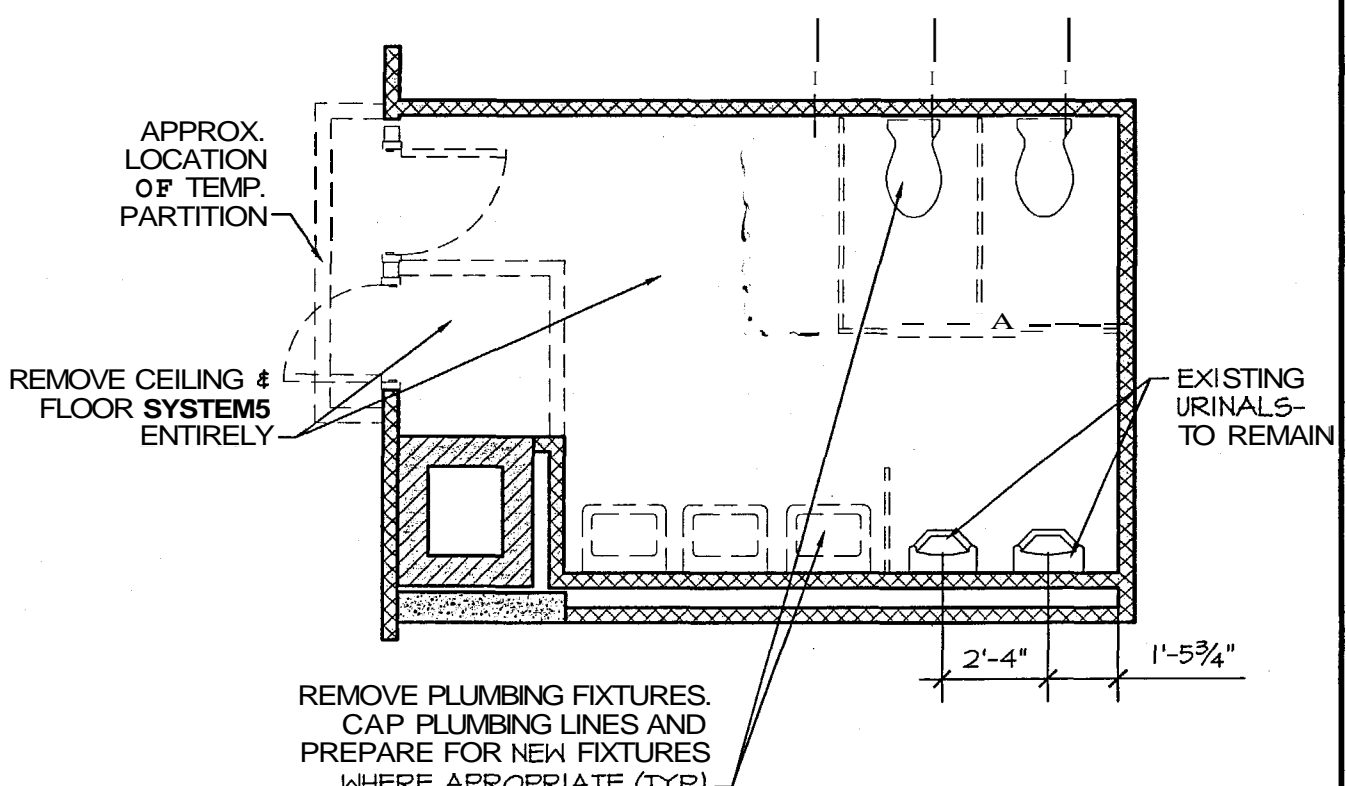


PROJECT NORTH
FINARD RESTROOMS
 ONE MONUMENT SQUARE, 9TH FLR
 PORTLAND, MAINE

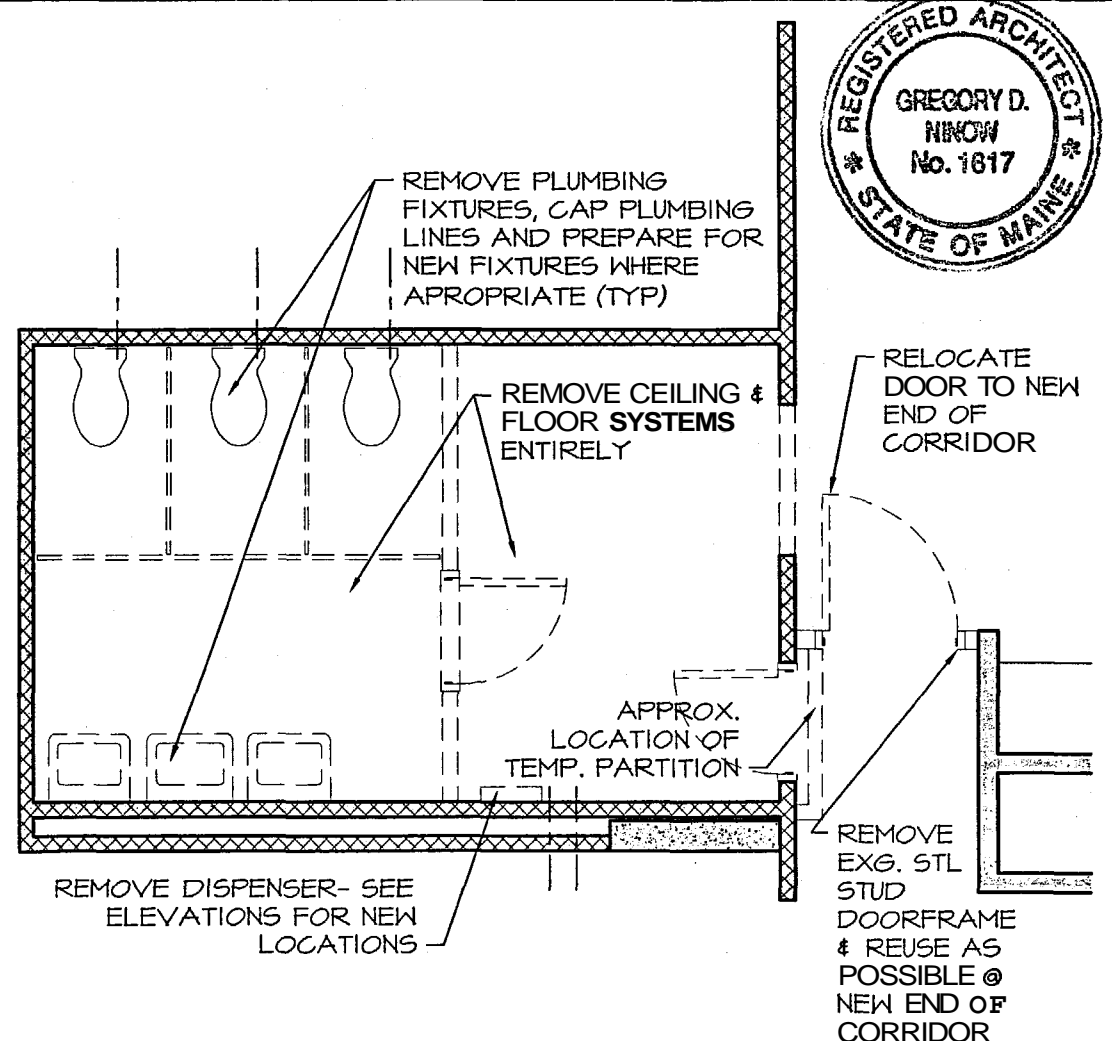
TITLE
DEMOLITION PLANS
SCALE
 AS SHOWN

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A001
05102PT

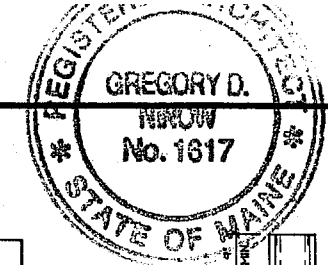


A2 MEN'S ROOM DEMOLITION PLAN
 1/4" = 1'-0"



A1 WOMEN'S ROOM DEMOLITION PLAN
 1/4" = 1'-0"

DRAWN BY
CHECKED BY
DATE

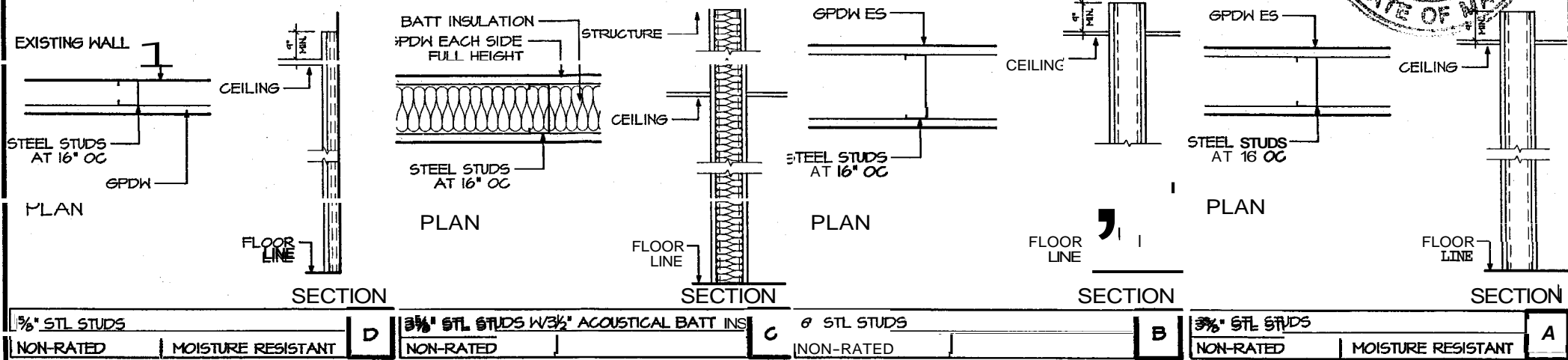


NOTES

1. PROVIDE WOOD BLOCKING FOR BATHROOM ACCESSORIES.
2. REPLACE ALL FIXTURES WITH NEW "LOW FLOW FIXTURES UON.
3. REUSE EXISTING AUTOMATIC FLUSH VALVES AND SAFEGUARDS FROM EXISTING URINALS FOR NEW ONES.
4. SKIM EXISTING TILE TO ACCEPT PAINT. INSTALL NEW TILE OVER EXISTING TILE WHERE APPLICABLE.
5. ALL CONSTRUCTION WORK SHALL CONFORM TO WRITTEN WORK REQUIREMENTS ESTABLISHED BY BUILDING OWNER UNDER SEPARATE COVER.

