

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 0100092

PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

This is to certify that BEER GUYS LLC / M C Hallas permission to Post Fire -Replace wood fire escape w/ powder coated steel to existing dimensions**FEB 18 2010**r 396 FORE STCB 032 J004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise worked-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 2/18/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0092	Issue Date:	CBL: 032 J004001
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Location of Construction: 396 FORE ST	Owner Name: BEER GUYS LLC	Owner Address: 396 FORE ST	Phone:
Business Name:	Contractor Name: M C Hall	Contractor Address: 1039 Riverside St Portland	Phone: 2073182100
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: B-3

Past Use: Commercial Mixed Use <i>legal use</i>	Proposed Use: Commercial Mixed Use- Post Fire - Replace wood fire escape w/ powder coated steel to existing dimensions <i>1st floor restaurant - 2nd floor offices - 3rd floor apt</i>	Permit Fee: \$140.00	Cost of Work: \$12,000.00	CEO District: 1
Proposed Project Description: Post Fire -Replace wood fire escape w/ powder coated steel to existing dimensions		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: <i>A2/B1P</i> Type: <i>3B</i> <i>IBC-2003</i>	
		Signature: <i>KL</i>	Signature: <i>JMB 2/18/10</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 02/03/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED

FEB 18 2010

City of Portland

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>2/4/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>2/8/10</i> <i>J. Andrews</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0092	Date Applied For: 02/03/2010	CBL: 032 J004001
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Location of Construction: 396 FORE ST	Owner Name: BEER GUYS LLC	Owner Address: 396 FORE ST	Phone:
Business Name:	Contractor Name: M C Hall	Contractor Address: 1039 Riverside St Portland	Phone (207) 318-2100
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial Mixed Use- Post Fire -Replace wood fire escape w/ powder coated steel to existing dimensions	Proposed Project Description: Post Fire -Replace wood fire escape w/ powder coated steel to existing dimensions
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 02/08/2010**Note:** **Ok to Issue:** ☒

- 1) * Construction details to be consistent with drawings approved by HP Board on October 7, 2009 and in compliance with Board conditions of approval--see attached HP Board decision letter.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/04/2010**Note:** **Ok to Issue:** ☒

- 1) Prior to the issuance of this permit, the revocable license shall be completed and signed as required to be in force.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a restaurant on the first floor with offices on the 2nd floor and one dwelling unit on the third floor. Any change of use shall require a separate permit application for review and approval.
- 4) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 02/18/2010**Note:** **Ok to Issue:** ☒

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) The guardrail system shall meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 02/10/2010**Note:** **Ok to Issue:** ☒

- 1) Owner must have a signed agreement with adjacent property to use their exterior door as an exit.
- 2) Fire Escape must be non-combustible. Also, owner is responsible for snow and ice removal.

Comments:

2/9/2010-gg: received from historic as of 02/08/10. /gg

2/11/2010-jmb: Left vcmmsg for Richard P. For details on which design option they are using, steel or composite treads and to label which building area is the apartment and which is the office.

Location of Construction: 396 FORE ST	Owner Name: BEER GUYS LLC	Owner Address: 396 FORE ST	Phone:
Business Name:	Contractor Name: M C Hall	Contractor Address: 1039 Riverside St Portland	Phone (207) 318-2100
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

2/12/2010-jmb: Returned call to Richard P. With verification using option 2 on the plans and that the surface of the FE will also be perforated steel. Informed of Marge's condition.

2/16/2010-mes: received Gritty's fire escape revocable license from legal - If all other review requirements are being met, then this permit can be issued.

2/18/2010-jmb: Received note from Marge on 2/16 that the revokable license has been submitted, ok to issue

2/4/2010-mes: the revocable license shall be signed and executed as required to be in force PRIOR to issuing the building permit.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>7.9 Wharf Street AKA 396 Fore</u>			
Total Square Footage of Proposed Structure/Area <u>120 SF</u>		Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>32</u> Block# <u>J</u> Lot# <u>9</u>		Applicant *must be owner, Lessee or Buyer* Name <u>Richard P. Beer</u> Address <u>396 Fore Street</u> City, State & Zip <u>Portland, ME 04101</u>	
Lessee/DBA (If Applicable)		Telephone: <u>207-232-1042</u>	
Owner (if different from Applicant) Name Address <u>Same</u> City, State & Zip		Cost Of Work: \$ <u>12,000</u> C of O Fee: \$ Total Fee: \$ <u>140</u>	
Current legal use (i.e. single family) <u>Office/Res.</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? <u>Office</u> Proposed Specific use: <u>Office</u> Is property part of a subdivision? <u>No</u> If yes, please name Project description: <u>Post-Fire.</u> <u>Replace wood fire escape w/ powder coated steel to existing dimensions.</u>			
Contractor's name: <u>Mark Hall / Mc Hall Construction</u> Address: <u>14 Caddie Lane</u> City, State & Zip <u>Portland, ME</u> <u>04103</u> Telephone: Who should we contact when the permit is ready: <u>Mark Hall</u> Telephone: <u>318-2100</u> Mailing address: <u>Same</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

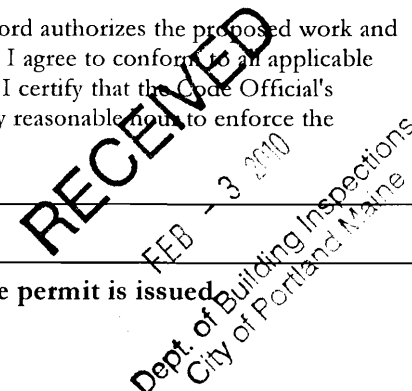
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 2.3.10

This is not a permit; you may not commence ANY work until the permit is issued.



CITY OF PORTLAND, MAINE

HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke, Vice-Chair
Otis Baron
Scott Benson
Michael Hammen
Ted Oldham
John Turk

October 8, 2009

Richard Pfeffer
Gritty McDuffs
396 Commercial Street
Portland, ME 04101

Re: Rear Deck Replacement; 396 Fore Street (Wharf Street elevation)

Dear Mr. Pfeffer:

On October 7, 2009 the City of Portland's Historic Preservation Board voted 6-0 (Baron absent) to approve your application for a Certificate of Appropriateness for rear deck replacement at 396 Fore Street (Wharf Street elevation.) Approval was for Option 2C with perforated decking, as presented by your project architect, Joe Delaney.

Board approval was made subject to the following conditions:

- * All visible surfaces to be painted out in the same dark color in order to provide a consistent and recessive appearance.
- * Any proposed exterior lighting to be reviewed and approved by staff.

All improvements shall be carried out as shown on the plans and specifications submitted for the 10/7/2009 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of

one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Note: Your project may also require a building permit. Please contact Building Inspections (874-8703) to make this determination.

Sincerely,

A handwritten signature in black ink, appearing to read "Deborah Andrews", with a stylized flourish at the end.

Deborah Andrews
Historic Preservation Program Manager

cc: Joe Delaney, Whipple-Callender Architects

From: Gary Wood
To: Danielle West -Chuhta; Mary Pereira
Date: 2/3/2010 1:04 PM
Subject: Re: Richard from Gritty's

NB: if we hav Joe sign these we should get it done before Friday as he is gone all next week and Richard hopes to get the fire escape ,which was damged in a fire, repaired as soon as possible.
he filed his building permit application today and was told it would take 1-2 weeks to process.

Richard said the fire escape in question does not come down and contact the underlying sidewalk in any way as it consists of decks and stairs on the second floor and above

>>> Mary Pereira 2/3/2010 12:26 PM >>>

Danielle, Gary had asked me to ask you the process for obtaining a Revocable license to occupy air space above a sidewalk. It is in connection with the Gritty's building, and replacing the fire escapes that were damaged in the fire back in September.

Gary, here's Richard's email: richard@grittys.com

Thanks,
M.

CC: Marge Schmuckal

>
>614 264 0021 (cell)

**REVOCABLE LICENSE FOR INSTALLATION and MAINTENANCE OF
RE:**

This revocable license is granted by the City of Portland "CITY" to _____ hereinafter "OWNER" for the installation of the following _____ on property owned by the City in the vicinity of _____, Portland, Maine: _____, as more particularly shown on _____. The installation and maintenance of _____ shall be governed by the terms of this License Agreement.

1. The _____ shall be installed in/on _____ as shown on _____ attached hereto.
2. OWNER is hereby permitted to occupy the land located _____ for the placement of _____.
3. OWNER shall be responsible for the proper installation and proper maintenance of _____ (including, but not limited to, maintenance of the trees, tree wells and seasonal changing of plants). In the event of damage to the same, OWNER shall promptly repair/restore the _____.
4. OWNER shall procure and maintain liability insurance in an amount of not less than Four Hundred Thousand Dollars (\$400,000) combined single limit (or the amount stated in the Maine Tort Claims Act as the same may be amended from time to time), covering claims for bodily injury, death and property damage and shall either name the CITY as an additional insured with respect to such coverage or shall obtain a contractual liability endorsement covering the obligations of OWNER under the terms of this License Agreement.
5. OWNER, by execution of this License Agreement, hereby agrees to assume responsibility for any and all claims and/or damage to persons or property arising out of or in any way related to its entry upon CITY property located _____, and does hereby forever waive, release, relinquish, remise and discharge the CITY, its agents, employees, successors and assigns from any and all losses, costs or expenses (including reasonable attorneys' fees), damages, demands, liabilities, claims, actions, causes of action, suits, or judgments (collectively, "Claims") whatsoever of every name and nature, in law and in equity, including without limitation those related in any manner to any accident or injury to, or death of, any person, or any damage to property occurring on, in or in the vicinity of the area covered by this License Agreement, arising out of the presence in and use by the OWNER of the area covered by this License Agreement.
6. This License Agreement is assignable to any subsequent owners of the OWNER'S property located at _____ Portland, Maine.

