

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 011148EP	Issue Date: 2 0 2001	CBL: 032 K001001
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Location of Construction: 2 Monument Sq	Owner Name: October Corporation	Owner Address: One Capital Plaza 5th Floor CITY OF PORTLAND	Phone: 207-874-0397
Business Name: Dead River Co.	Contractor Name: Bryce Construction Mgt.	Contractor Address: 1 India St Portland	Phone: 2077751955
Lessee/Buyer's Name: Dead River Co.	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B-3

Past Use: Comm. Warehouse	Proposed Use: Same: Interior Alterations to Create Office Space.	Permit Fee: \$924.00	Cost of Work: \$150,000.00	CEO District: 1
FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: B Type: 2B PERMIT ISSUED WITH REQUIREMENTS		

Proposed Project Description:
Interior Alterations to Create Office Space. *2nd floor*

Signature: *[Handwritten Signature]*

Signature: *[Handwritten Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: cjh	Date Applied For: 09/17/2001	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>OL</i> <input type="checkbox"/> Site Plan <i>MS</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/19/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Any exterior work requires separate review</i> Date: _____
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PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling, Additions/Alterations/Accessory Structures, Multi-Family, Commercial Interior Rehab (other than additions), Change of Use

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE**If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction:	2 Monument Square Portland Maine
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Total Square Footage of Proposed Structure	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Number	Owner:	Telephone#:
Chart# 32 Block# K Lot# 1	October Cooperation	874-0397

Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: [*] 150,000
Dead River Co.	2 Monument Square	Fee: \$ \$

Current use: Office Space	Proposed use: Office Space
Project description: Office Rehab. New walls, Carpet, Paint, Kitchen ceiling & lights and HVAC already in place	

Contractor's Name, Address & Telephone	Rec'd By:
Bryce Const. Mgt 11 India Street Portland Maine	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached)

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A "minor/minor" site plan review is required for New Single Family Homes Only (does not include additions, alterations or accessory structures) prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor. **FOUR COPIES ARE REQUIRED FOR NEW SINGLE FAMILY HOMES**

BUILDING PERMIT REPORT

DATE: 18 September 2001 ADDRESS: 2 Monument Sq. CBL: 032-K-001

REASON FOR PERMIT: To make interior renovations

BUILDING OWNER: October Corp.

PERMIT APPLICANT: _____ CONTRACTOR Bryce Const. Mgt.

USE GROUP: B CONSTRUCTION TYPE: 2B CONSTRUCTION COST: 150,000.00 PERMIT FEES: 924.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *21, *22, *23, *24, *28, *30, *31, *33, *35, *38, *39

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

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20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

* 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

* 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

* 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

* 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

* 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

29. All requirements must be met before a final Certificate of Occupancy is issued.

* 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

* 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

32. Please read and implement the attached Land Use Zoning report requirements.

* 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

34. Bridging shall comply with Section 2305.16.

* 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

36. All flashing shall comply with Section 1406.3.10.

* 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

* 38. Interior Finish requirements shall comply with section Table 803.4. (See attached)

* 39. Any penetrations of fire-rated wall, floors & ceilings shall meet the requirements of section 714.0.

Michael Hulse, Building Inspector

Cc: Lt. McDougall, PFD

Marge Schmuskal, Zoning Administrator

Michael Nugent, Inspection Service Manager

PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

803.4 Required flame spread index: Interior finish of walls and ceilings shall have a flame spread index not greater than that designated by the class prescribed for the various use groups listed in Table 803.4, when tested in accordance with Section 803.2.

**Table 803.4
INTERIOR FINISH REQUIREMENTS^a**

Use Group	Required vertical exits and passageways ^c	Corridors providing exit access ⁱ	Rooms or enclosed spaces ^a
A-1, A-2, A-3	I	I ^e	II ^b
A-4, B, E, F, I-1, R-1, R-2	I	II	III
H	I	II	III ^f
I-2	II ^h	II ^h	II ^h
I-3	I	I	III
M: walls	I	II	III
ceilings	I	II	II ^d
R-3	III	III	III
S, U	II	II	III

Note a. For requirements applicable to rooms and enclosed spaces, see Section 803.4.3.

Note b. Class III interior finish materials are permitted in places of assembly with a capacity of 300 persons or less.

Note c. Class III interior finish materials are permitted for wainscoting or paneling for not more than 1,000 square feet (93 m²) of applied surface area in the grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 804.0.

Note d. Class III interior finish materials are permitted in mercantile occupancies of 3,000 square feet (279 m²) or less gross area occupied for sales purposes on the street floor only (balcony permitted).

Note e. Lobby areas shall not be less than Class II.

Note f. Where building height is over two stories, Class II shall be required.

Note g. For the classifications of interior finishes referred to herein, see Section 803.2. For interior finish requirements for exposed insulation, see Section 723.2.

Note h. Walls and ceilings shall be a minimum of Class II materials in individual rooms of not more than four persons in capacity. Where a building is equipped throughout with an automatic sprinkler system installed in accordance with Section 906.2.1, the minimum requirement for interior finish shall be Class II.

Note i. In Use Groups A, I-2 and I-3, Class II interior wall finish material shall be permitted as wainscoting extending not more than 48 inches (1219 mm) above the floor in corridors providing exit access.