CONSTRUCTION LEGEND

- NEH CONSTRUCTION
- EXISTING CONDITIONS

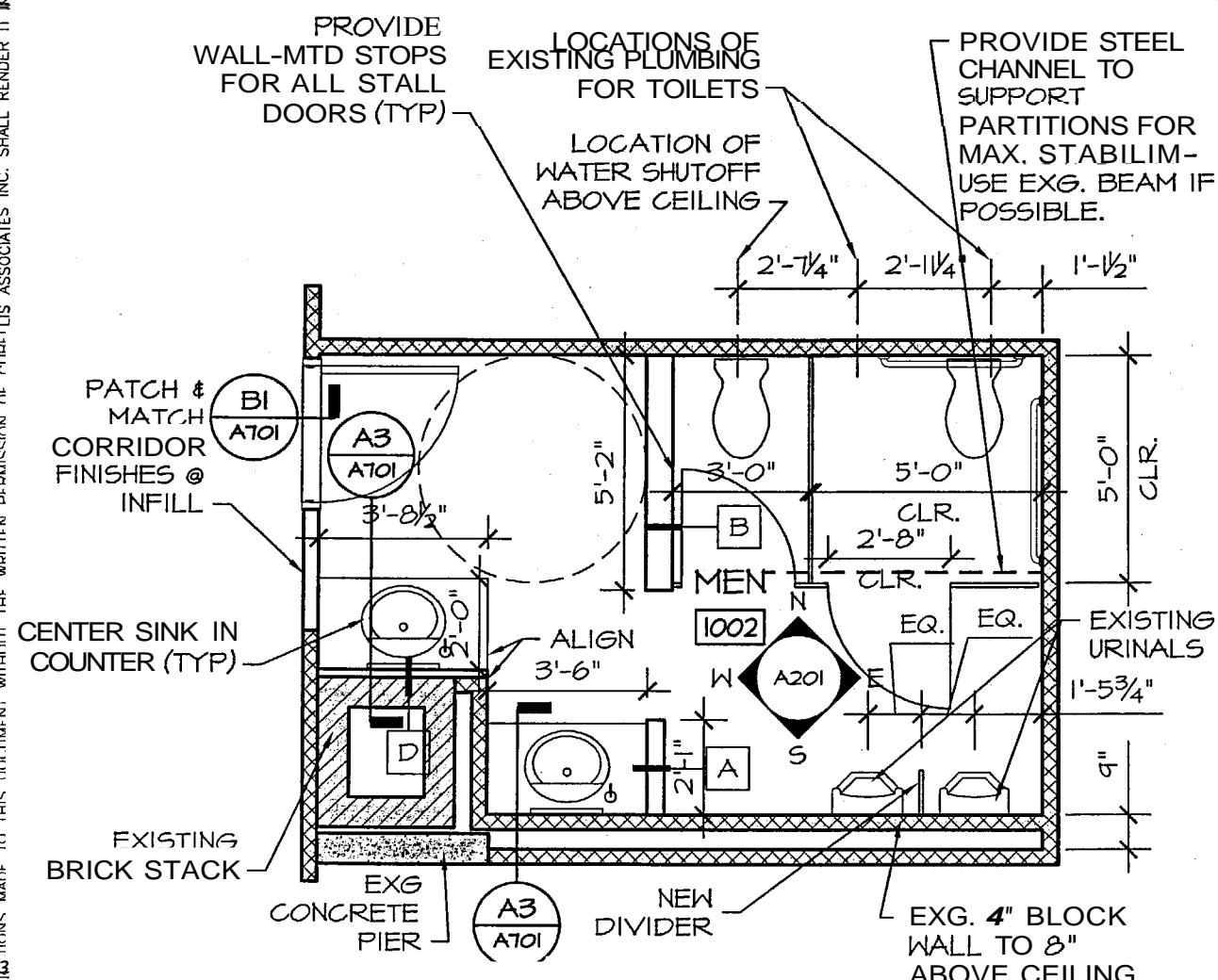


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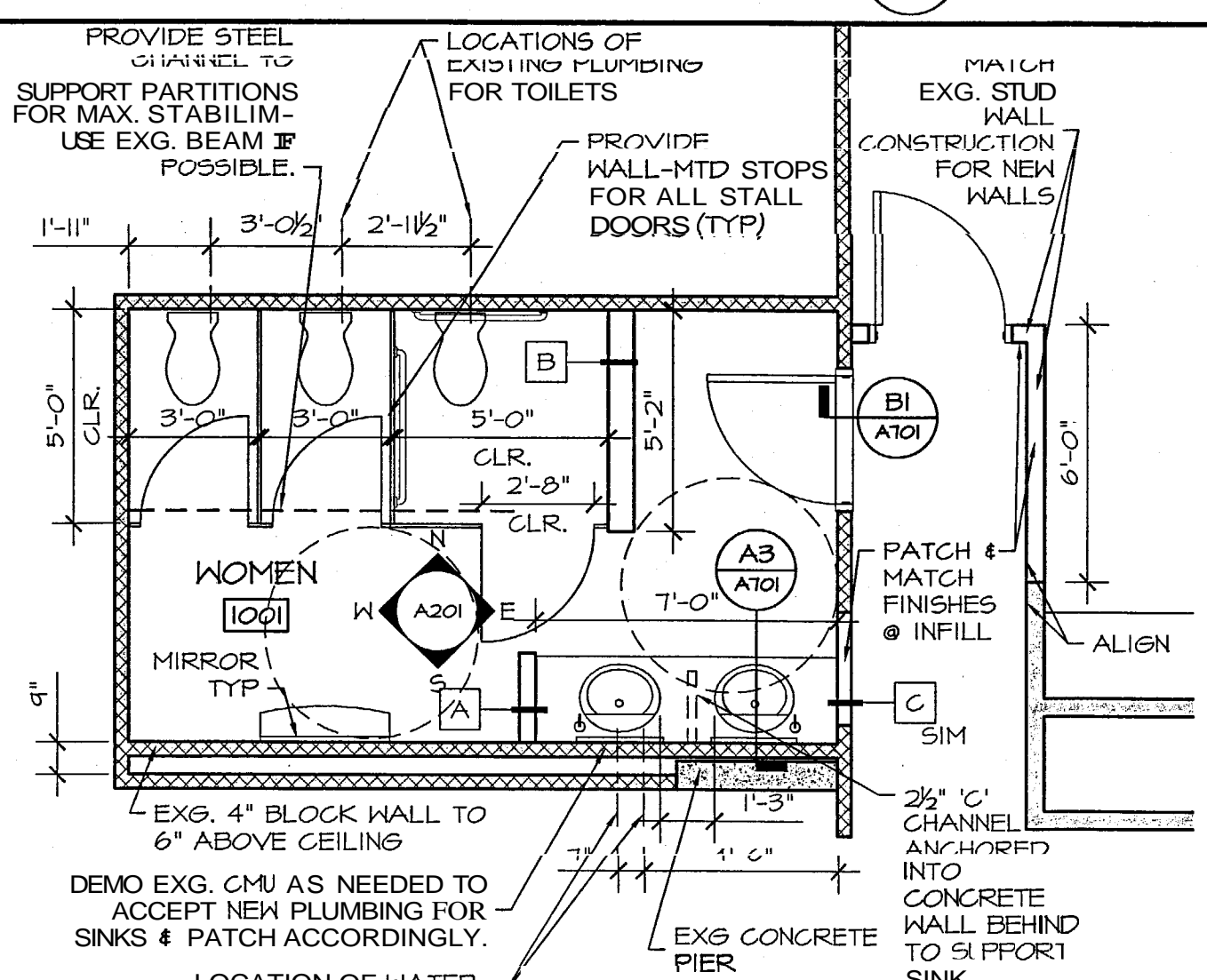
PROJECT NORTH

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A2 MEN'S ROOM PLAN
1/4" = 1'-0"



A1 WOMEN'S ROOM PLAN
1/4" = 1'-0"

BI MALL TYPES
NOT TO SCALE

PROJECT
FINARD RESTROOMS
ONE MONUMENT SQUARE, 9TH FLOOR
PORTLAND, MAINE

TITLE
FLOOR PLANS
SCALE
AS NOTED

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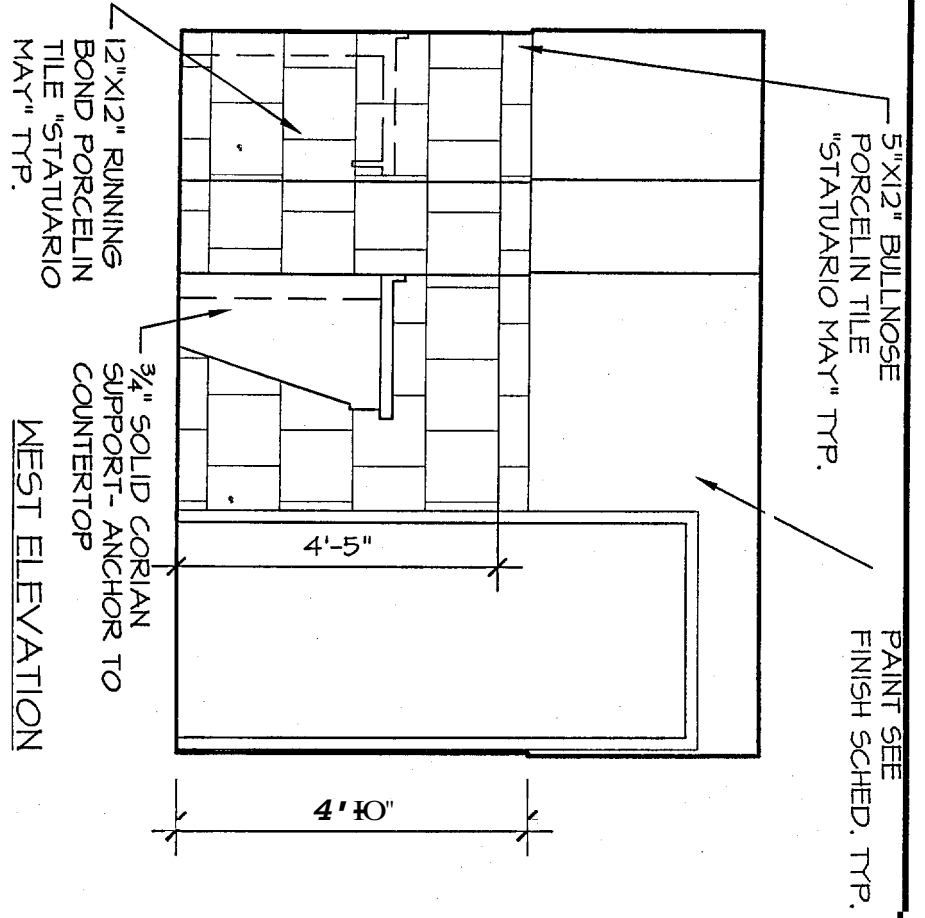
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JMH