7. This License may be revoked upon one (1) month written notice from the CITY to the OWNER and shall automatically terminate in the event that the building located at _____ is destroyed, removed or otherwise ceases to exist on the site.

CITY OF PORTLAND

Date _____

Joseph E. Gray, Jr.,
City Manager

OWNER

Print Name: _____

STATE OF MAINE
CUMBERLAND, ss.

Dated: _____

Personally appeared the above-named Joseph E. Gray, Jr. and gave oath that the foregoing statements made by him are true to the best of his knowledge, information and belief, and where based upon information and belief, he believes the same to be true.

Before me,

Notary Public/Attorney-at-Law

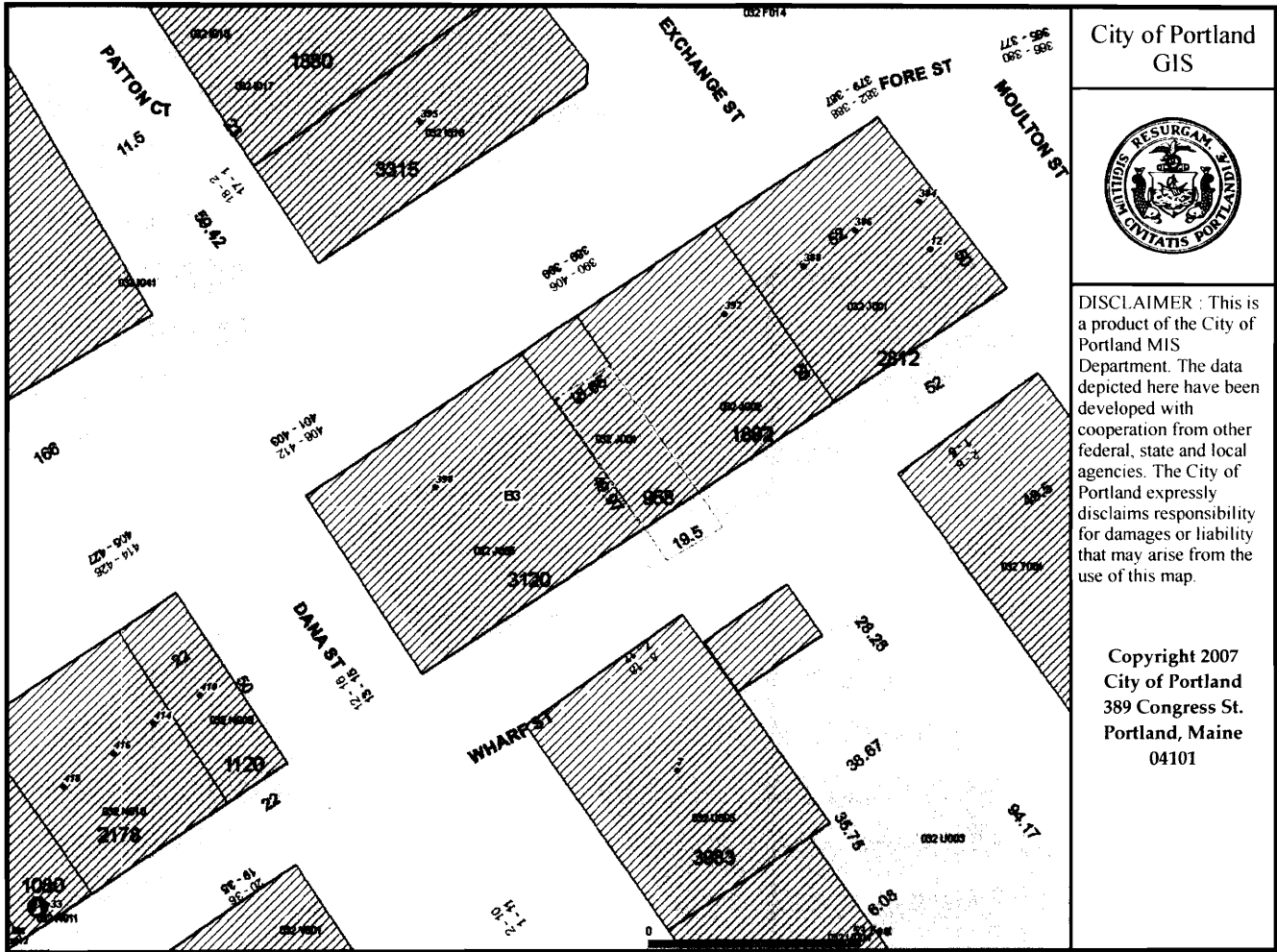
STATE OF MAINE
CUMBERLAND, ss.

Dated: _____

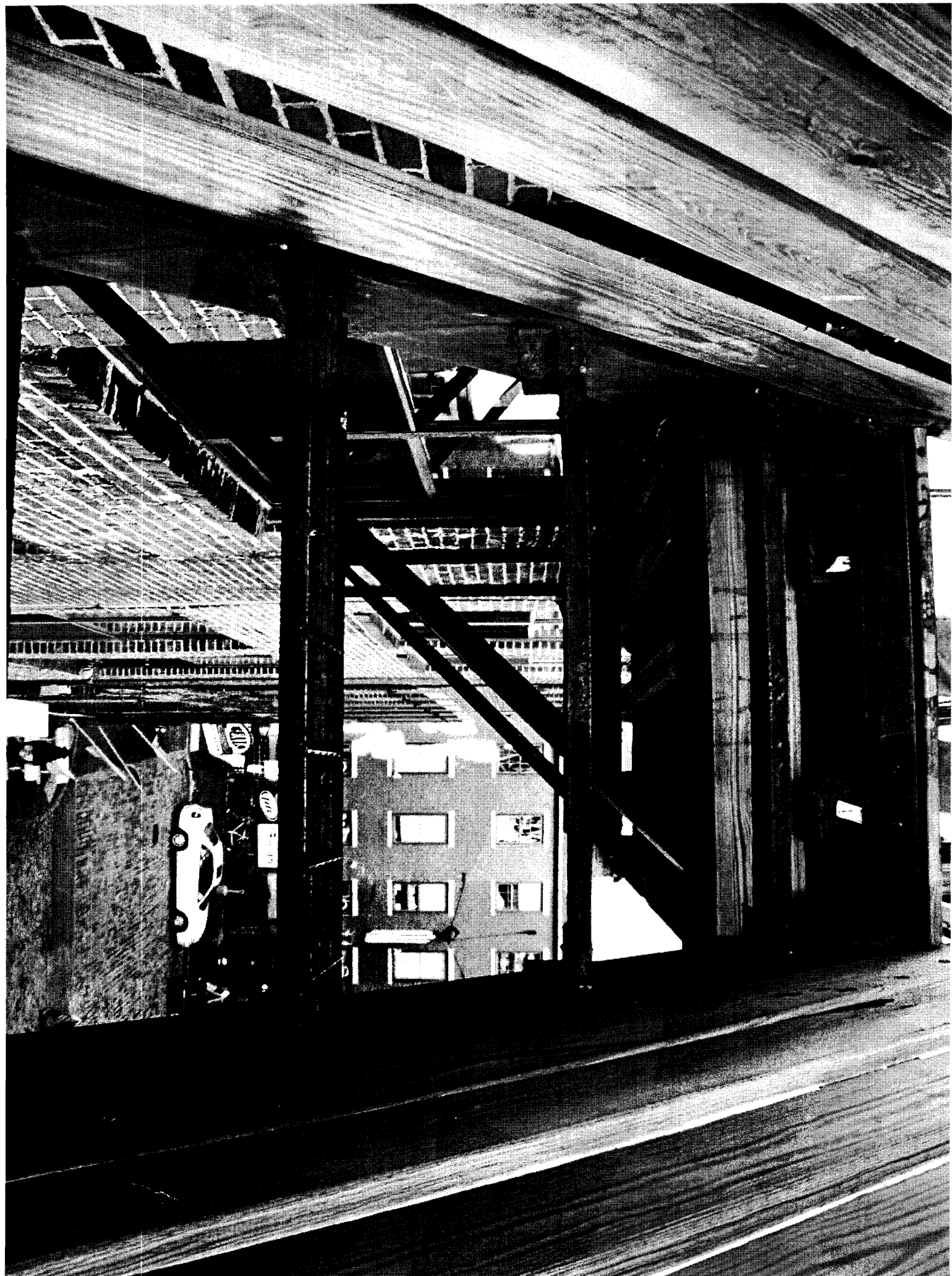
Personally appeared the above-named _____ and gave oath that the foregoing statements made by him/her are true to the best of his/her knowledge, information and belief, and where based upon information and belief, he/she believes the same to be true.