803.4.1 Basements: In occupancies other than Use Group R-3, Class I or II interior finish shall be required in all *basements* or other underground spaces from which there is no direct *exit* to the outside of the building, if subject to occupancy for any purpose other than storage or service facilities.

803.4.2 Maximum flame spread: Interior finish materials with flame spread classifications greater than 200 shall not be installed in any room or space subject to human occupancy, except to such extent as specifically approved on the basis of a finding that such installation does not significantly increase the life hazard.

803.4.3 Rooms and enclosed spaces: Requirements for rooms or enclosed spaces are based upon spaces enclosed in partitions of the building or structure, and where a fire-resistance rating is required for the structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered as enclosing spaces and the rooms or spaces on both sides thereof shall be counted as one. In determining the applicable require-

ments for rooms or enclosed spaces, the specific occupancy thereof shall be the governing factor, regardless of the use group classification of the building or structure. Where an *automatic sprinkler system* installed in accordance with Section 906.2.1 or 906.2.2 is installed throughout a building, Class II or III interior finish shall be permitted where Class I or II materials, respectively, are required in Table 803.4.

803.5 Interior trim: Baseboards, chair rails, moldings, trim around openings and other interior trim, not in excess of 10 percent of the aggregate wall and ceiling areas of any room or space, shall be of Class I, II or III materials.

803.6 Carpet and carpet-like wall coverings: Textile wall coverings having a napped, tufted, looped, woven, nonwoven or similar surface shall comply with the following:

1. Such materials shall have a Class I flame spread classification and be installed only in rooms or areas protected by an *automatic sprinkler system* installed in accordance with Chapter 9; or
2. Such materials shall be tested in accordance with an 8-foot by 12-foot by 8-foot high (2438 mm by 3658 mm by 2438 mm) room/corner fire test procedure utilizing a product-mounting system, including adhesive, representative of actual installation. Prior to testing, the sample shall be conditioned at 70 degrees F. (21 degrees C.) ± 5 percent and at a relative humidity of 50 percent ± 5 percent until the sample reaches a rate of weight change of less than 0.1 percent per day. The product shall be exposed to a flame from a gas diffusion burner for 15 minutes. The fire exposure shall be 40 kW for the first 5 minutes, followed by an exposure of 150 kW for an additional 10 minutes. Such tests shall demonstrate that a product will not spread fire to the edge of the specimen or cause flashover in the test room.

803.7 Expanded vinyl wall coverings: Expanded vinyl wall coverings shall comply with the requirements for textile wall and ceiling materials and their use shall be in accordance with Section 803.6.

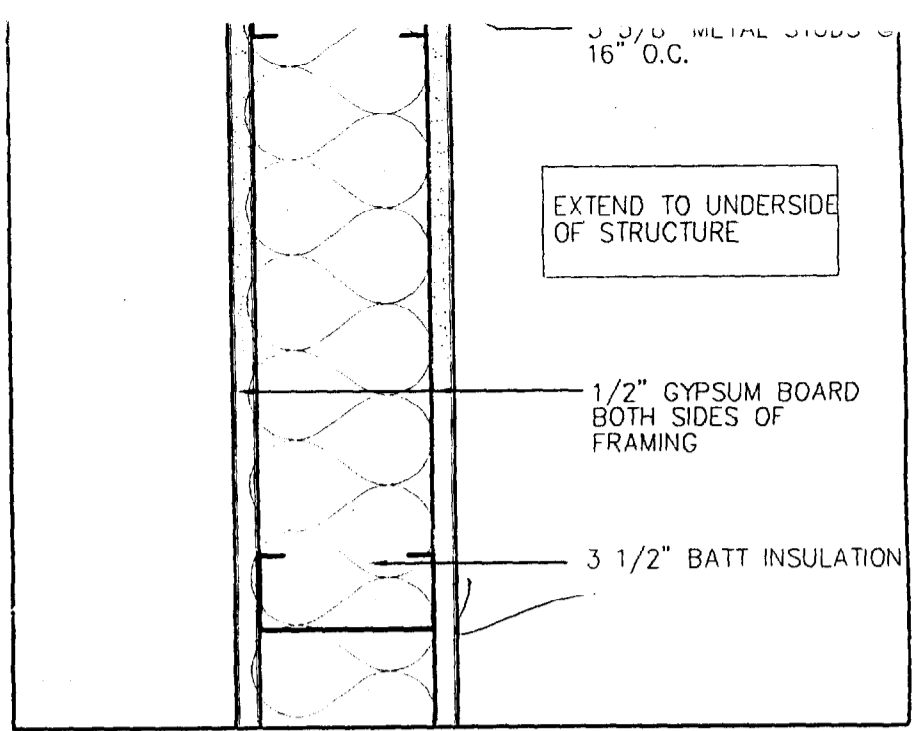
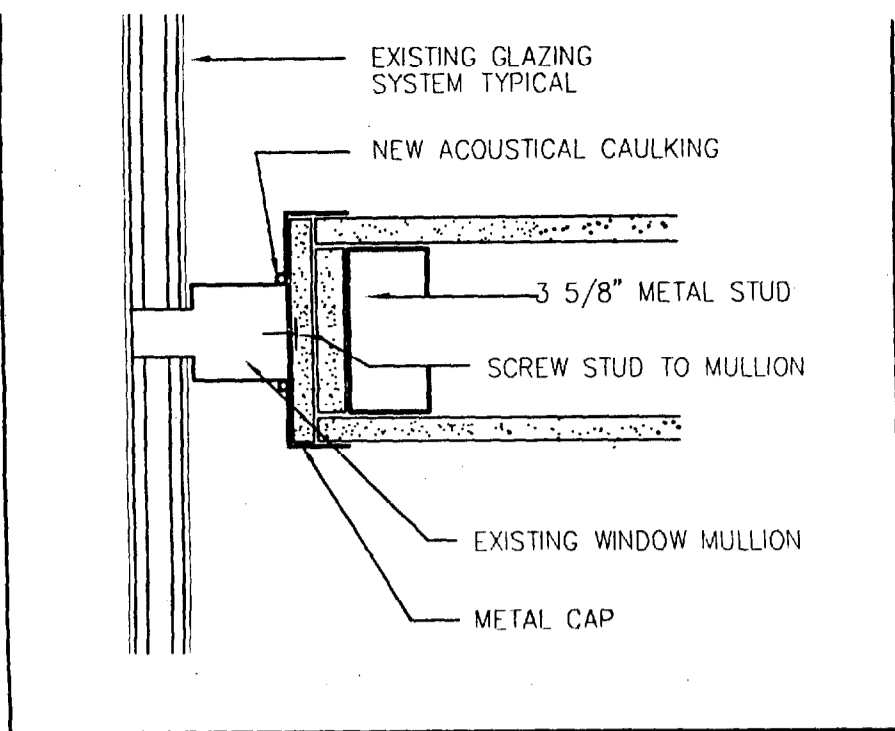
803.8 Design load: Interior wall finish materials shall be capable of resisting the horizontal *load* specified in Section 1606.9.