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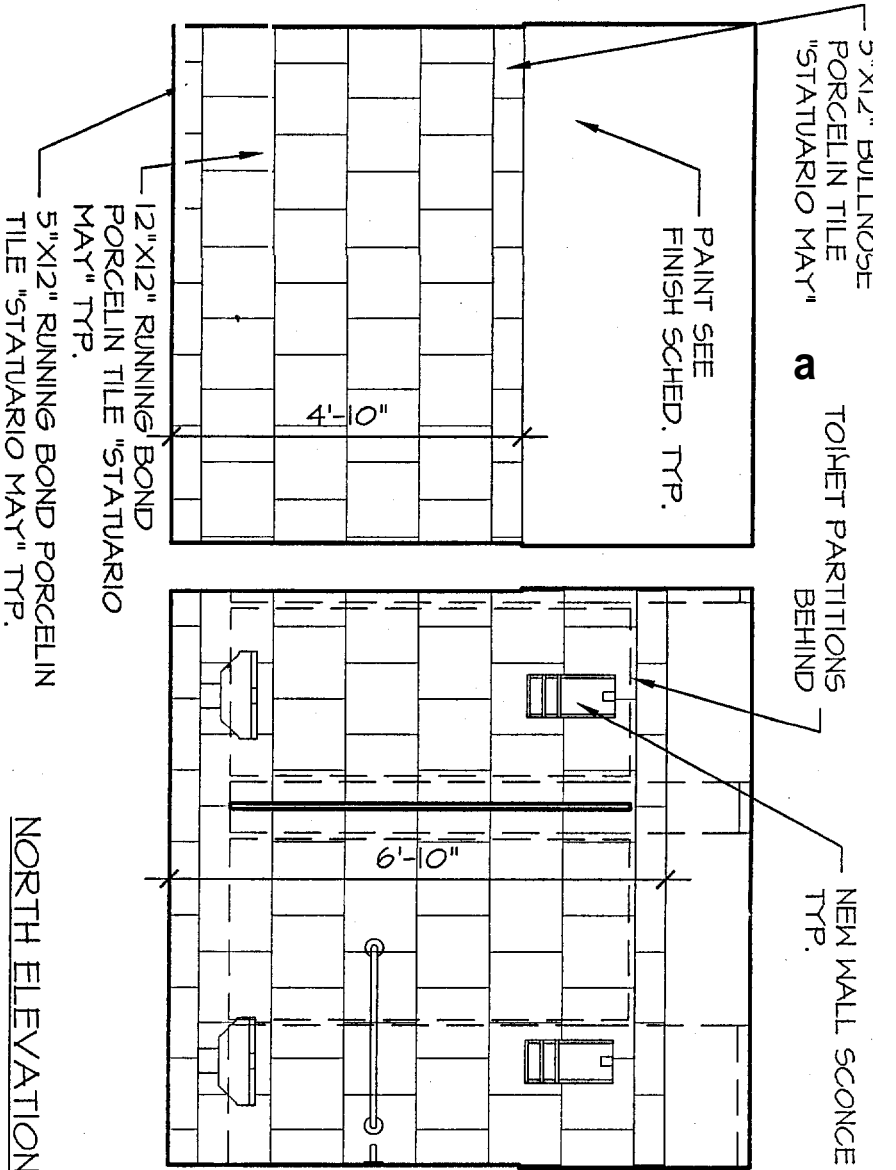
DATE
3/17/05

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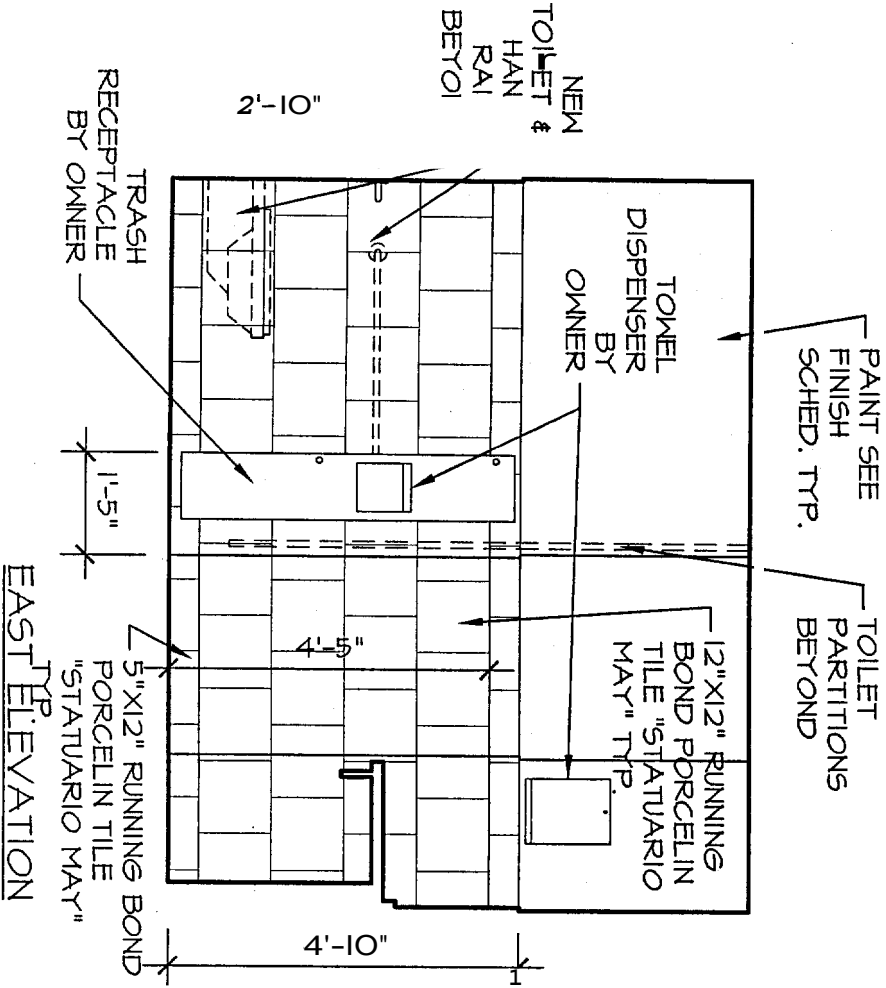
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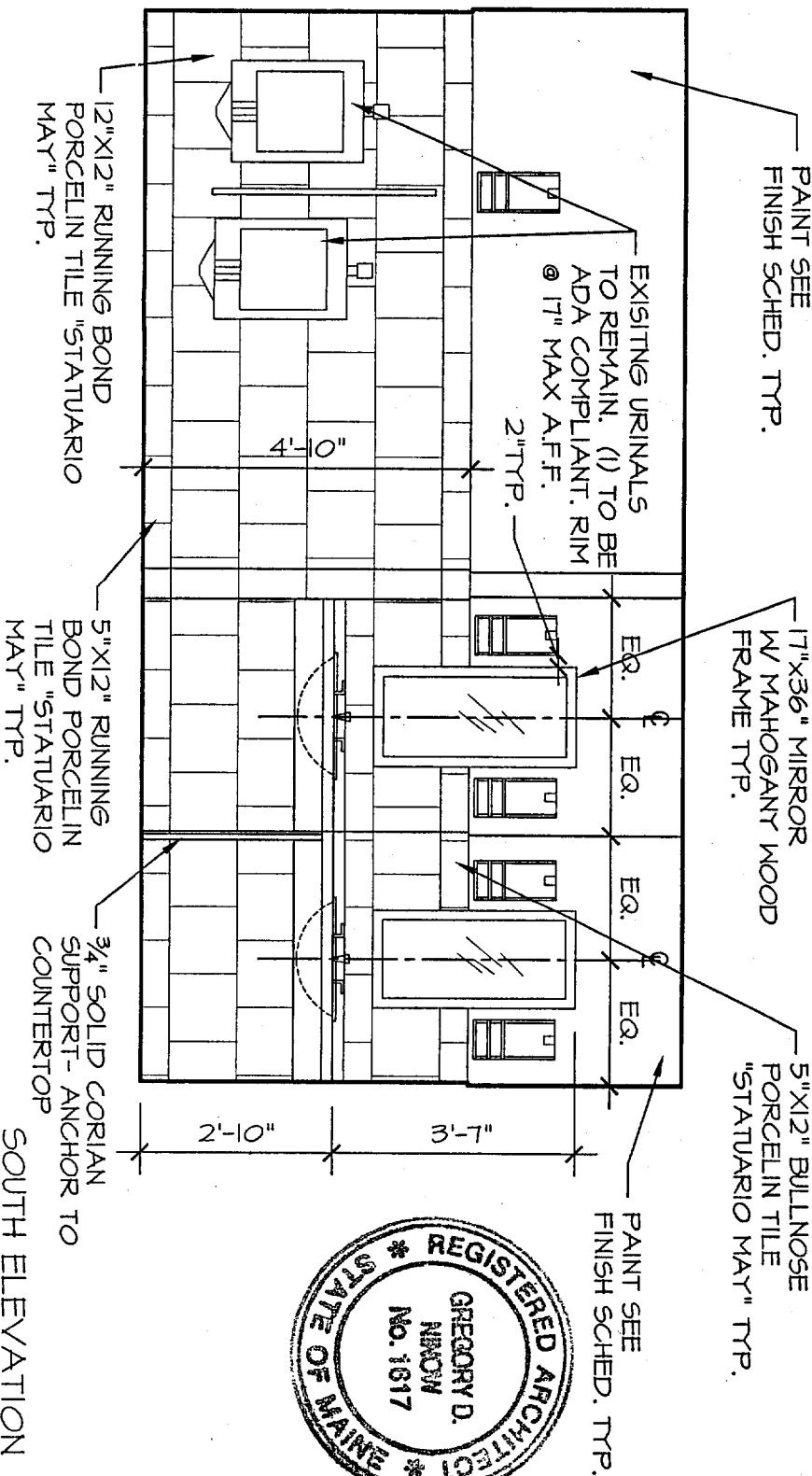
WEST ELEVATION



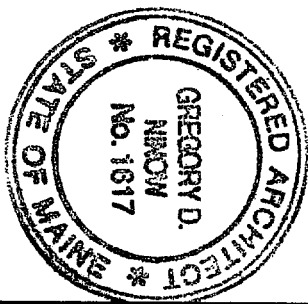
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