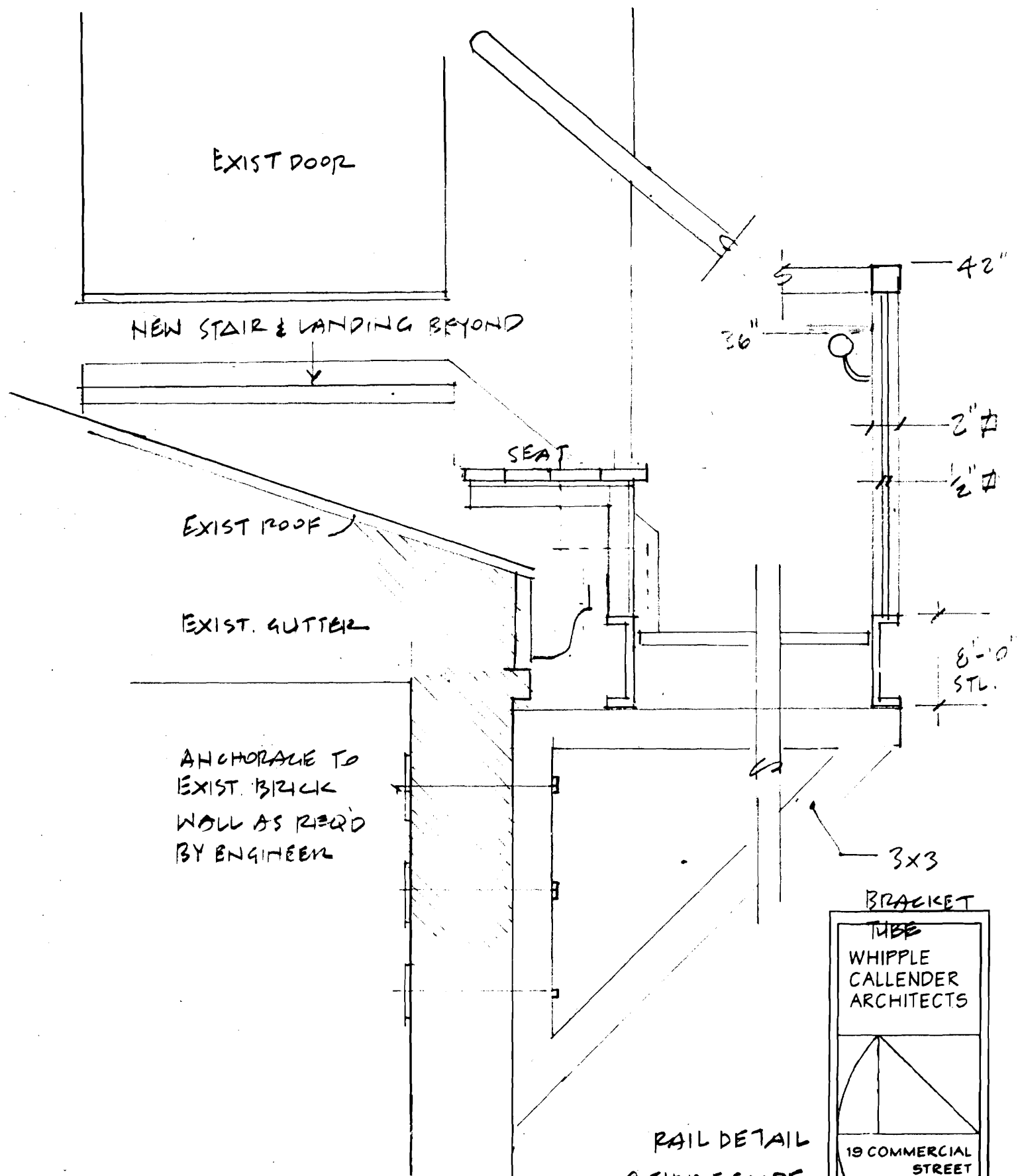
Before me,

Notary Public/Attorney-at-Law



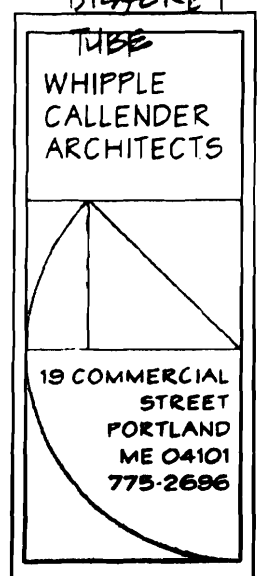






ANCHORAGE TO
EXIST. BRICK
WALL AS REQ'D
BY ENGINEER

RAIL DETAIL
C FIRE ESCAPE
396 FORE ST.
1 1/2'-0" 2/09





CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 398 Fore Street

Issued to 398 Fore Street Partners

Date of Issue June 28, 1983

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 83-137, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

2nd & 3rd Floors

Office & Apartment

Limiting Conditions:

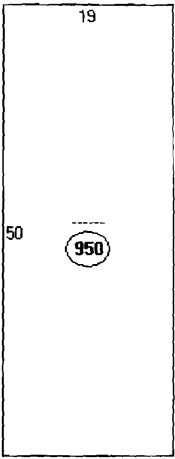
This certificate supersedes
certificate issued

Approved:

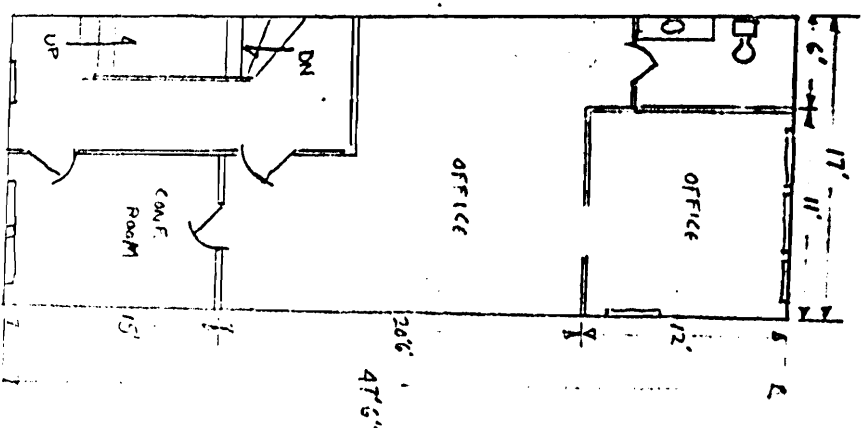
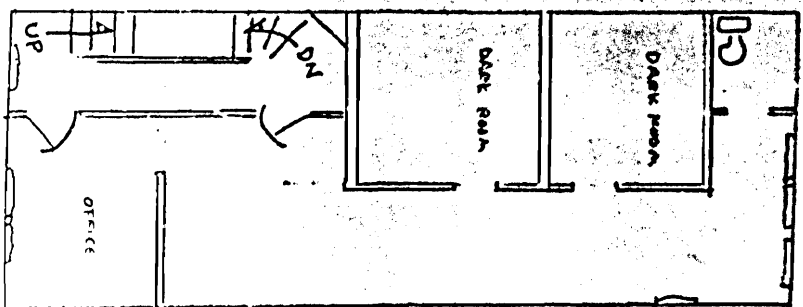
(Date)

Inspector

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



Descriptor/Area
A:
950 sqft



RECEIVED

MAR - 3 1986

DEPT. OF BUILDING INSPECTIONS
CITY OF BOSTON

309 FINE ST. 2nd FLOOR
BOSTON, MA 02101
ANTHONY J. G. AUGER, JR.
71 E. WALTON ST.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE

MAR 18 1986

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 396 Fore St. 2nd floor Fire District #1 ☐ #2 ☐
 1. Owner's name and address Alvin H. Clemens - 489 Main St. Harleyville Telephone 215-450-0190
 2. Lessee's name and address Pa. 19438 Telephone
 3. Contractor's name and address Philip C. Murray Jr. - 71 East Valentine St. Westbrook Telephone 856-6042
 Proposed use of building office No. of sheets
 Last use photo lab No. families
 Material No. stories Heat Style of roof Roofing
 Other buildings on same lot
 Estimated contractual cost \$ 3,000...

FIELD INSPECTOR—Mr.
 @ 775-5451

Appeal Fees \$
 Base Fee 35.00
 ch of use 25.00
 Late Fee
 TOTAL \$ 60.00

Change of use from photolab to office space
 alterations, no structural changes as per
 plans. 2 sheets of plans.

Stamp of Special Conditions

Send permit to # 3 04092

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
 Is connection to be made to public sewer? existing If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street? no

ZONING:

BUILDING CODE:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Fire Dept.:

Health Dept.:

Others:

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PORTLAND, MAINE ..

NOV. 18, 1983

NOV 21 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 398 Fore Street - 3rd floor

Fire District #1 ☐ #2 ☐

1. Owner's name and address Michael Mastromardi - 50 Exchange St. Telephone 773-3999

2. Lessee's name and address Telephone

3. Contractor's name and address Philip G. Murray, Jr. - 88 Park St. Telephone 772-5729

No. of sheets

Proposed use of building residence No. families 1

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractor cost \$ 7,000

FIELD INSPECTOR Mr. Appeal Fees \$

@ 775-5451

Base Fee \$ 45.00

Late Fee

TOTAL \$ 45.00

To extend loft, changing support for same as per plans. 2 sheets of plans.

Stamp of Special Conditions

send permit to # 3 04101

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals

DETAILS OF NEW WORK

Is any plumbing involved in this work? **yes** Is any electrical work involved in this work? **yes**
Is connection to be made to public sewer? **existing** If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-- Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
Is one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION-- PLAN EXAMINER

Will work require disturbing of any tree on a public street? **NO**

ZONING

BUILDING CODE

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? **yes**

Fire Dept.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Final inspection required at completion of work.