SECTION 804.0 APPLICATION OF INTERIOR FINISH

804.1 Attachment: Where interior finish is regulated by the requirements of this chapter, interior finish materials shall be applied or otherwise fastened in such a manner that such materials will not readily become detached when subjected to room temperatures of 200 degrees F. (93 degrees C.) for not less than 30 minutes.

804.2 Fireresistive and noncombustible construction: Interior finish materials installed on walls, ceilings or structural elements, which are required to provide a fire-resistance rating or to be of noncombustible construction, shall comply with the provisions of Section 804.2.1 or 804.2.2.

804.2.1 Application to structural elements: Interior finish materials applied to walls, ceilings or structural elements shall be applied directly against the exposed surface of such structural elements or to furring attached to such surfaces. In concrete or masonry construction, furring of wood or any



3

WALL - WINDOW MULLION SCALE: 3" = 1'-0"

4

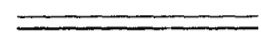

WALL TYPE (SOUND WALL) SCALE: 3" = 1'-0"

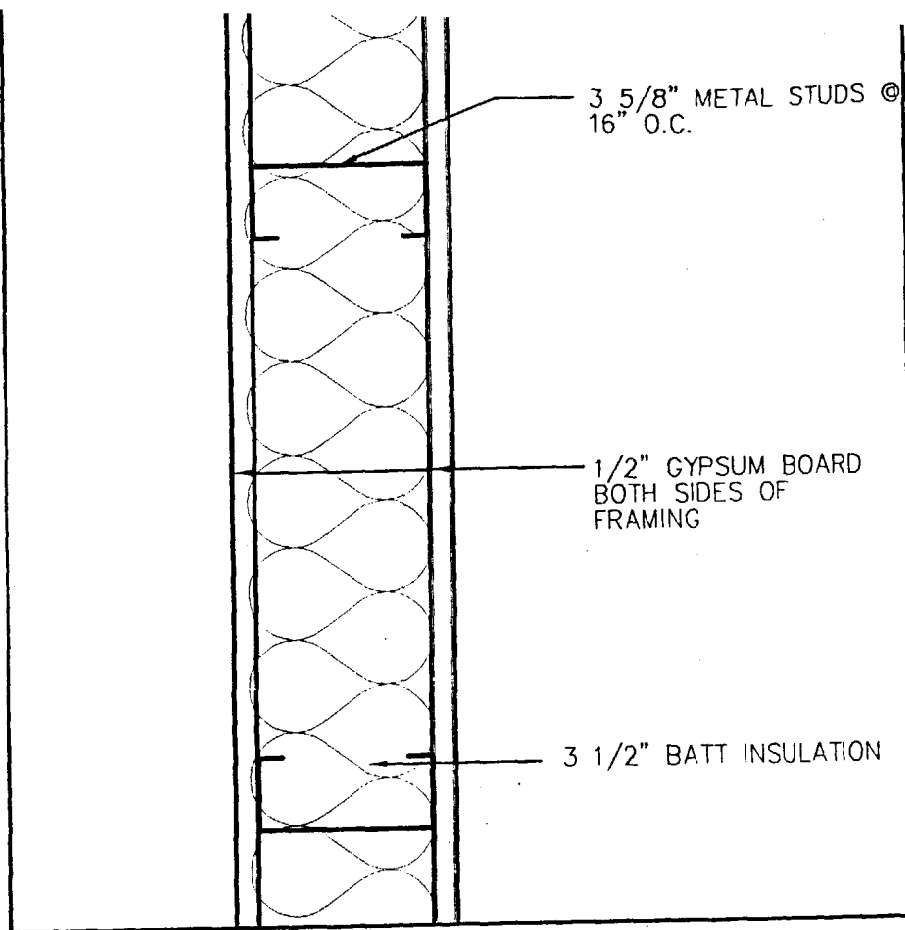
SCHEMATIC DESIGN

GENERAL NOTES

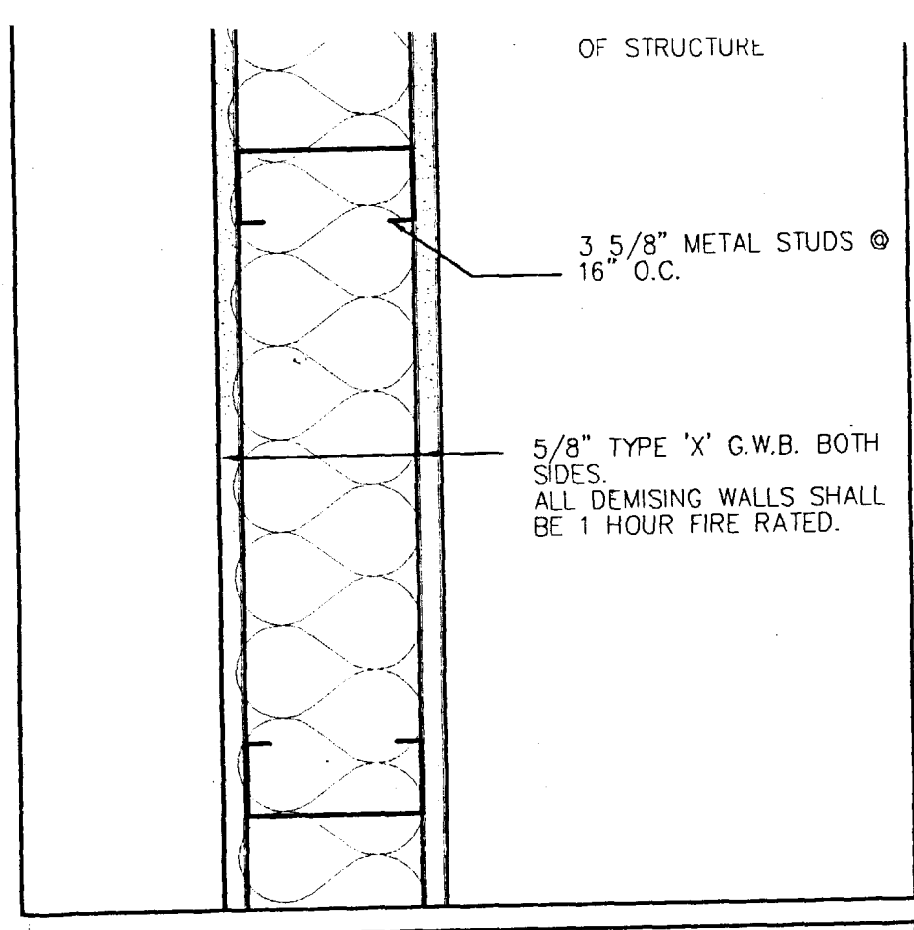
1. CODE COMPLIANCE : ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE, LOCAL AND OTHER CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION. ✓
2. AS NECESSARY PROVIDE NEW 5/8" TYPE "X" GWB TO STRUCTURAL COLUMNS DUE TO DEMOLITION & CONSTRUCTION. ✓
3. SALVAGE BLINDS FOR RE-USE, MODIFY/ ADD AS NEW DUE TO CONSTRUCTION.
4. AS NECESSARY PATCH ALL PENETRATIONS IN EXISTING 2 HR. RATED WALLS. *equal to 2Hrs*
5. PATCH PERIMETER SHELF AS NECESSARY DUE TO DEMOLITION. ✓
6. EXISTING CORE WALLS AND STRUCTURAL COLUMNS HAVE A 2 HOUR RATING. *shall remain 2Hrs.*