A1
 3/8" = 1'-0"
 MEN'S ROOM ELEVATIONS

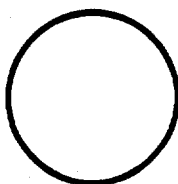


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DATE 3/17/05 DRAWN BY JMH CHECKED BY JAT

TITLE
ELEVATIONS
 SCALE AS NOTED

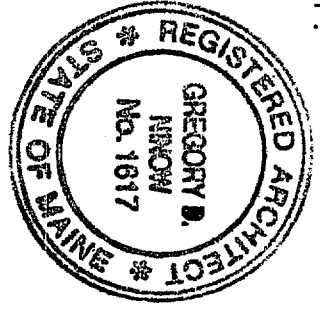
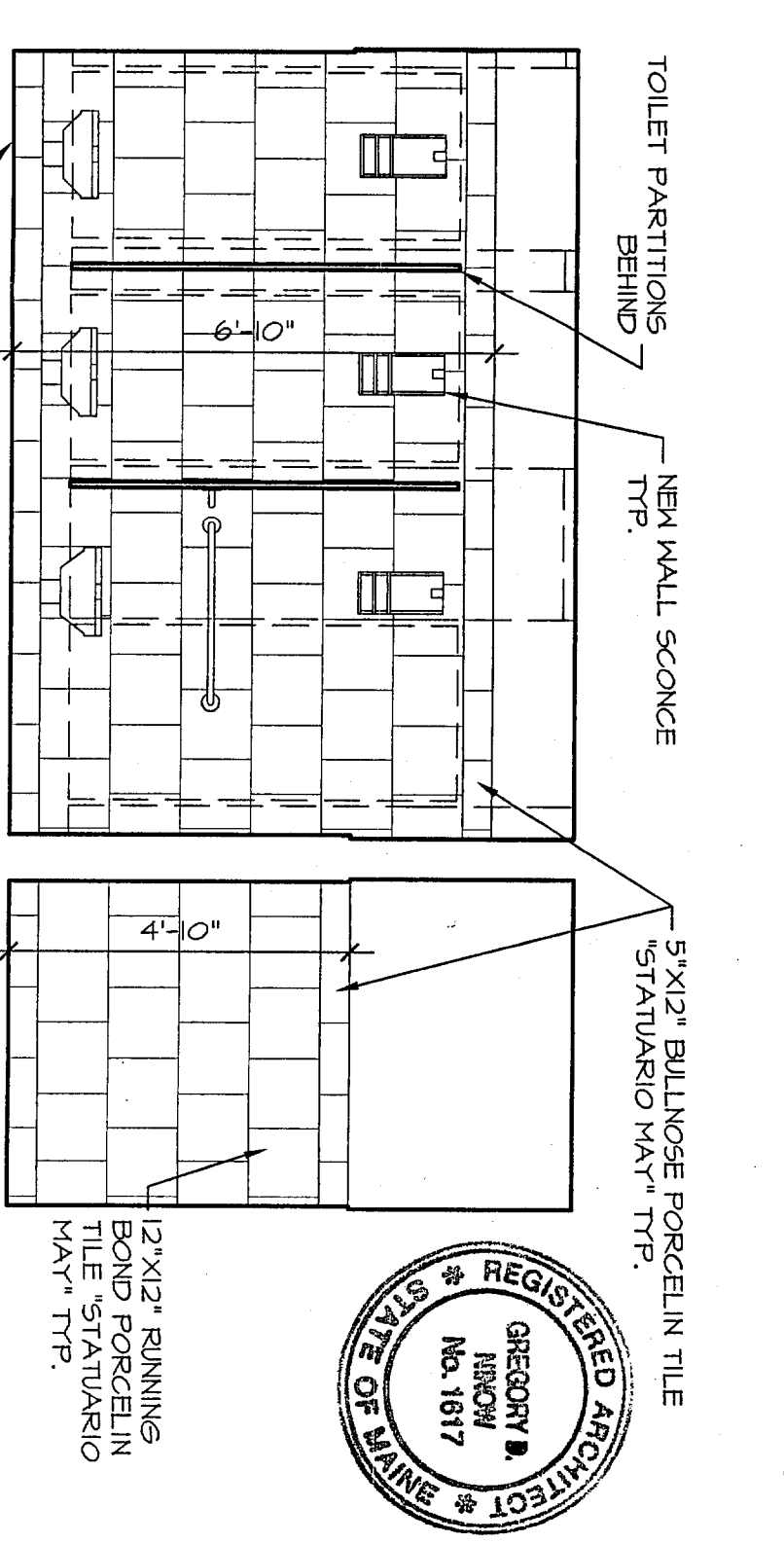
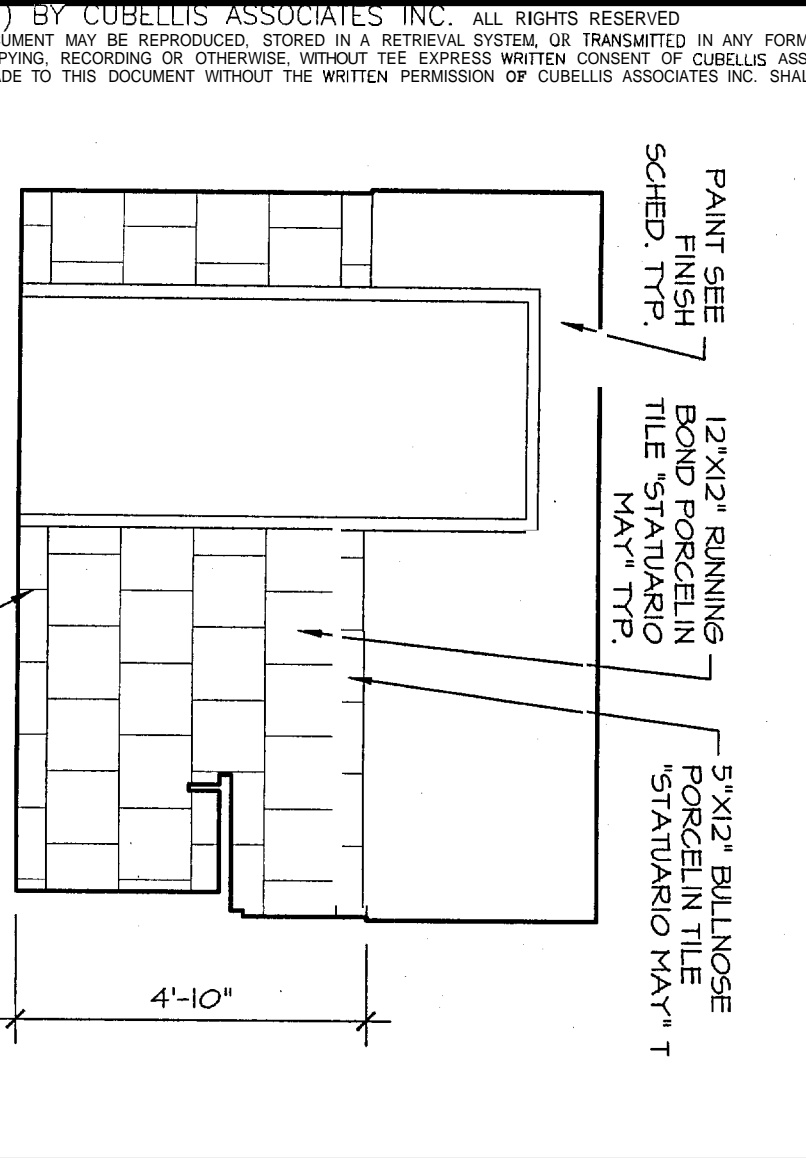
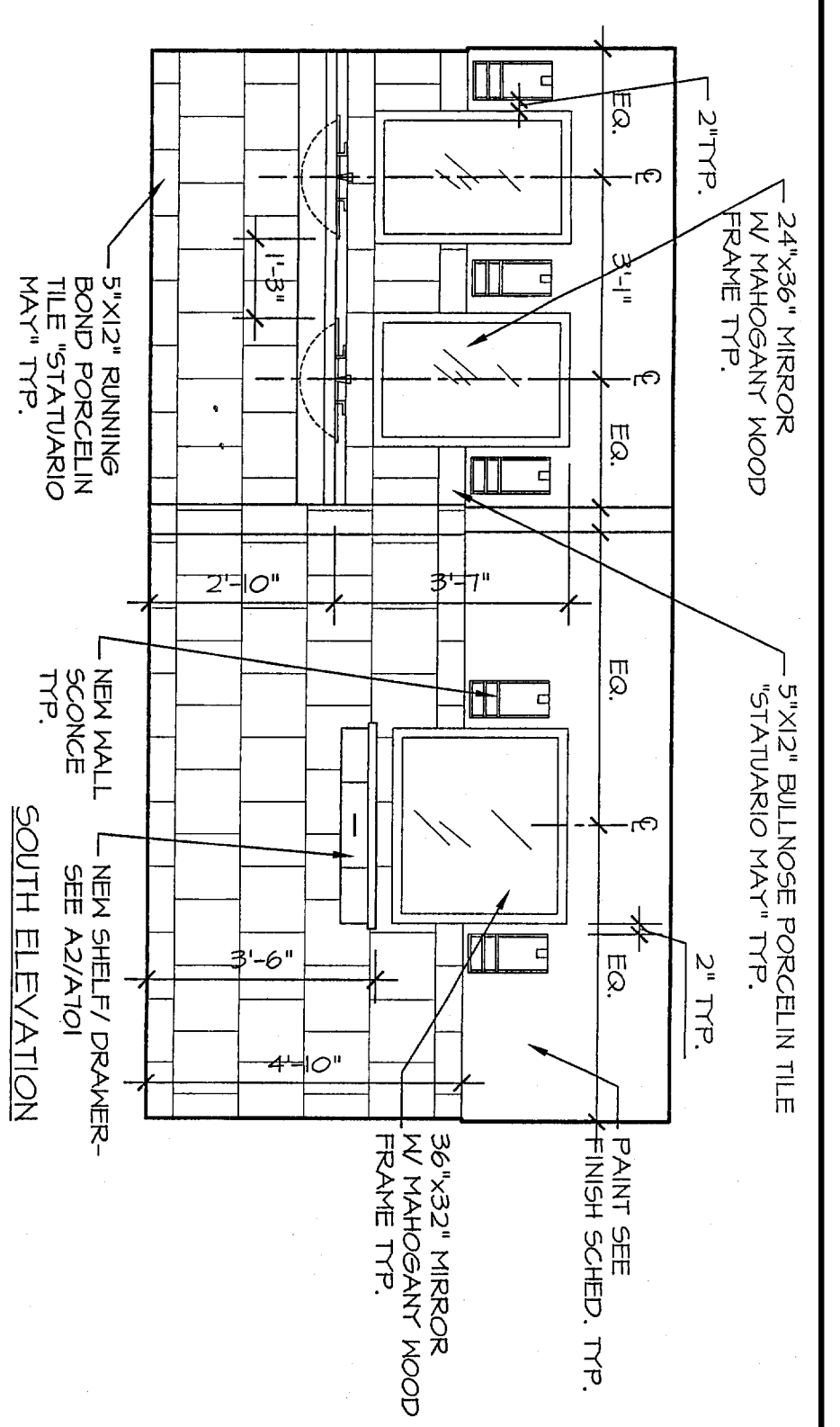
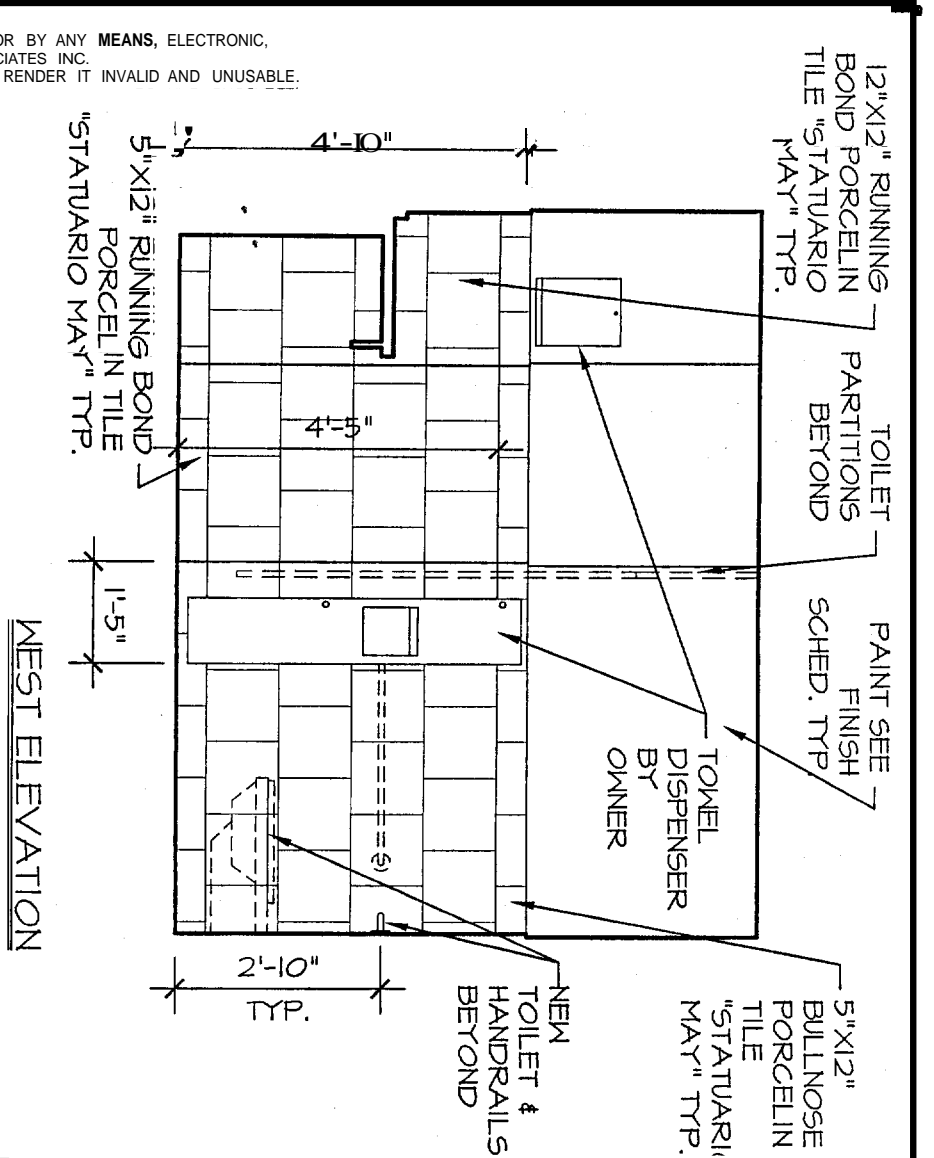
PROJECT
FINARD RESTROOMS
 ONE MONUMENT SQUARE, 9TH FLR
 PORTLAND, MAINE