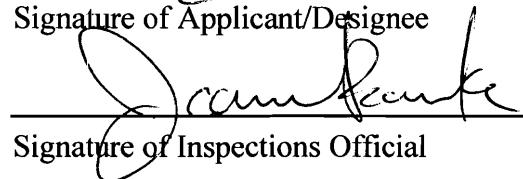
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

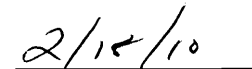
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



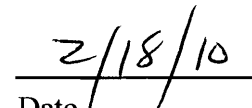
Signature of Applicant/Designee



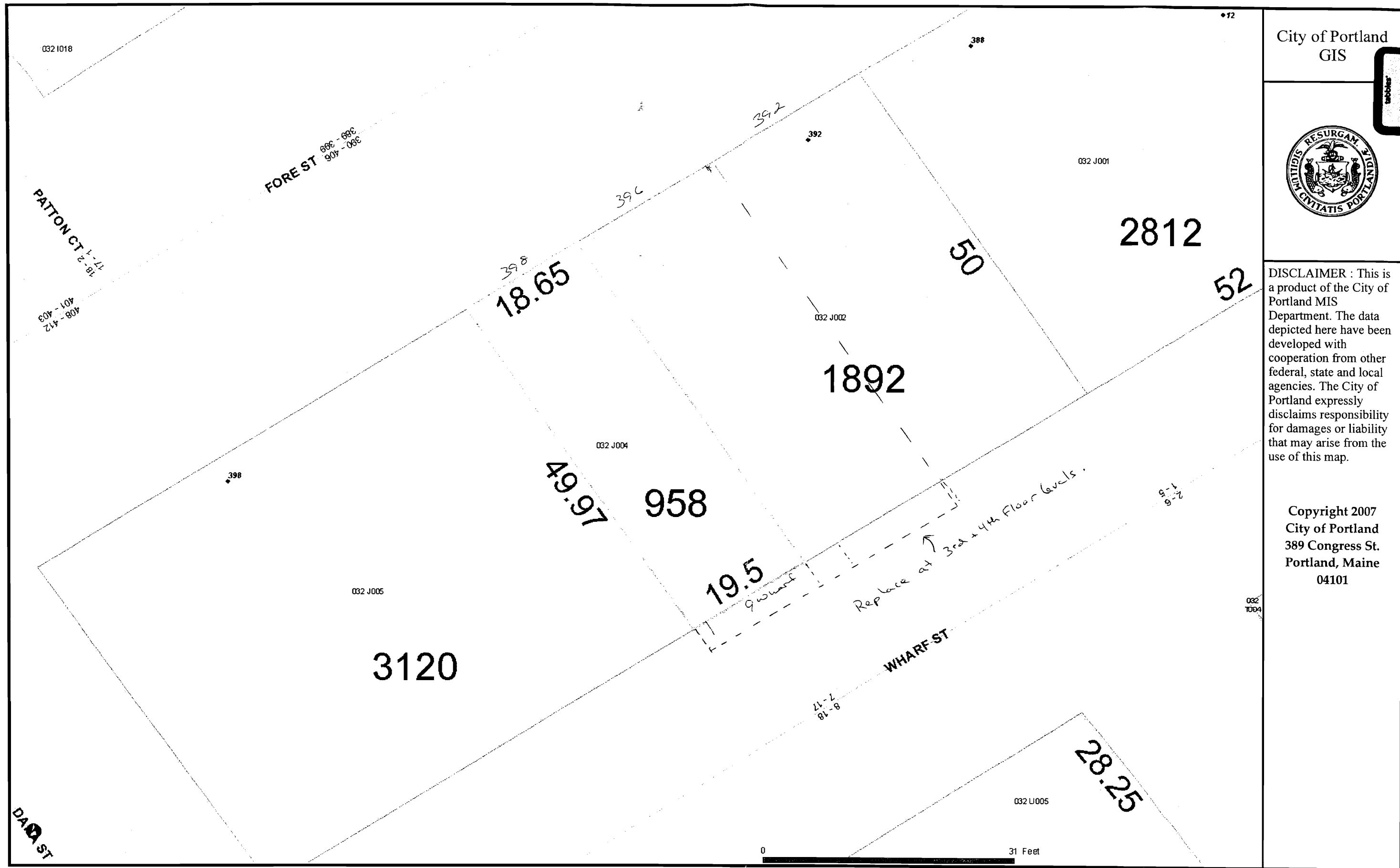
Signature of Inspections Official

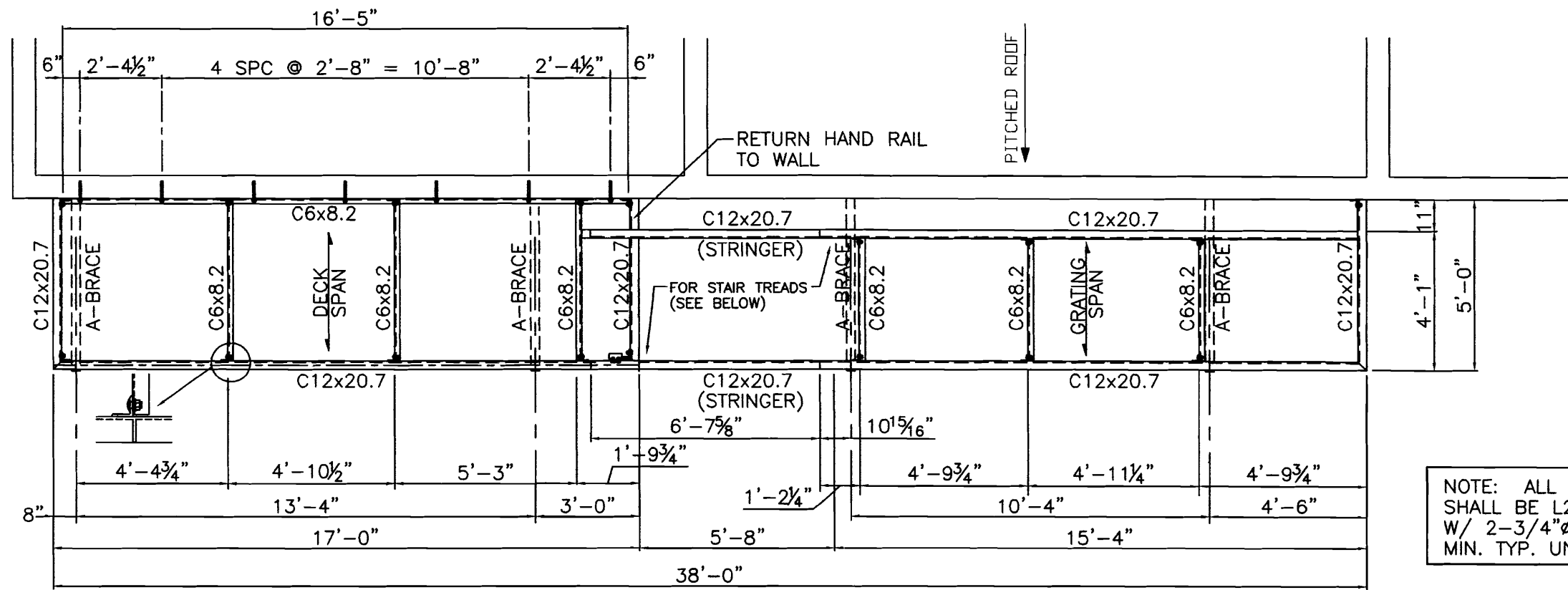


Date



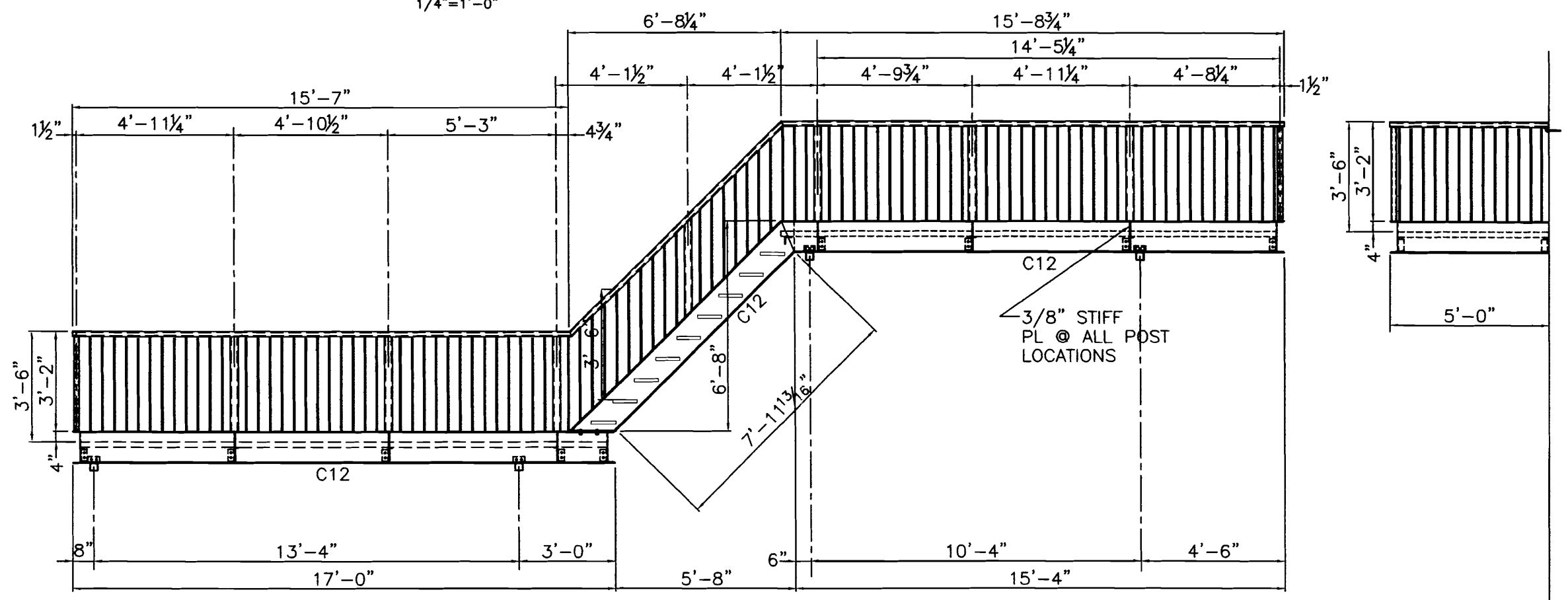
Date





NOTE: ALL CONNECTION CLIPS SHALL BE L2 1/2x2 1/2x1/4 W/ 2-3/4"Ø A325 BOLTS MIN. TYP. UNO.