7. AT CONFERENCE ROOMS 1 & 2 REPLACE BLUE GLASS w/CLEAR TEMP. GLASS
PROVIDE ROOM SOLID CUT PILE WITH 12" BOARDER AT ELEVATOR LOBBY AND CORRIDORS.
PROVIDE NEW NEUTRAL COLOR PAINT. PAINT ENTIRE NINTH FLOOR.
8. CARPET:
PROVIDE NEW CARPET @ DEAD RIVER CORPORATE OFFICES- PROVIDE 42 oz. CUT PILE w/PAINTED WOOD BASE
AT DEAD RIVER PROPERTY TENANT SPACE-CARPET & VCB TO REMAIN, MODIFY AS NECESSARY DUE TO CONSTRUCTION.
AT C-STORE TENANT SPACE-CARPET & VCB TO REMAIN, MODIFY AS NECESSARY DUE TO CONSTRUCTION.
AT VACANT TENANT SPACE-CARPET & VCB TO REMAIN, MODIFY AS NECESSARY DUE TO CONSTRUCTION.
9. PROVIDE 12" x12" VCT TILE & VCB AT COPY ROOM, SERVE ROOM, KITCHEN & PLAN ROOM. ✓
10. RESIDENTIAL EQUIPMENT @ DEAD RIVER PROPERTY MANAGEMENT KITCHEN ✓
 - 18 cuft. REFRIG.
 - MICROWAVE
 - DISHWASHER
 - SINK
11. PHASE ONE -ERECT DEMISING WALL @ VACANT TENANT SPACE ✓
12. PHASE TWO -CONSTRUCTION OF DEAD RIVER CORPORATE OFFICES, DEAD RIVER PROPERTY MANAGEMENT AND C-STORE ✓
13. PROVIDE CHERRY ENTRANCES AT MAIN ENTRANCE OF DEAD RIVER CORPORATE OFFICES, DEAD RIVER PROPERTY MANAGEMENT, C-STORE & VACANT TENANT SPACE. ✓
14. AT 4 PRIVATE OFFICES PROVIDE CUSTOM BUILT IN CHERRY BOOKCASES. BOOKCASE SHALL EXTEND TO CEILING. REFER TO PLAN FOR LOCATION.
15. HVAC MODIFICATIONS PER CODE.
16. REUSE EXISTING LIGHTS & CEILING , MODIFY AS NECESSARY
PROVIDE RECESSED LIGHTING @ DEAD RIVER CORPORATE WAITING AREA
17. MODIFY SPRINKLER SYSTEM PER CODE ✓
18. MODIFY LIFE/ SAFETY ALARM SYSTEM PER CODE ✓
19. COORDINATE SECURITY SYSTEM w/CUNNINGHAM SECURITY ✓
20. PROVIDE LOCKS AT ALL ENTRANCE DOORS &EGRESS DOORS ✓
21. ALL NEW PRIVATE OFFICES AND CONFERENCE ROOMS SHALL BE OFFICE FRONT SYSTEMS TO MATCH EXISTING. ✓
22. RELOCATE FAN COIL UNITS AS PER PLAN ✓