NO	DATE	REVISIONS
1	3/17/05	ISSUED FOR CONST.

A201
 05102PT

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A1
 3/17/05
WOMEN'S ROOM ELEVATIONS

 Boston, Chicago Philadelphia Portland, ME 428 Fore Street, 3rd Fl. Portland, ME 04101 Tel: 207-874-2777 • Fax: 207-874-2775	TITLE ELEVATIONS		PROJECT FINARD RESTROOMS ONE MONUMENT SQUARE, 9TH FLR PORTLAND, MAINE		PROJECT NORTH 	NO 1	DATE 3/17/05	REVISIONS ISSUED FOR CONST.
	DATE 3/17/05	DRAWN BY JMH	CHECKED BY JAT	SCALE AS NOTED				




A202
 05102PT

REFLECTED CEILING NOTES

- THIS PLAN IS FOR CEILING FIXTURE LOCATIONS ONLY. REFER TO MEP ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- NEH SPRINKLER HEADS, LIGHT FIXTURES, DIFFUSERS AND ANY CEILING MOUNTED ITEMS SHALL BE CENTERED IN CEILING PANELS AND SHALL BE COORDINATED WITH MEP ENGINEERING DRAWINGS BY OHNER.
- EACH RESTROOM TO HAVE 2 A/N STROBES AND HORNS INSTALLED BY OLNER.
- ALL SUSPENDED CEILING HEIGHTS TO BE 8'-0" A.F.F.
- LIGHTS SHALL BE CONTROLLED BY ULTRASONIC OCCUPANCY SENSOR ON CEILING. MODEL #WS3000 BY WATT STOPPER.
- ALL FIXTURES ARE TO HAVE FLUORESCENT LAMPS.

ELECTRONIC AND UNUSABLE.

RCP LEGEND

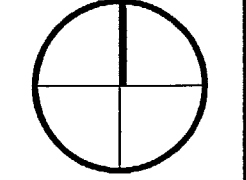
- A RECESSED CF DOWNLIGHT
- B WALL SCONCE
- C RECESSED CF EMERGENCY DOWNLIGHT
-  2x2 ACOUSTICAL CEILING TILE
-  STROBE
-  NEW STANDARD DUPLEX OUTLET

LIGHT FIXTURE SCHEDULE

NO.	MATERIAL	MANUF.	STYLE
A	CF DOWNLIGHT	LIGHTOLIER	5" BASIC BAFFLE #1076/ 13W QUAD FLUOR. LAMP/ 5" REFLECTOR TRIM
B	WALL SCONCE	ADVENT	HARBOR #AIW1070/ 120 BAL. SBA-IF27
C	CF EMER. DOWNLIGHT	LIGHTOLIER	5" BASIC BAFFLE #1076/ 13W QUAD FLUOR. LAMP/ 5" REFLECTOR TRIM