STEEL FRAMING PLAN
1/4"=1'-0"



EXTERIOR FRAMING ELEVATION
1/4"=1'-0"

THESE DRAWINGS HAVE BEEN DEVELOPED BY MFL ENGINEERING FOR THE TITLED SET ONLY. THE DRAWINGS ARE THE SOLE PROPERTY OF MFL ENGINEERING AND THEY SHALL NOT BE USED, LENT, COPIED OR ALTERED WITHOUT THE WRITTEN CONSENT OF MFL ENGINEERING.

MFL ENGINEERING
12 LITTLETON ROAD
CAPE ELIZABETH, MAINE 04107

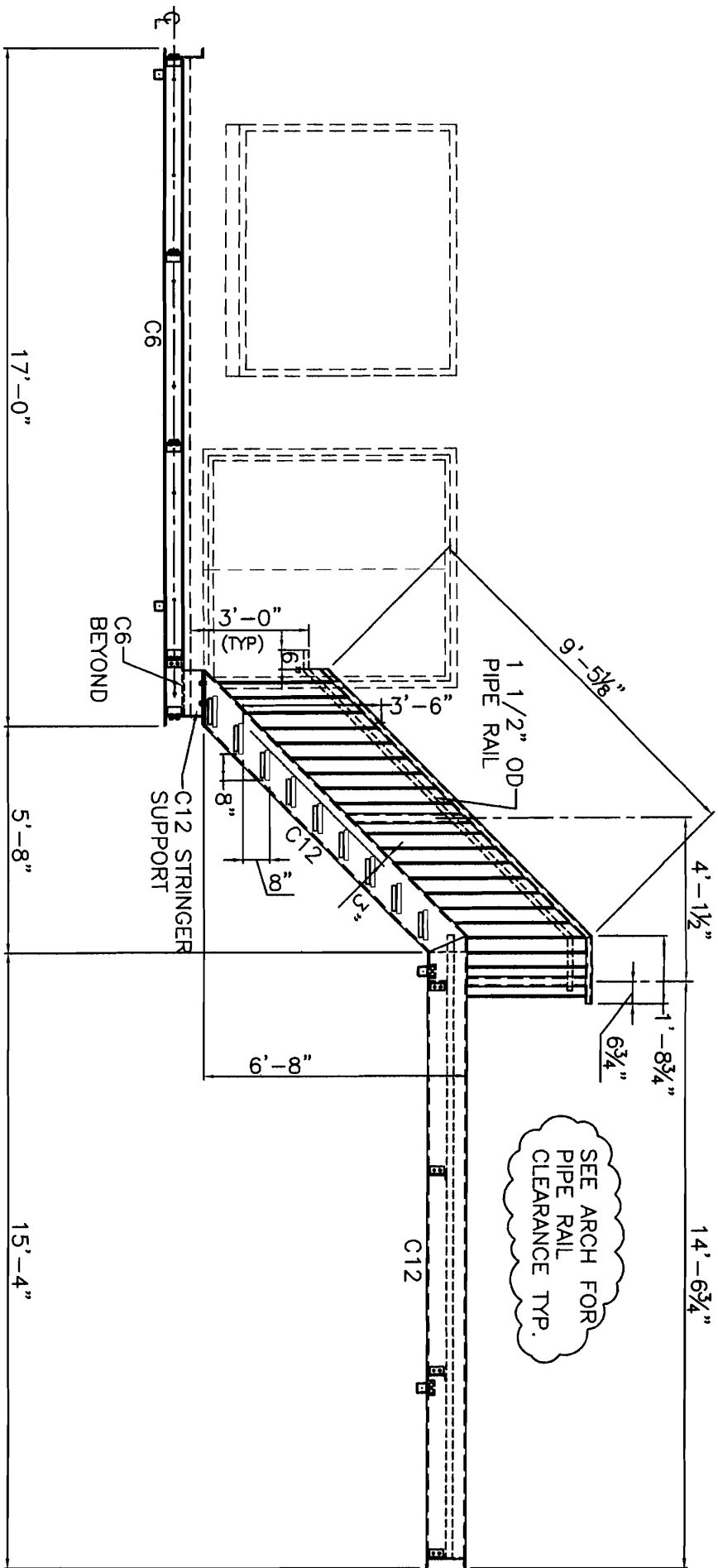
CELLULAR: 207.325.3717
FAX: 207.325.3717
FACSIMILE: 207.325.3717
E-MAIL: mfleng@earthlink.net

GRITTY MCDUFFS
344 FORE STREET
PORTLAND, MAINE
FIRE ESCAPE RE-CONSTRUCTION: SHOP DRAWINGS

DESIGNED BY: MFL
DRAWN BY: MFL
CHECKED BY: MFL
SCALE: AS NOTED
DATE: DECEMBER 14, 2009
FOR CONSTRUCTION: 03/08/14, 2009
PROJECT # 2009.13

396
1

DRAWING NO. 1 OF 3



FRAMING ELEVATION @ WALL FACE
1/4" = 1'-0"

THESE DRAWINGS HAVE BEEN DEVELOPED BY MR. ENGINEERING FOR THE TITLE SET ONLY. THE DRAWINGS ARE THE SOLE PROPERTY OF MR. ENGINEERING AND THEY SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF MR. ENGINEERING.

390

2

GRITTY MCDUFFS

344 FORE STREET
PORTLAND, MAINE

FIRE ESCAPE RE-CONSTRUCTION: SHOP DRAWINGS

designed by: MFL	rev.	date	description	app'd
drawn by: MFL	0	XX-XX-XX		
checked by: MFL				
scale: AS NOTED				
date: DECEMBER 14, 2009				
For Construction: DECEMBER 14, 2009				
project #: 2009.13				

M

FL ENGINEERING

12 LITTLE JOHN ROAD
CAPE ELIZABETH, MAINE 04107

CELLULAR: 207.329.3717
LAND LINE: 207.787.4800
FACSIMILE: 207.787.4800
E-Mail: mfleng@maine.rr.com

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult, these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work.
4. Do not scale plans.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All proprietary products shall be installed in accordance with the manufacturers written instructions.
7. The structure is designed to be self supporting and stable after the erection is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
8. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

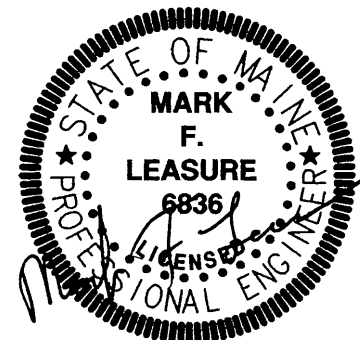
1. Building code: INTERNATIONAL BUILDING CODE (IBC 2003)
2. Design Live Load: (Ground Snow Load = 60 psf + drift & sliding snow)
Fire Escape 100 psf
3. Design wind loads are based on exposure C
using 100 mph basic wind speed.

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"—Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR-B
 - c. Structural pipe shall conform to ASTM A-53, TYPE E OR S
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4" diameter ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.
6. All structural steel and connection hardware shall be hot galvanized (color: BLACK).
7. Touch up all steel that has been cut, scrapped, scratched or damaged with zinc rich paint (BLACK) compatible with the hot dipped zinc.

1. Steel floor deck shall be Traction Tread Grating by McNichols or approved alternate. Steel deck units shall be 36" wide x 2" deep (aluminum).
All steel deck units shall be finished using manufacturers standard paint system (BLACK)
2. Fasten metal deck to all steel supports in accordance with the manufacturers written instructions.
3. All welding shall conform to AWS D1.1 & D1.3 –Latest edition.

1. Structural Steel:
 - a. Shop drawings shall show steel stress grade and size of members, size and location of connection plates, number and size of connection bolts, connection details etc.
2. Steel Decking:
 - a. Shop drawings shall show steel stress grade, profile, delivered thickness, depth, finish, and load capacities.

THE ENGINEER OF RECORD SHALL PERFORM A FINAL REVIEW OF THE FRAME INSTALLATION AND PREPARE A LETTER OF CONFORMANCE PRIOR TO OCCUPANCY.



id	date	description	release
0	11-4-08	RELEASED FOR REVIEW & COMMENT	
1	11-11-08	FOR INSTRUCTION	
2	12-18-08	GENERAL REVISIONS	

GRITTY MCDUFFS
344 FORE STREET
PORTLAND, MAINE
FIRE ESCAPE RE-CONSTRUCTION

SKS-1

CELLULAR: 207.329.3717
LAND LINE: 207.767.4600
FACSIMILE: 207.767.4600
E-Mail: mfrangemaine.rr.com

NOTE: THE OWNER SHALL MAINTAIN THE FIRE ESCAPE FREE OF SNOW ICE AND ANY OTHER OBSTRUCTION AT ALL TIMES.

Note: GC shall field verify all dimensions and conditions prior to proceeding with the steel fabrication.

PL1/2x6x0'-6" W/
(2) 3/4"Ø A36
THRU BOLTS TYP.
PROVIDE 2 1/2x2 1/2x1/4
WASHER BACK.