LEGEND

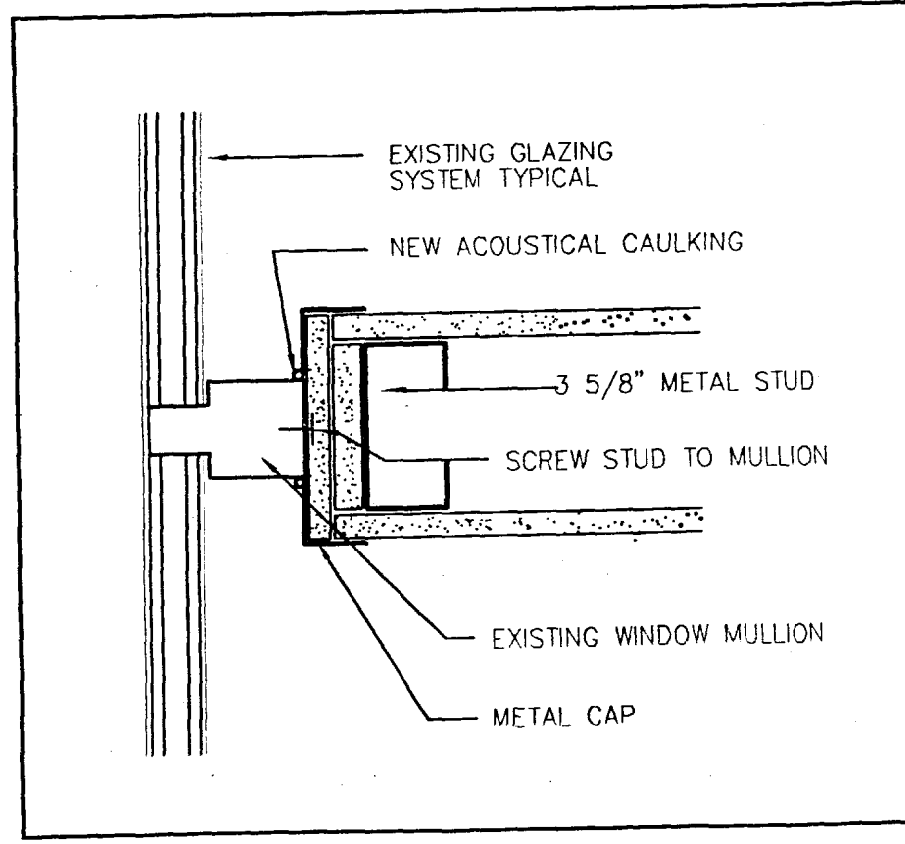
-  INDICATES EXISTING WALL TO REMAIN
-  INDICATES NEW WALL CONSTRUCTION



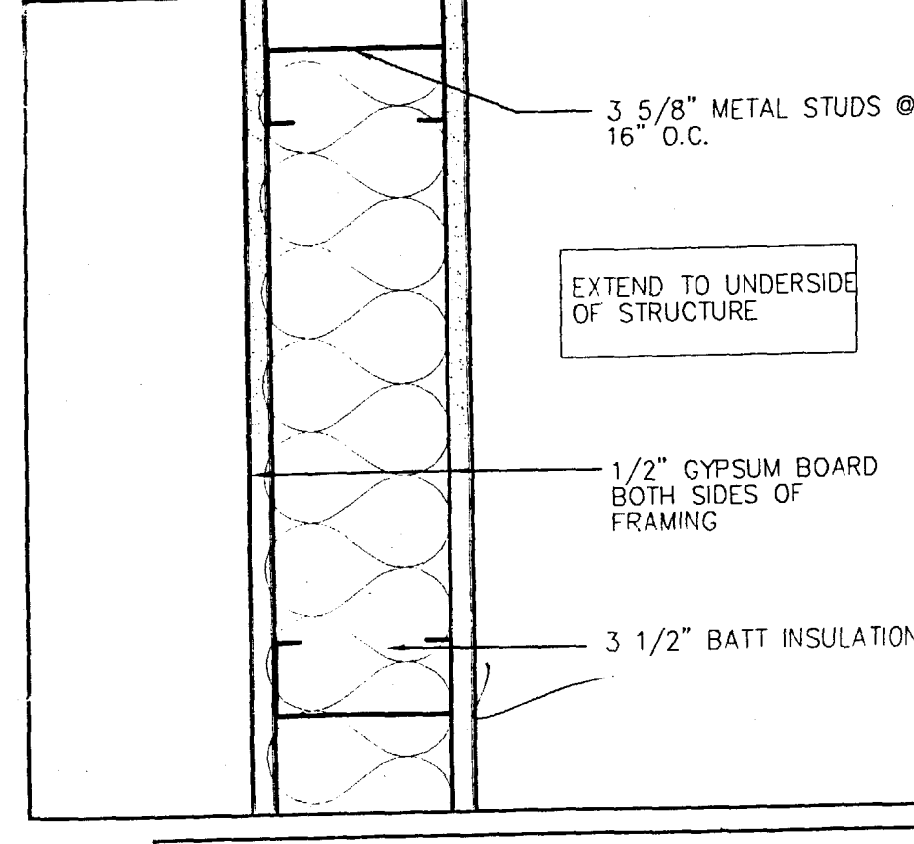
1 WALL TYPE SCALE: 3" = 1'-0"



2 RATED WALL TYPE SCALE: 3" = 1'-0"



3 WALL - WINDOW MULLION SCALE: 3" = 1'-0"



4 WALL TYPE (SOUND WALL) SCALE: 3" = 1'-0"



GAWRON ARCHITECTS
 29 Black Point Road
 Scarborough, ME 04074
 www.gawron.com
 Tel. 207.883.6307
 Fax. 207.883.0361