PROJECT NORTH



PROJECT
FINARD RESTROOMS
 ONE MONUMENT SQUARE, 9TH FLR
 PORTLAND, MAINE

TITLE
REFLECTED CEILING PLANS
 SCALE
 AS NOTED

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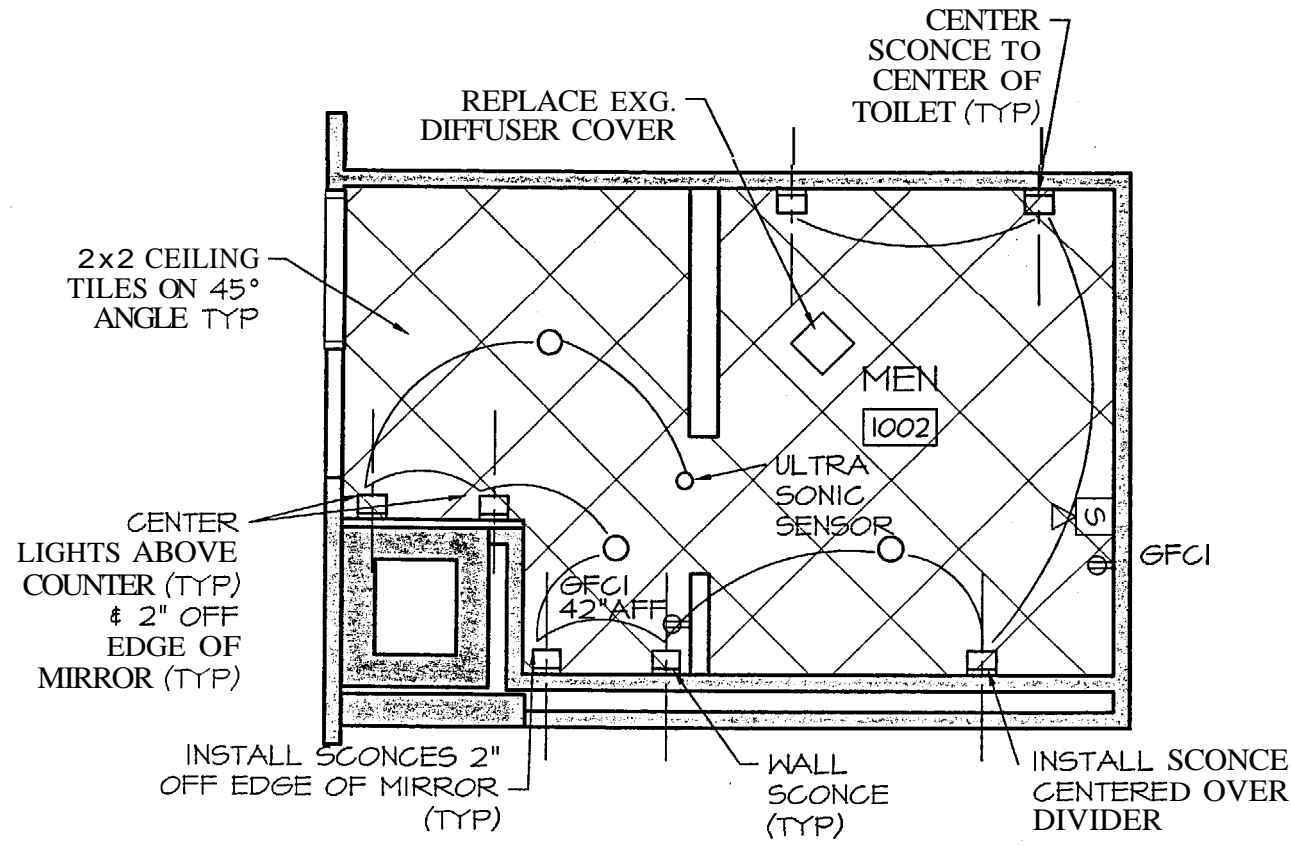
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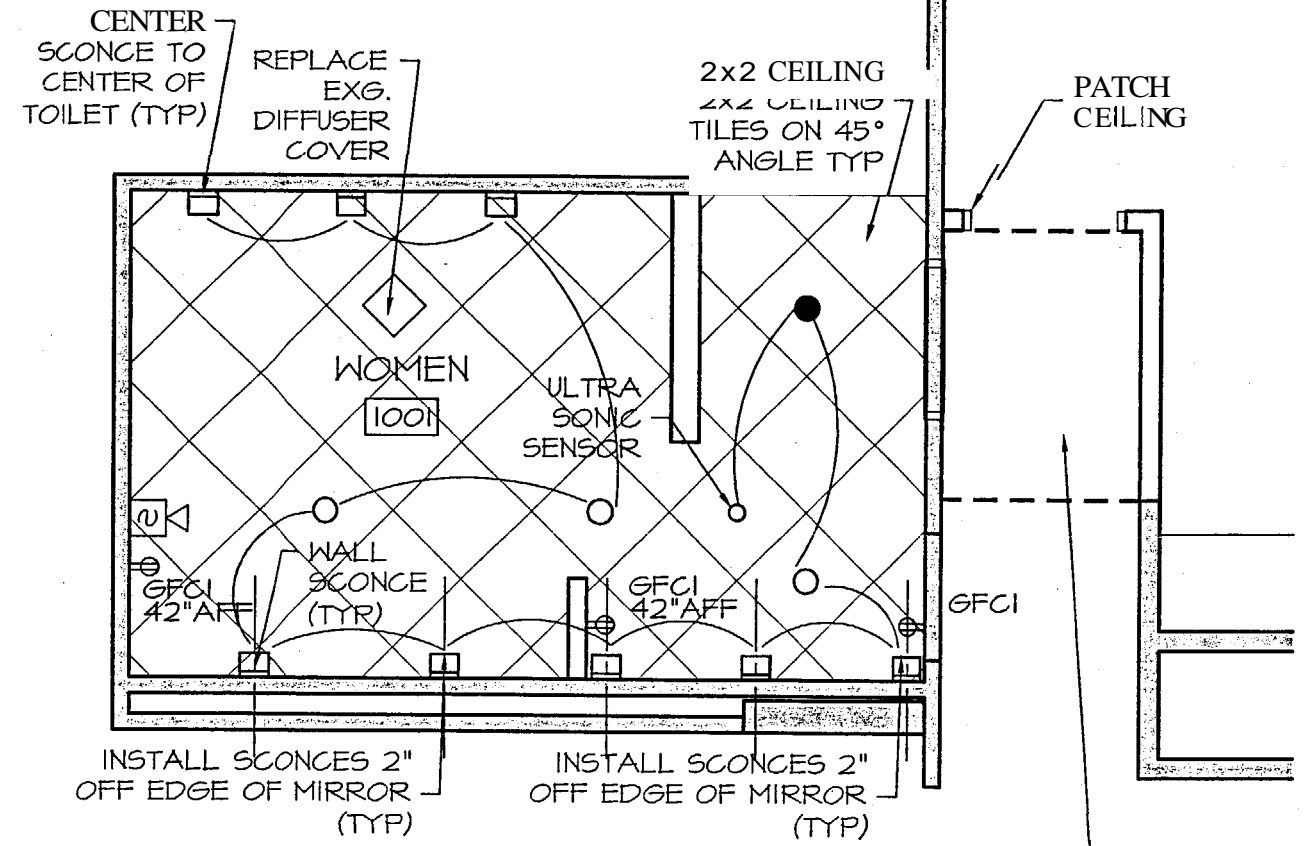
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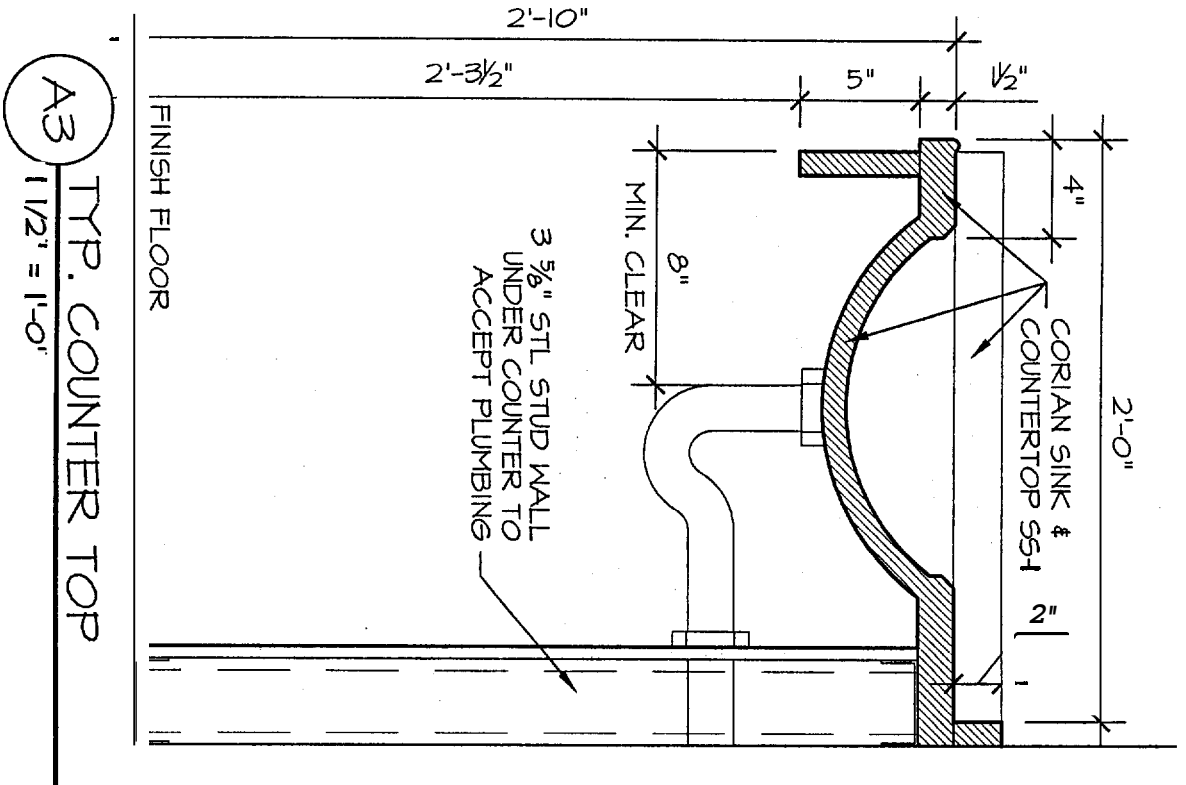
A2 MEN'S ROOM PLAN
 1/4" = 1'-0"



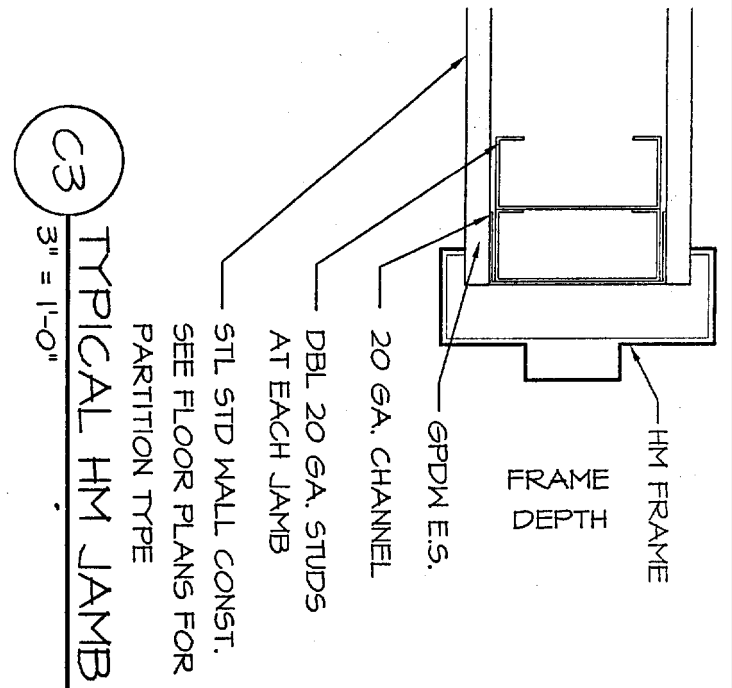
A1 WOMEN'S ROOM PLAN
 1/4" = 1'-0"