TYP T&B 3/16V

HSS3x2x1/4
BRACE
L2x2x1/4

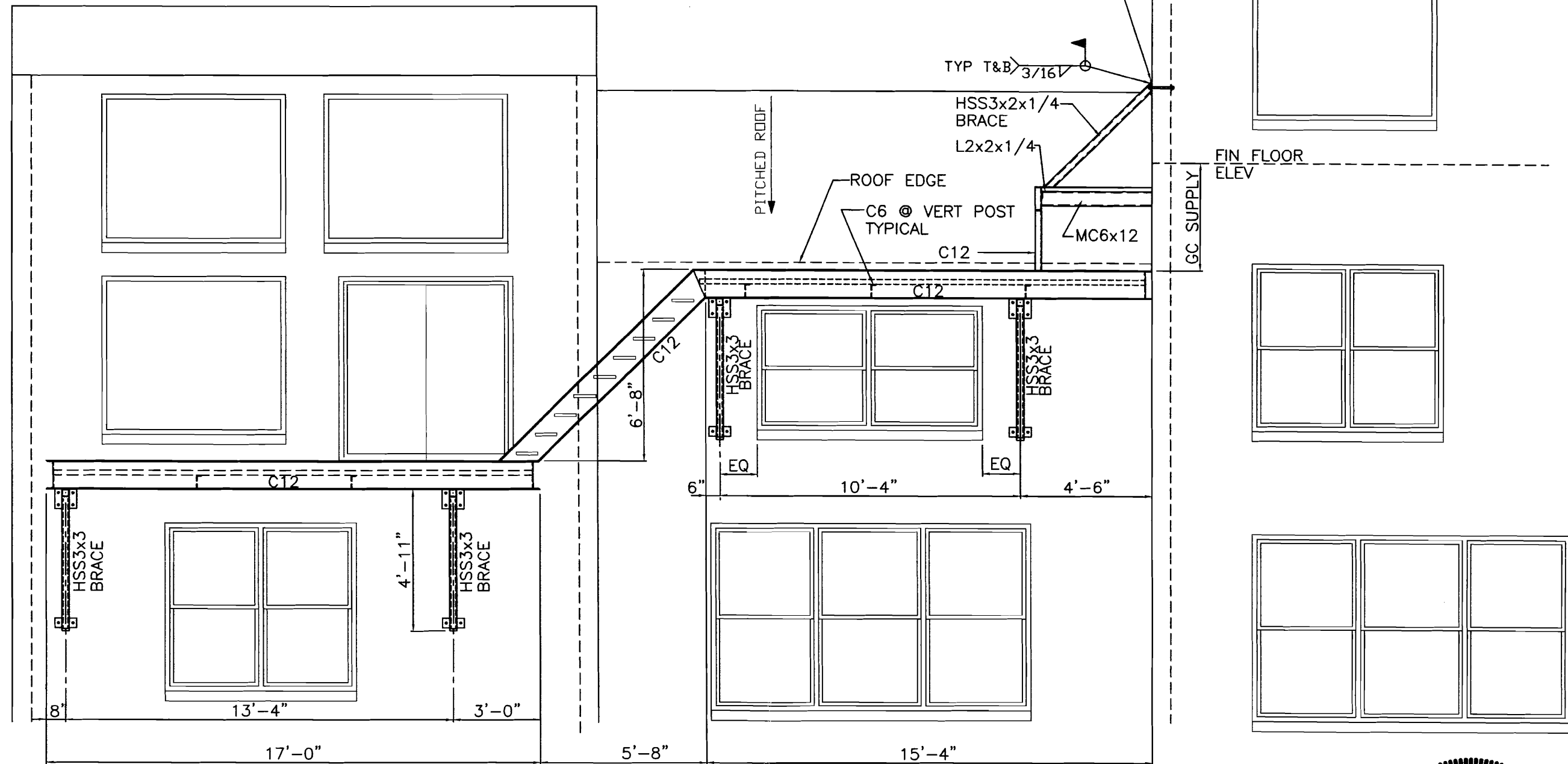
ROOF EDGE
C6 @ VERT POST
TYPICAL
C12

MC6x12

GC SUPPLY

FIN FLOOR
ELEV

FIN FLOOR
ELEV

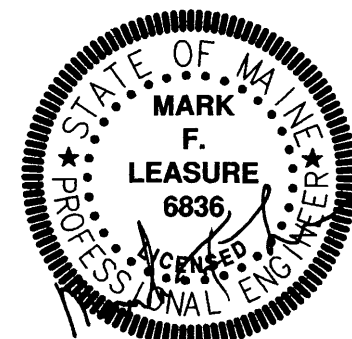


EXTERIOR FRAMING ELEVATION

1/4"=1'-0"

NOTES: 1. PROVIDE L2x2x1/4" STEEL CLIP EACH END OF STAIR TREAD. COORDINATE ANGLE LENGTH WITH TREAD WIDTH. WELD TO C10 STRINGER WITH 3/16" FILLET WELD T&B TYP. TREADS SHALL BE 9" WIDE MIN.

2. REFER TO ARCH DWGS FOR RAILING DETAILS. ALL BALLASTERS SHALL BE 1/2"x1/2" STEEL BAR. ALL HORIZONTAL TUBES SHALL BE HSS2x2x1/4. ALL VERT. TUBES SHALL BE: HSS 3x2x1/4 TYP. (VERTICAL TUBE SPACING SHALL BE 5'-4" O.C. MAX)



MFL ENGINEERING
344 FORE STREET
PORTLAND, MAINE 04107

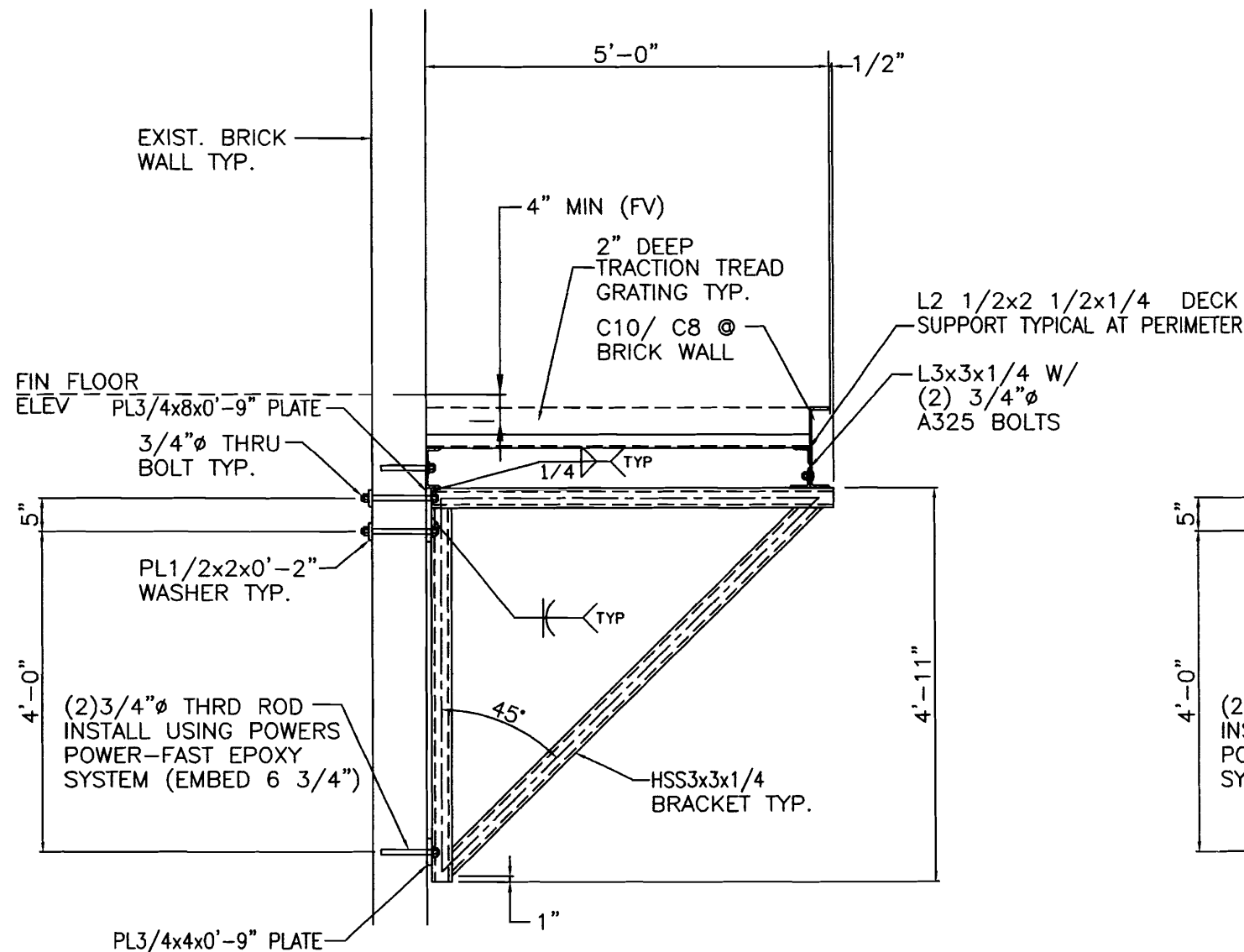
rev.	date	description
0	11-4-09	RELEASED FOR REVIEW & COMMENT
1	11-11-09	RELEASED FOR CONSTRUCTION
2	12-18-09	GENERAL REVISIONS

GRITTY MCDUFFS
344 FORE STREET
PORTLAND, MAINE

SKS-2

FIRE ESCAPE RE-CONSTRUCTION

CELLULAR: 207.339.3717
LAND LINE: 207.787.4600
FAX/MAIL: 207.787.4600
E-Mail: mfleng@earthlink.net