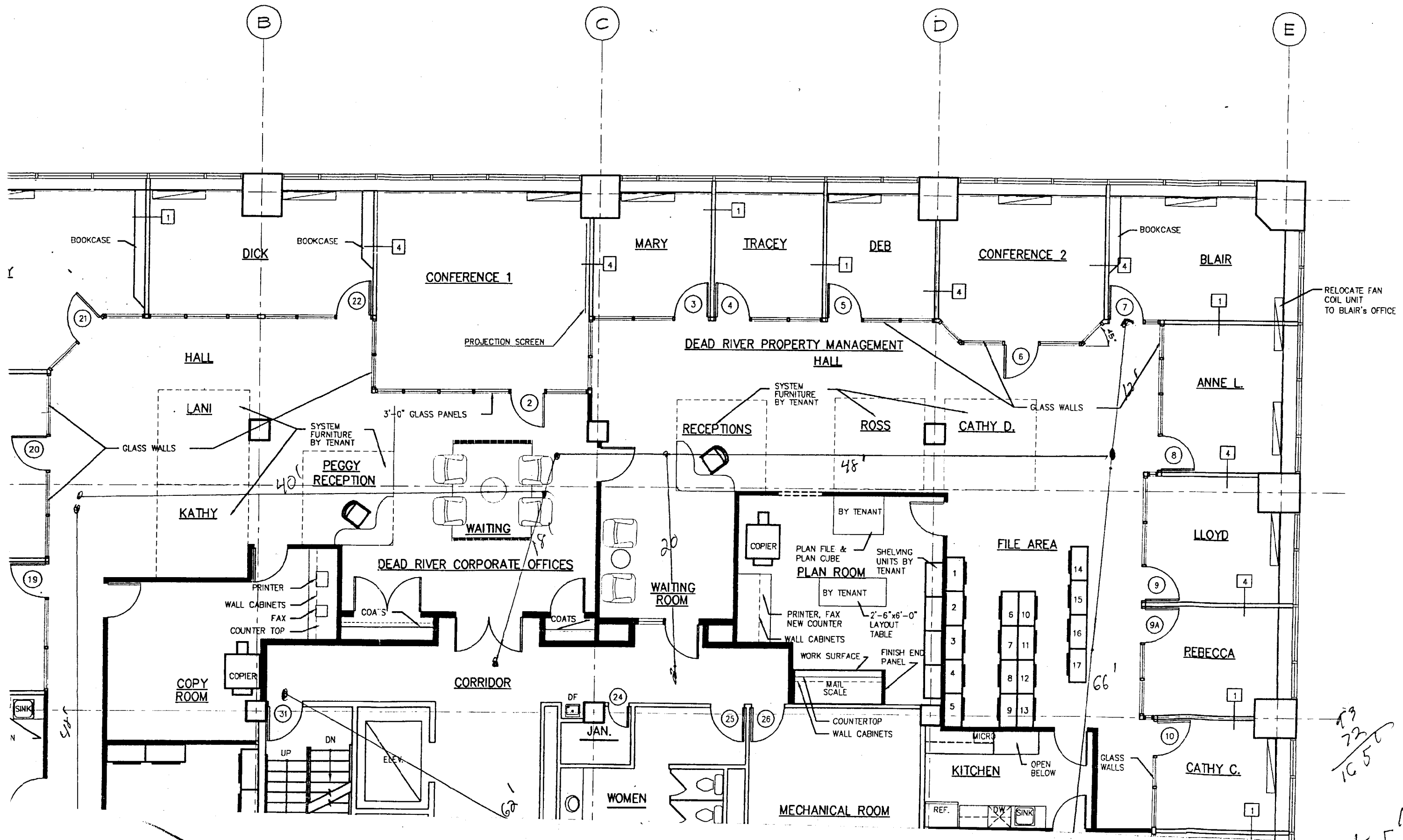
SCHEMATIC DESIGN

LEGEND

— INDICATES EXISTING WALL TO REMAIN

DEAD RIVER COMPANY

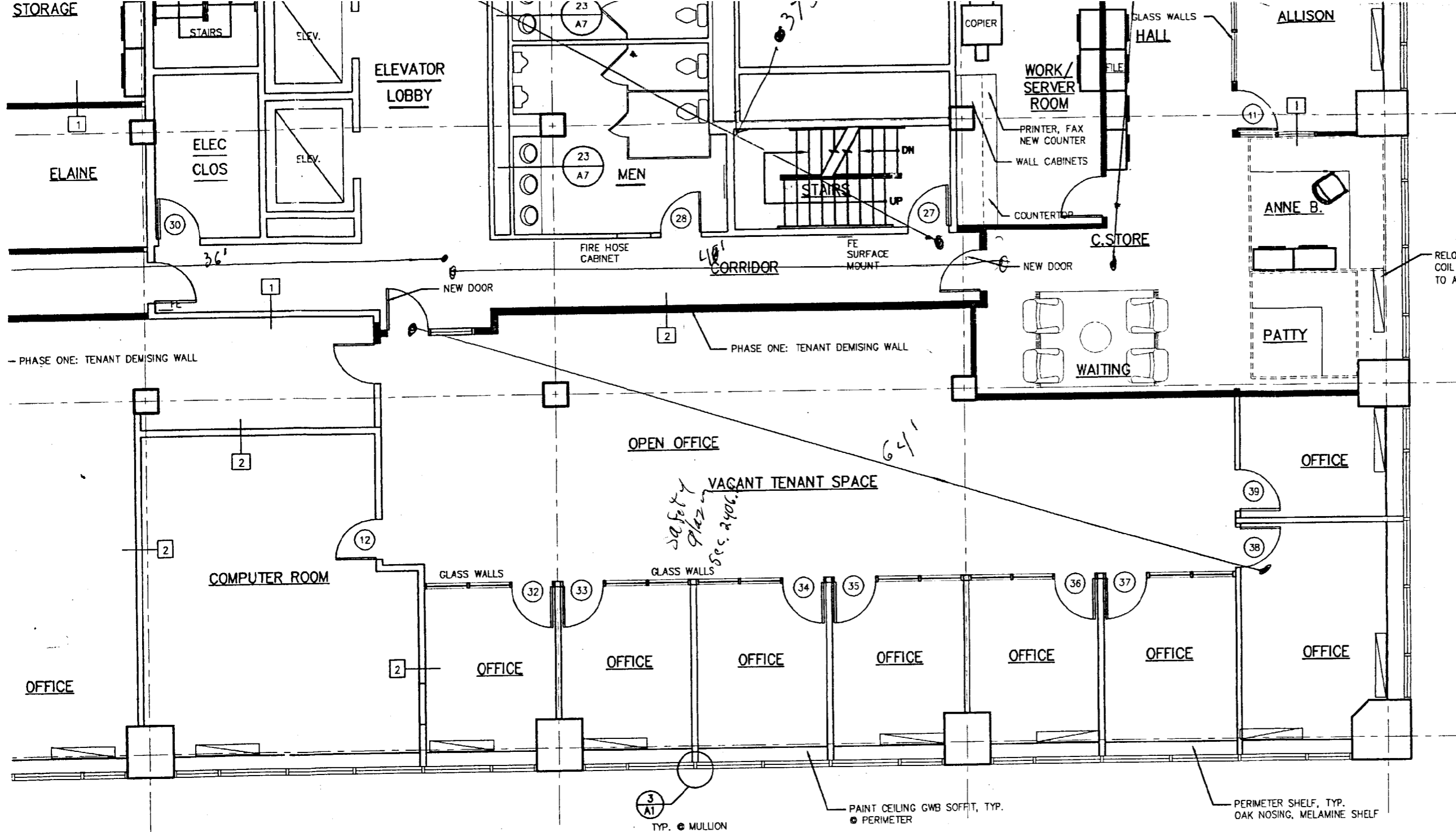
TWO MONUMENT SQUARE
 PORTLAND, MAINE



RELOCATE FAN COOL UNIT TO BLAIR'S OFFICE

29
22
1050

1/5/01



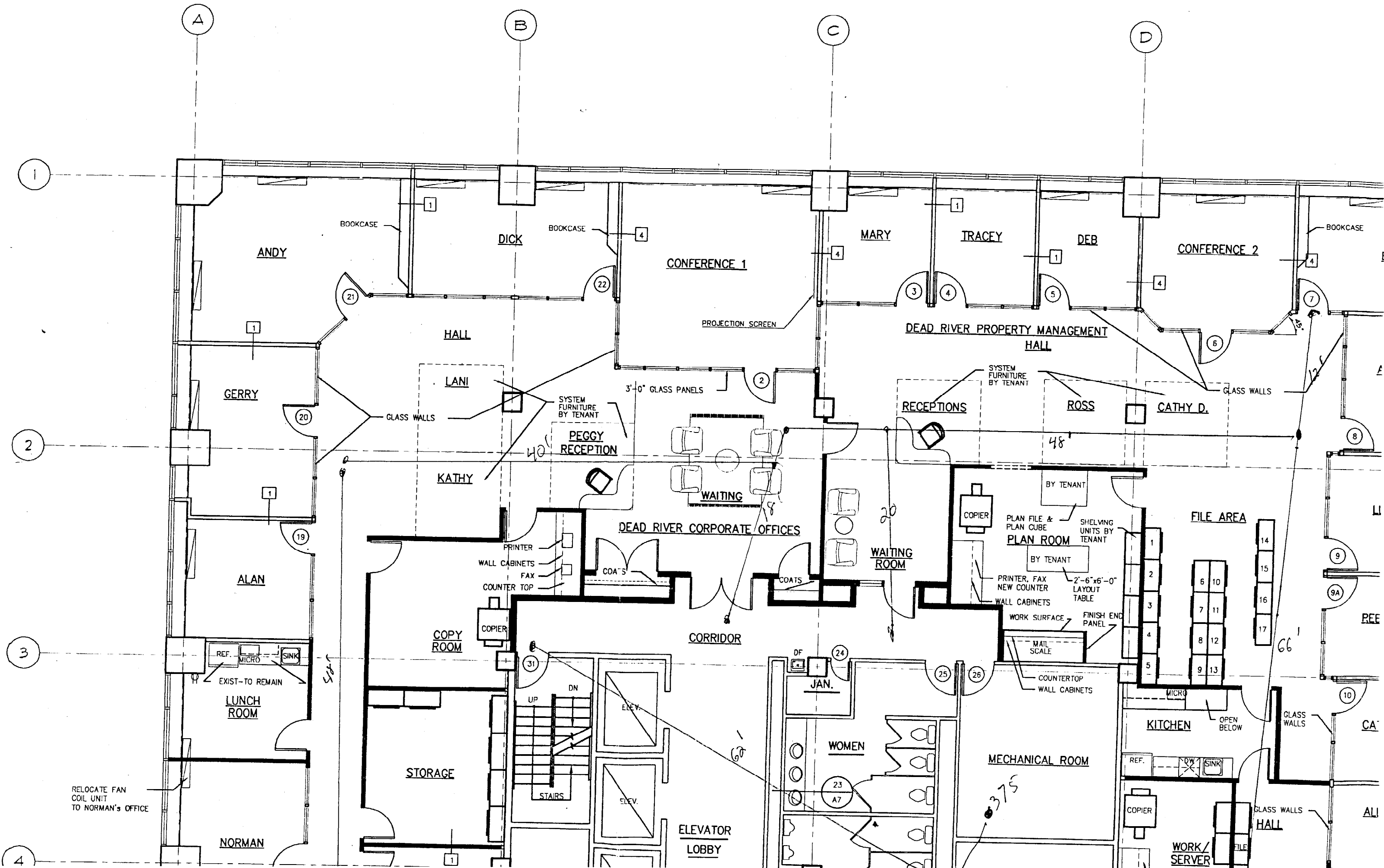
SCHEMATIC GENERAL

1. CODE COMP. OF STATE, L OR HAVE JU
2. AS NECESS COLUMNS DU
3. SALVAGE BI
4. AS NECESS
5. PATCH PER
6. EXISTING CO
7. AT CONFER PROVIDE R: PROVIDE N
8. CARPET: PROVIDE N AT DEAD F AT C-STOP AT VACAN
9. PROVIDE 12
10. RESIDENTI
11. PHASE ON
12. PHASE TV
13. PROVIDE (OFFICES,
14. AT 4 PRIM SHALL E)
15. HVAC MOI
16. REUSE EX PROVIDE
17. MODIFY S
18. MODIFY L
19. COORDINA
20. PROVIDE
21. ALL NEW BE OFFIC
22. RELOCATE

FLOOR PLAN FOR DEAD RIVER COMPANY

SCALE 1/8"=1'-0"

TO MONUMENT SQUARE



RELOCATE FAN COIL UNIT TO NORMAN'S OFFICE

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WORK/ SERVER ROOM