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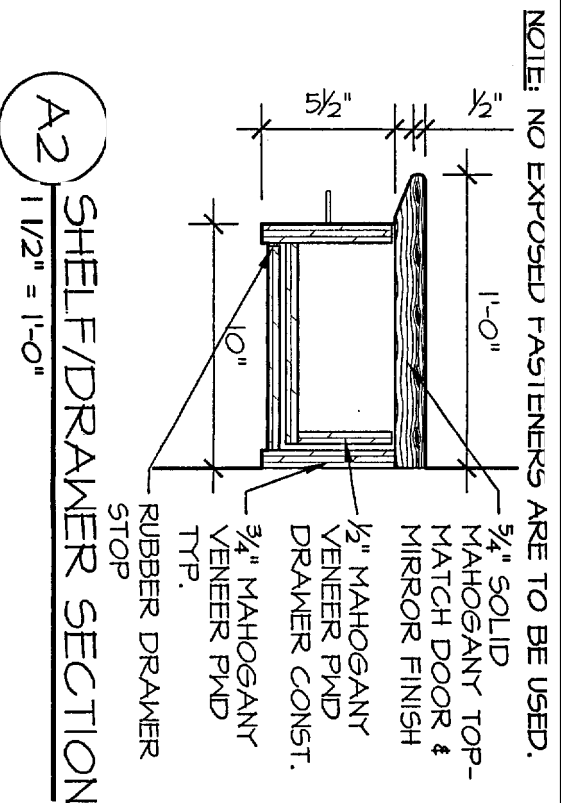
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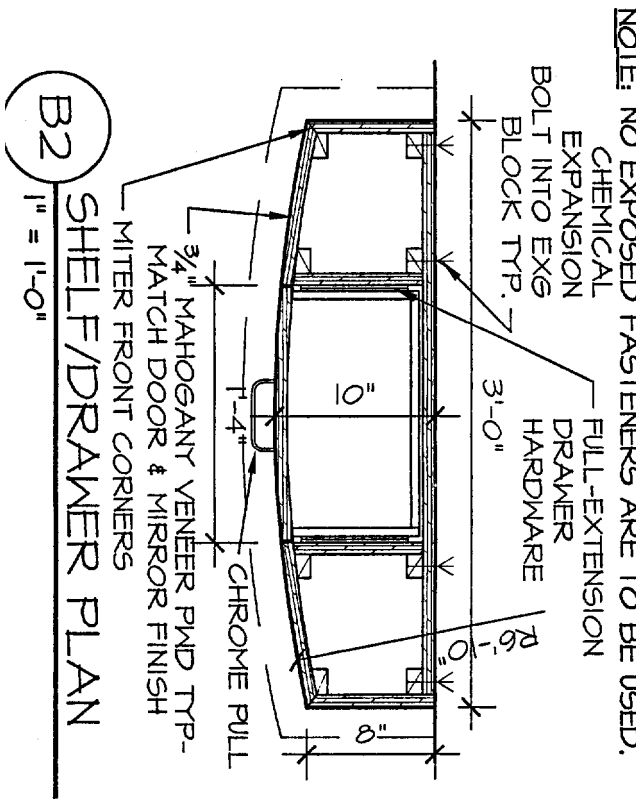
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 1 1/2" = 1'-0"
 TYP. COUNTER TOP



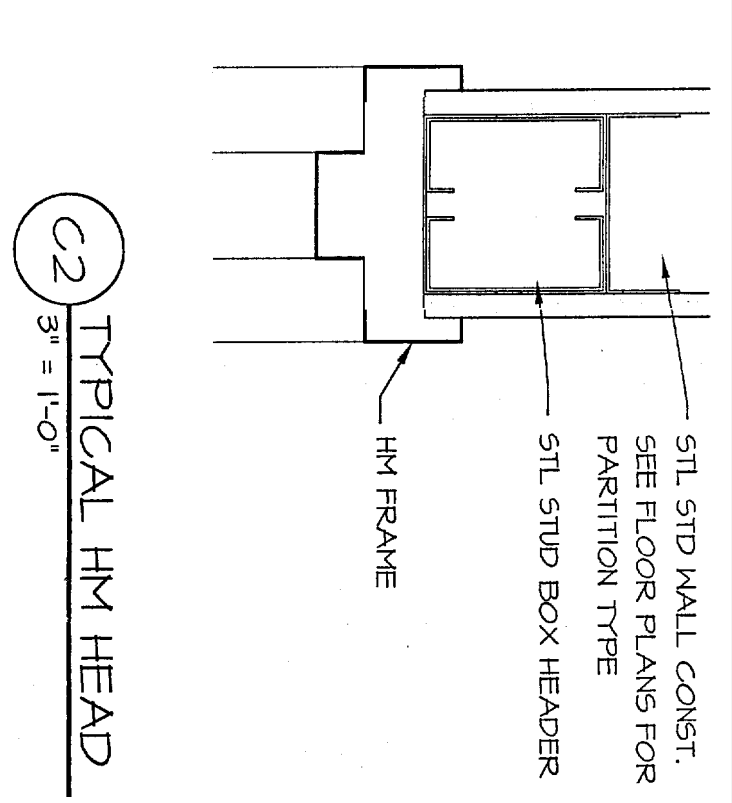
C3
 3" = 1'-0"
 TYPICAL HM JAMB



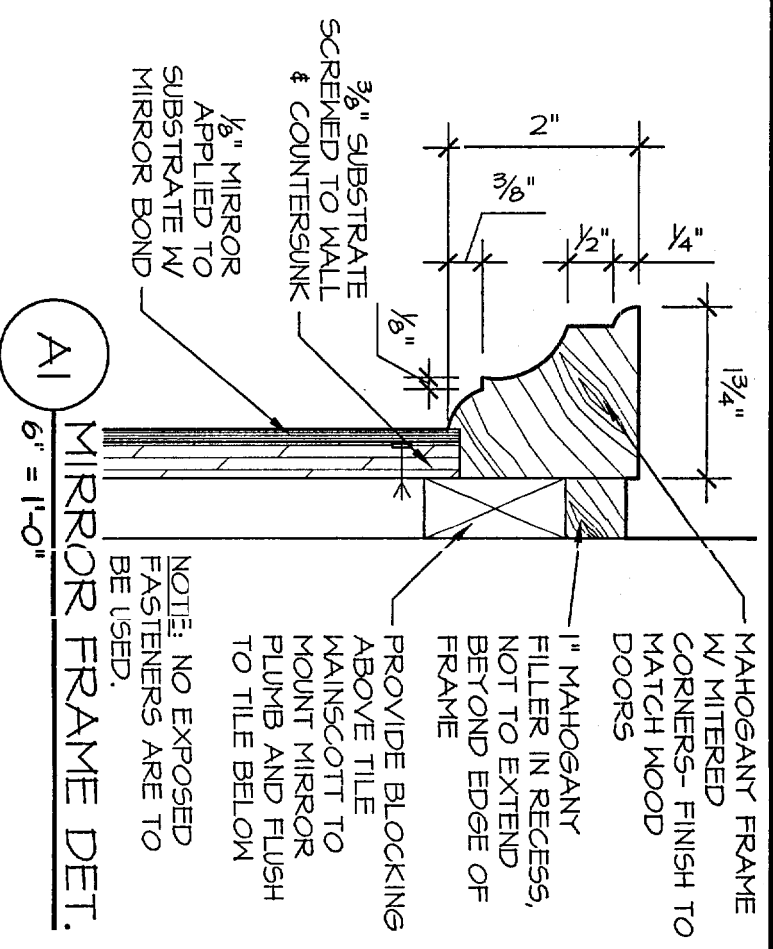
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 1 1/2" = 1'-0"
 SHELF/DRAWER SECTION



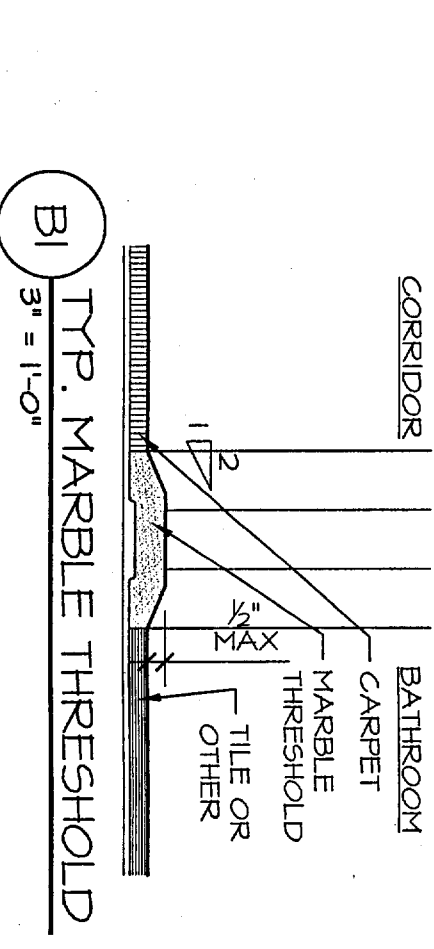
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 1" = 1'-0"
 SHELF/DRAWER PLAN



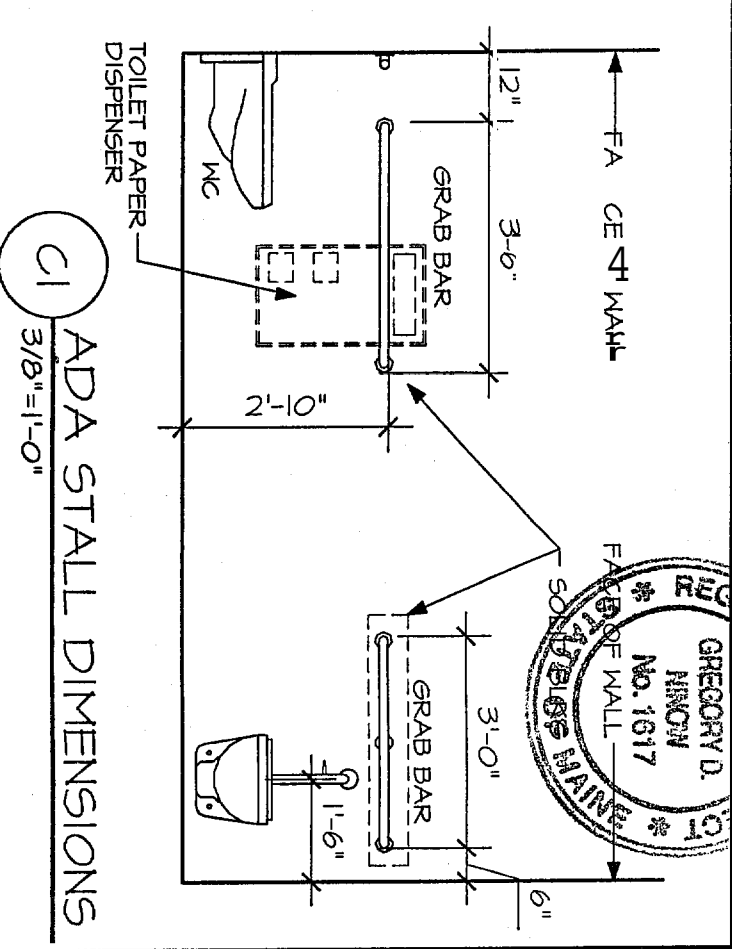
C2
 3" = 1'-0"
 TYPICAL HM HEAD



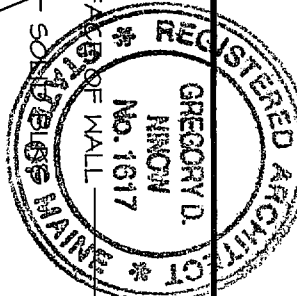
A1
 6" = 1'-0"
 MIRROR FRAME DET.