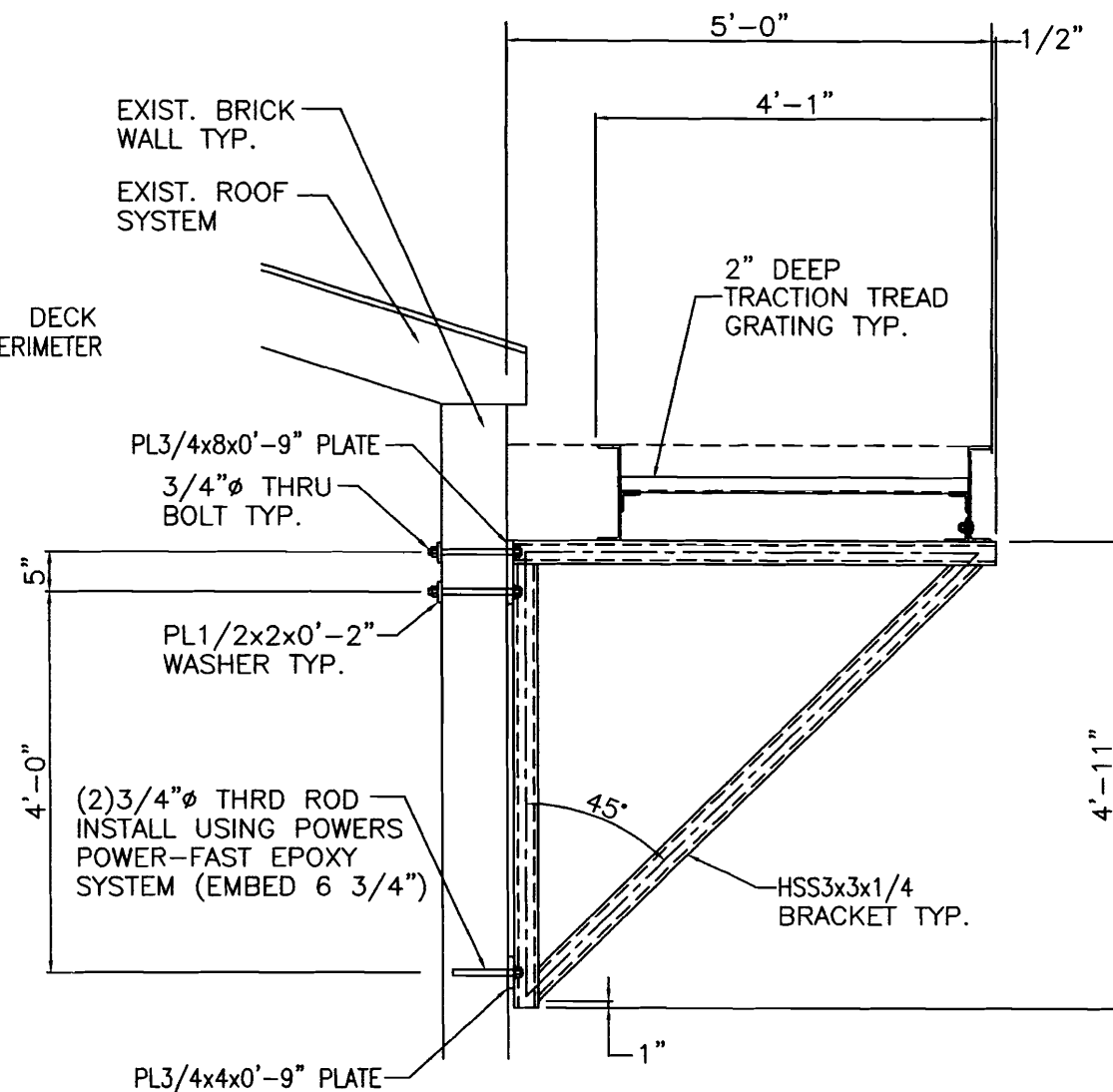


SECTION 1

1/4"=1'-0"

1
SKS-3

- NOTE: 1. BOLT C6 TO THE EXISTING BRICK WALL USING 3/4" GALV BOLTS @ 32" O.C. MAX. INSTALL USING THE POWERS POWER-FAST EPOXY ANCHORING SYSTEM (EMBED 6 3/4")
2. PROVIDE PL 1/8 END CAP ON HORIZ. TUBES (GRIND WELD SMOOTH TYP.).

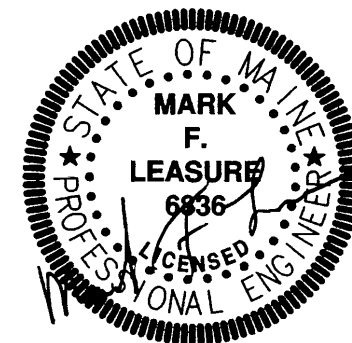


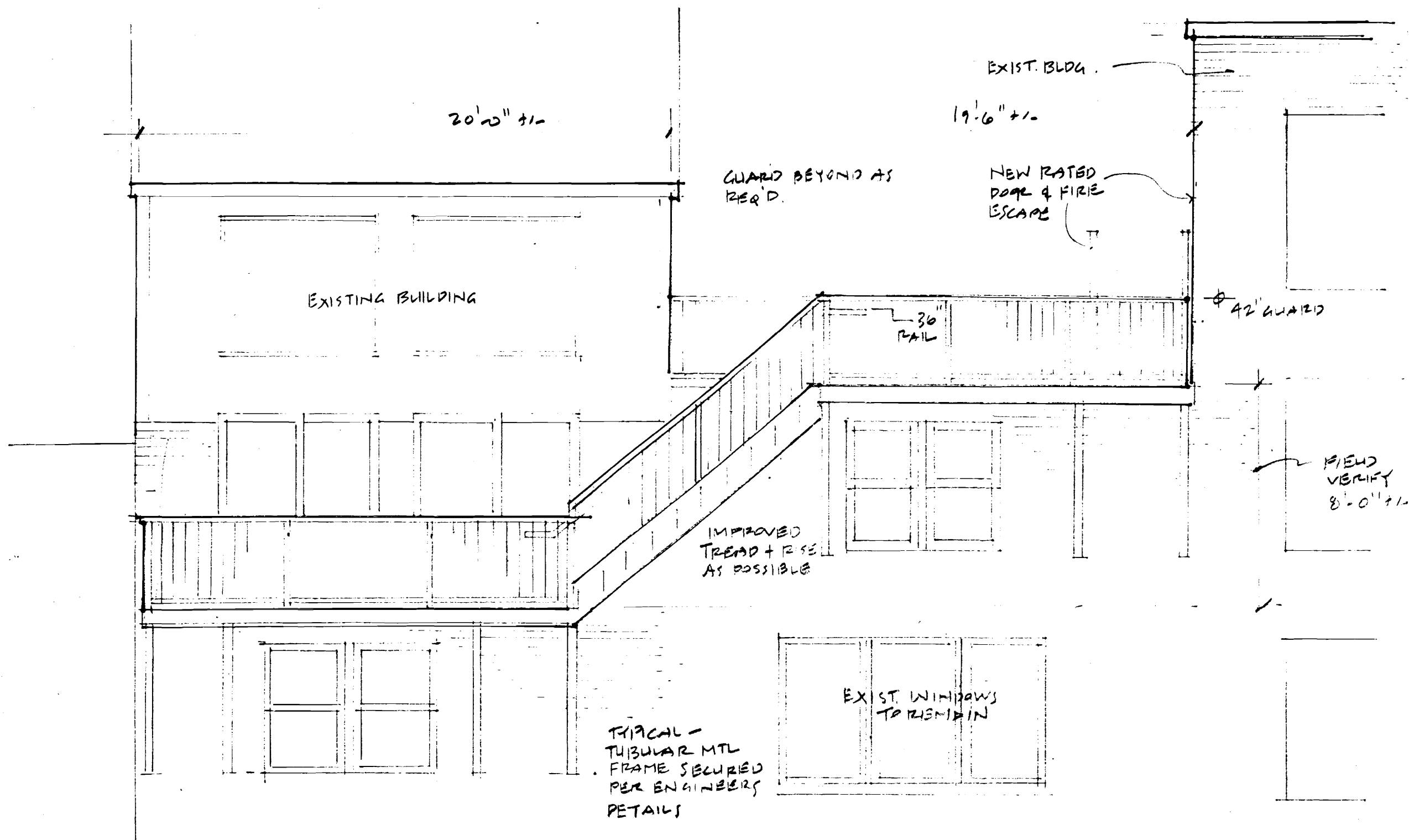
SECTION 2

1/4"=1'-0"

2
SKS-3

- NOTE: 1.FOR ADD'L INFORMATION SEE SECTION-1





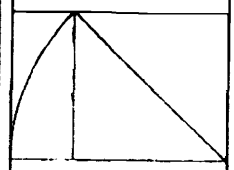
GEN. NOTES.