B1
 3" = 1'-0"
 TYP. MARBLE THRESHOLD



C1
 3/8" = 1'-0"
 ADA STALL DIMENSIONS



Boston, Chicago Philadelphia Portland, ME 428 Fore Street, 3rd Flr. Portland, ME 04101 Tel: 207-874-2777 • Fax: 207-874-2775	TITLE DETAILS		PROJECT FINARD RESTROOMS ONE MONUMENT SQUARE, 9TH FLR PORTLAND, MAINE		PROJECT NORTH 	NO. 1 DATE 3/17/05 REVISIONS ISSUED FOR CONST.
	DATE 3/17/05	DRAWN BY JMH	CHECKED BY JAT	SCALE AS NOTED		NO. 1 DATE 3/17/05 REVISIONS ISSUED FOR CONST.

A701
 05102PT

Bathrooms\9thFloor\05102ptA\05102ptA.dwg Mar 17, 2005 - 11:40am

FINISHES NOTES

- CONTRACTOR SHALL PROVIDE ROUGH AND FINAL FLASH PATCH OF THE FLOOR SLAB FOR AN EVEN FLOORING INSTALLATION.
- WALL TO RECEIVE ONE PRIMER COAT AND TWO TOP COATS, LATEX BASE, EGGSHELL FINISH.
- COORDINATE HARDWARE AND LOCK LOCATIONS WITH OWNER.
- ALL PLUMBING FIXTURES TO BE WHITE PORCELAIN W/ POLISHED CHROME HARDWARE AND TO USE ELECTRONIC, AUTOMATIC MOTION SENSORS.

SOAP & TOWEL DISPENSERS PROVIDED BY OWNER TO BE INSTALLED BY CONTRACTOR.

FINISHES LEGEND

PT-2 PT-3

PATCH & MATCH CORRIDOR FINISHES @ INFILL

BOBRICK MODEL #B-262 HALL MOUNTED TOWEL DISPENSER - BY OWNER

BOBRICK MODEL #B-3803 TOWEL DISPENSER & RECESSED TRASH RECEPTACLE- BY OWNER

BOBRICK MODEL #B-3574 RECESSED HALL-MOUNTED COMBO UNIT

BOBRICK MODEL #B-262 WALL MOUNTED TOWEL DISPENSER - BY OWNER

FINISH SCHEDULE

NO.	MATERIAL	MANUFACTURER	MFR. NUMBER/STYLE	COLOR	REMARKS/LOCATION
V. FINISHES					
P-1	PAINT	ZOLATONE	PRISM, WATERBASE	ZL-0021-IP	THROUGHOUT LIMIT OF WORK W.O.N.
P-2	PAINT	SHERWIN WILLIAMS	RUBENS FLESH#1051	SEMI-GLOSS	DOOR FRAMES
PT-1	PORCELAIN TILE	GRANITI FIANDRE	WARMI-STATUARIO MAY		POLISHED 12X12 WALL TILES.
FLOOR COVERINGS					
PT-2	PORCELAIN TILE	CREATIVE MATERIALS	GRIGIO SARDO 16x16, NAT. FINISH		FLOOR FIELD TILES. CONTACT: PAUL WHITE
PT-3	PORCELAIN TILE	CREATIVE MATERIALS	ATLANTIC BLACK 4x4; NAT. FINISH		FLOOR ACCENT TILES.
CEILING TILE					
CT-1	CEILING TILE	ARMSTRONG	DUNE #1775 TILE, SILHOUETTE 9/16"		BOLT SLOT SUSP. SYSTEM W/ 1/4" REVEAL
COUNTER TOPS					
SS-1	SOLID SURFACE	CORIAN	BURNT AMBER (C)		
DOORS					
	DOORS	MARSHFIELD	AFRICAN MAHOGANY, FLAT CUT, CLEAR FINISH 0-95		PROVIDE OWNER W/ SAMPLE FOR FINAL COLOR APPROVAL.
TOILET PARTITIONS					
	TOILET PARTITIONS	BRADLEY (OR EQUAL)	CEILING-MUNG, BAKED ENAMEL		SUPPORT W/ STRUCTURAL STEEL CHANNEL
ACCESSORIES					
	SOAP DISPENSER	BOBRICK	#B-822, STAINLESS STEEL		LAVATORY-MOUNTED. PROVIDED BY OWNER
	WASTE RECEPT.	BOBRICK	#B-3808, STAINLESS STEEL		COMBINATION TOWEL & WASTE RECEPTACLE
	TOWEL DISPENSER	BOBRICK	#B-262, STAINLESS STEEL		WALL MOUNTED BY OWNER.

REVISIONS

NO.	DATE	ISSUED FOR CONST.
1	3/17/05	

PROJECT NORTH

PROJECT FINARD RESTROOMS
ONE MONUMENT SQUARE, 9TH FLR
PORTLAND, MAINE

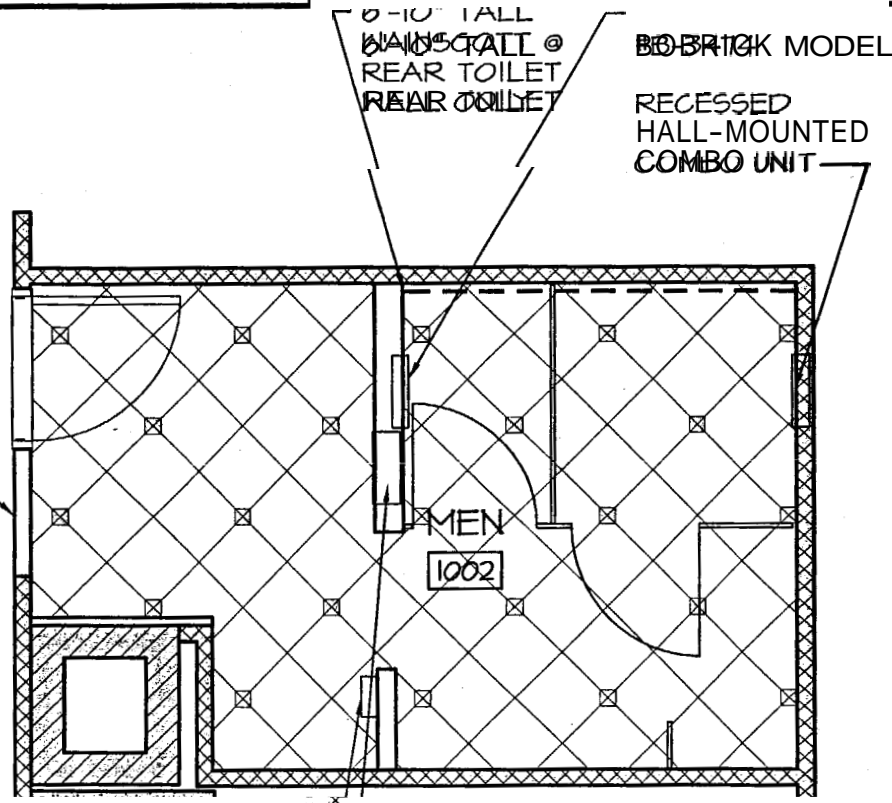
TITLE FINISH PLANS
SCALE AS NOTED

Cubellis Associates Inc.
428 Fore Street, 3rd Flr.
Portland, ME 04101
Tel: 207-874-2777 • Fax: 207-874-2775

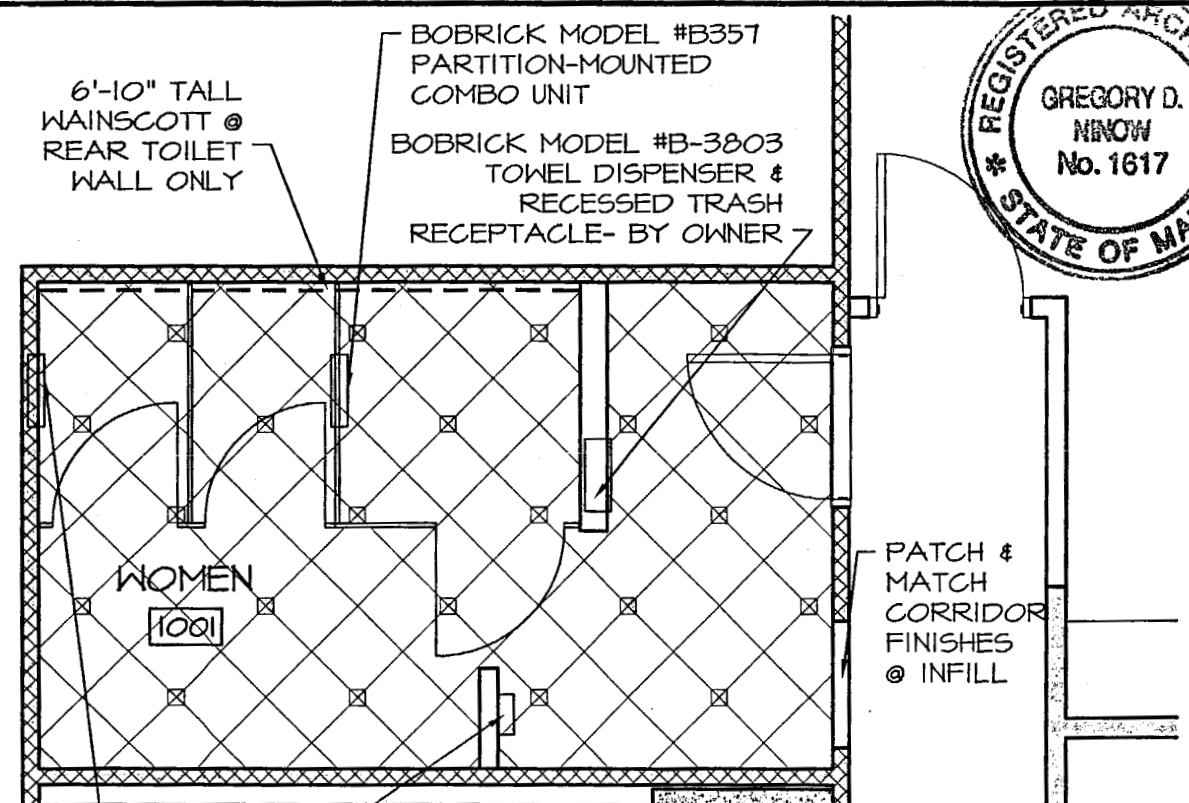
DRAWN BY JMH
CHECKED BY JAT
DATE 3/7/05

REGISTERED ARCHITECT
GREGORY D. MINOW
No. 1617
STATE OF MAINE

A901
05102PT



(A2) MEN'S ROOM PLAN
1/4" = 1'-0"



(A1) WOMEN'S ROOM PLAN
1/4" = 1'-0"