1. DECK FINISH TO BE 1X6 CORRECT DECK OR MTL. FABRICATION - *All metal*
2. RAIL INAIL TO R.P. BE ST. ST. CABLE 3 3/4" O.C. SECURED TO PIPE FRAME

OPTION 1

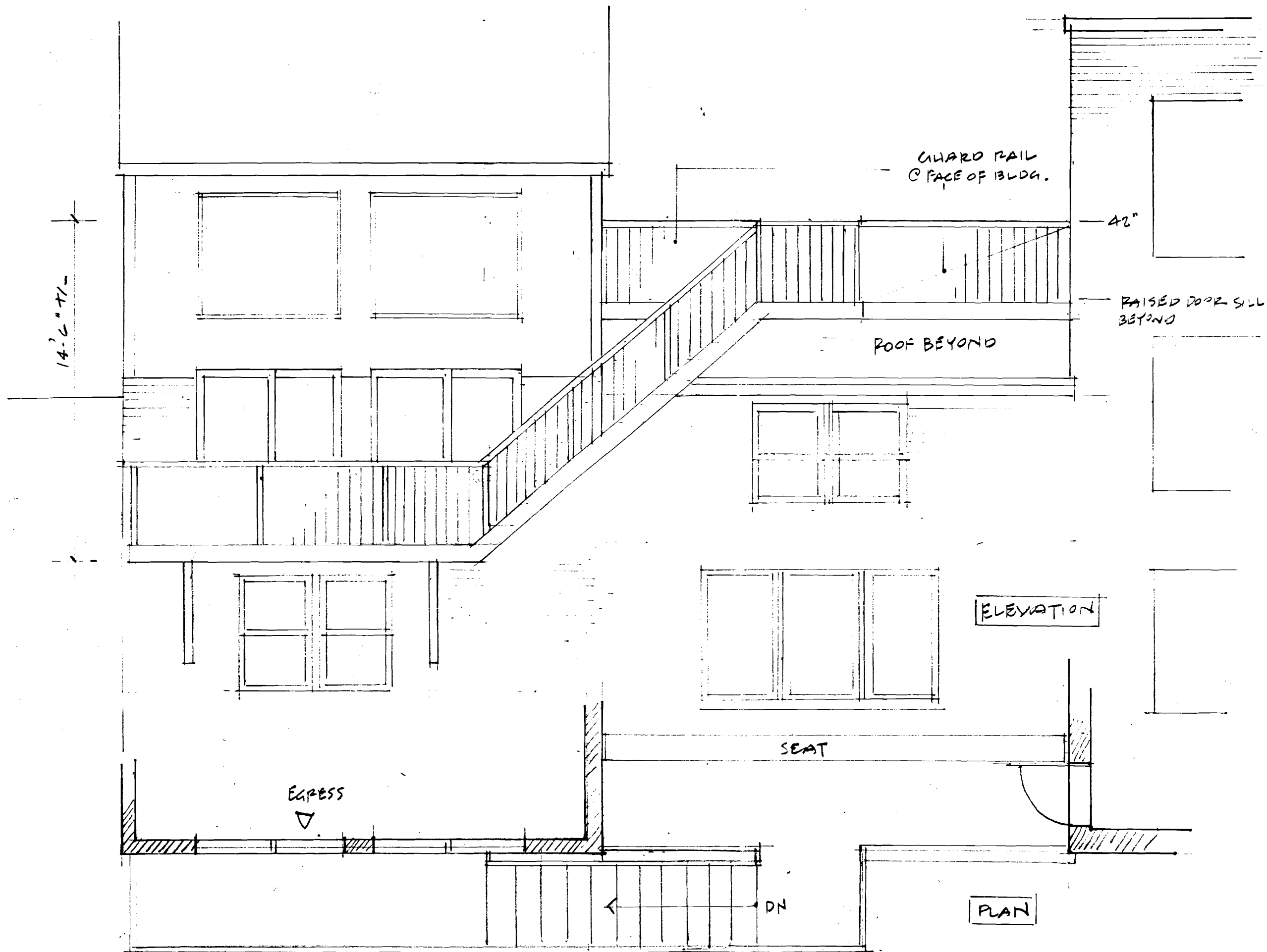
FIRE ESCAPE FOR
GRITTY'S
396 FORD ST.
14'-10" 9/24/09

WHIPPLE
CALLENDER
ARCHITECTS



19 COMMERCIAL
STREET
PORTLAND
ME 04101
775-2696

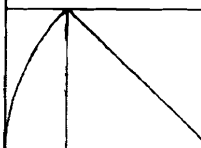
* SEE OPTION. #2 PLAN *



OPTION 3

FIRE ESCAPE @
396 FOREST

1/4" = 1'-0"
9/09

WHIPPLE CALLENDER ARCHITECTS

19 COMMERCIAL STREET PORTLAND ME 04101 775-2696

REVOCABLE LICENSE
RE: GRITTY'S FIRE ESCAPE

This revocable license is granted by the City of Portland "CITY" to Beer Guys, LLC (a.k.a. Brew Corp. d/b/a Brew Associates) hereinafter collectively referred to as "OWNER" for the installation of a fire escape/balcony on the third and fourth floors on/above property owned by the City in the vicinity of 7-9 Wharf Street, Portland, Maine, as more particularly shown on Exhibit A, attached hereto.

The installation and maintenance of fire escape/balcony shall be governed by the terms of this License Agreement.

1. The fire escape/balcony shall be installed in/on the on the third and fourth floors of the exterior brick walls of the OWNER'S property as shown on Exhibit B attached hereto.

2. OWNER is hereby permitted to occupy the land located 7-9 Wharf Street for the placement of the fire escape/balcony on the third and fourth floors.

3. OWNER shall be responsible for the proper installation and proper maintenance of fire escape/balcony (including, but not limited to, maintenance of the fire escape/balcony). In the event of damage to the same, OWNER shall promptly repair/restore the fire escape/balcony.

4. OWNER shall procure and maintain liability insurance in an amount of not less than Four Hundred Thousand Dollars (\$400,000) combined single limit (or the amount stated in the Maine Tort Claims Act as the same may be amended from time to time), covering claims for bodily injury, death and property damage and shall either name the CITY as an additional insured with respect to such coverage or shall obtain a contractual liability endorsement covering the obligations of OWNER under the terms of this License Agreement.

5. OWNER, by execution of this License Agreement, hereby agrees to assume responsibility for any and all claims and/or damage to persons or property arising out of or in any way related to its entry upon CITY property located at 7-9 Wharf Street, and does hereby forever waive, release, relinquish, remise and discharge the CITY, its agents, employees, successors and assigns from any and all losses, costs or expenses (including reasonable attorneys' fees), damages, demands, liabilities, claims, actions, causes of action, suits, or judgments (collectively, "Claims") whatsoever of every name and nature, in law and in equity, including without limitation those related in any manner to any accident or injury to, or death of, any person, or any damage to property occurring on, in or in the vicinity of the area covered by this License Agreement, arising out of the presence in and use by the OWNER of the area covered by this License Agreement.

6. This License Agreement is assignable to any subsequent owners of the OWNER'S property located at 7-9 Wharf Street, Portland, Maine.

7. This License may be revoked upon one (1) month written notice from the CITY to the OWNER and shall automatically terminate in the event that the building located at 7-9 Wharf Street is destroyed, removed or otherwise ceases to exist on the site.

CITY OF PORTLAND

Date Judith H. Rosen

Joseph E. Gray, Jr.
for City Manager

OWNER

Richard Pfeffer 2-10-10
manager, Bear Guys, LLC

STATE OF MAINE
CUMBERLAND, ss.

Dated: 2/12/2010

Anita R. LeChance

Personally appeared the above-named Joseph E. Gray, Jr. and gave oath that the foregoing statements made by him are true to the best of his knowledge, information and belief, and where based upon information and belief, he believes the same to be true.

Before me,

Judith H. Rosen
Notary Public/Attorney-at-Law

JUDITH H. ROSEN
Notary Public, Maine
My Commission Expires June 17, 2011


ACORD _{TM} CERTIFICATE OF LIABILITY INSURANCE		DATE (MM/DD/YYYY) 02/11/2010												
PRODUCER Phone: (413) 586-1000 Fax: (413) 585-0401 WHALEN INSURANCE AGENCY 71 KING STREET NORTHAMPTON MA 01060		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.												
INSURED Brew Corp.dba Gritty McDuff's Brewing Co., Center Cotton, Inc., Beer Guys LLC, L/A Brewing Co., LLC 396 Fore Street Portland ME		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:80%;">INSURERS AFFORDING COVERAGE</td> <td style="width:20%;">NAIC #</td> </tr> <tr> <td>INSURER A: The Hartford</td> <td></td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table>	INSURERS AFFORDING COVERAGE	NAIC #	INSURER A: The Hartford		INSURER B:		INSURER C:		INSURER D:		INSURER E:	
INSURERS AFFORDING COVERAGE	NAIC #													
INSURER A: The Hartford														
INSURER B:														
INSURER C:														
INSURER D:														
INSURER E:														

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.									
INSR	ADDL LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS			
A		GENERAL LIABILITY	08UUNOG1025	07/26/09	07/26/10	EACH OCCURRENCE	\$ 1,000,000		
	<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 300,000		
	<input type="checkbox"/>	CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED. EXP (Any one person)	\$ 10,000		
	<input checked="" type="checkbox"/>	LIQUOR OCC/AGG				PERSONAL & ADV INJURY	\$ 1,000,000		
						GENERAL AGGREGATE	\$ 2,000,000		
						PRODUCTS-COMP/OP AGG.	\$ 2,000,000		
							\$		
	GEN'L AGGREGATE LIMIT APPLIES PER:								
	<input type="checkbox"/>	POLICY				<input type="checkbox"/> PRO-JECT	<input type="checkbox"/> LOC		
						AUTOMOBILE LIABILITY			
		<input type="checkbox"/> ANY AUTO				BODILY INJURY (Per person)	\$		
		<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident)	\$		
		<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident)	\$		
		<input type="checkbox"/> HIRED AUTOS							
		<input type="checkbox"/> NON-OWNED AUTOS							
		GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT	\$		
		<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC	\$		
						AUTO ONLY: AGG	\$		
		EXCESS / UMBRELLA LIABILITY				EACH OCCURRENCE	\$		
		<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE	\$		
							\$		
		<input type="checkbox"/> DEDUCTIBLE					\$		
		<input type="checkbox"/> RETENTION \$					\$		
		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATUTORY LIMITS	\$		
		ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				OTHER	\$		
		If yes, describe under SPECIAL PROVISIONS below				E.L. EACH ACCIDENT	\$		
						E.L. DISEASE-EA EMPLOYEE	\$		
						E.L. DISEASE-POLICY LIMIT	\$		
		OTHER:							

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/ SPECIAL PROVISIONS

Certificate issued as evidence of coverage and naming the certificate holder as additional insured.

CERTIFICATE HOLDER City of Portland 389 Congress St. Portland, ME 04101 Attention:	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE  Peter J. Whalen
---	---

IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.