

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

COW PLAZA 1 LLC /Consigli Construction

Located at

423-445 FORE STREET (29 Union)

PERMIT ID: 2012-65556

CBL: 032 I042001

has permission to **Foundation site work for the hotel - separate permit for rest of work in next phase** provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Footings/Setbacks
Foundation/Rebar
Foundation/Backfill
Plumbing Rough
Electrical Only

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2012-65556	Date Applied For: 12/07/2012	CBL: 032 I042001
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Location of Construction: 423-445 FORE STREET (29 Union)	Owner Name: COW PLAZA 1 LLC	Owner Address: 100 COMMERCIAL ST	Phone: (207) 775-2252
Business Name:	Contractor Name: Consigli Construction	Contractor Address: 15 Franklin St. Suite A1 Portland	Phone: (207) 773-3000
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Commercial	

Proposed Use: New Hotel (Hyatt Place Portland-Old Port) 7 stories, 123 guest rooms with restaurant and retail spaces	Proposed Project Description: Foundation site work for the hotel - separate permit for rest of work in next phase
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Dept: Historic **Status:** Not Applicable **Reviewer:** Deb Andrews **Approval Date:** 12/12/2012
Note: **Ok to Issue:**

Dept: Zoning **Status:** Approved w/Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 12/07/2012
Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits are required for the installation of HVAC units. At the time of submittal, this office will require information of the dBAs produced by any noise making units.
- 3) This property shall remain a 123 guest rooms with retail and restaurant. Any change of use shall require a separate permit application for review and approval.
- 4) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved w/Conditions **Reviewer:** Jeanie Bourke **Approval Date:** 01/14/2013
Note: **Ok to Issue:**

- 1) Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
- 2) A final special inspection report shall be submitted prior to the final inspection or issuance of a certificate of occupancy. This report must demonstrate all deficiencies and corrective measures that were taken.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) This permit approves the foundation construction and site work only, no core and shell or building construction is allowed prior to the issuance of the applicable permit.
- 5) This phased foundation permit does not relieve code compliance requirements for the building and life safety of the structure.
- 6) A ComCheck compliance certificate or alternative is required to be submitted to this office for Energy Code compliance.

Dept: Fire **Status:** Approved w/Conditions **Reviewer:** Ben Wallace Jr **Approval Date:** 01/28/2013
Note: Foundation only **Ok to Issue:**

- 1) All construction shall comply with City Code Chapter 10.
- 2) Responsibility for code compliance of the structure remains with the licensed design professional. Additional permits are required.

Location of Construction: 423-445 FORE STREET (29 Union)	Owner Name: COW PLAZA 1 LLC	Owner Address: 100 COMMERCIAL ST	Phone: (207) 775-2252
Business Name:	Contractor Name: Consigli Construction	Contractor Address: 15 Franklin St. Suite A1 Portland	Phone (207) 773-3000
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Commercial	

032 I042

2012-65556

COW PLAZA

Foundation Site Work

423-445 Fore St

(29 Union)

PLANS IN LARGE PLAN AREA

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2012-65556	Issue Date:	CBL: 032 1042001
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Location of Construction: 423-445 FORE STREET (29 Union)	Owner Name: COW PLAZA 1 LLC	Owner Address: 100 COMMERCIAL ST PORTLAND , ME 04101	Phone: (207) 775-2252
Business Name:	Contractor Name: Consigli Construction	Contractor Address: 15 Franklin St. Suite A1 Portland ME 04101	Phone (207) 773-3000
Lessee/Buyer's Name	Phone:	Permit Type: <i>New</i> Commercial	Zone: B3
Past Use: Commercial, Parking Lot	Proposed Use: New Hotel (Hyatt Place Portland- Old Port) 7 stories, 123 guest rooms with restaurant and retail spaces	Permit Fee: \$15,600.00	Cost of Work: \$1,557,000.00
Proposed Project Description: Foundation site work for the hotel - separate permit for rest of work in next phase		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A <i>1/28/13</i>	INSPECTION: Use Group: <i>R-1/A-2</i> Type: <i>1B</i> <i>m</i> <i>MUBEC 2009</i> <i>FOUNDATION ONLY</i> Signature: <i>JMB 1/14/13</i>
		Signature: <i>[Signature]</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	Signature: <i>[Signature]</i>
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date:

Permit Taken By: gg	Date Applied For: 12/07/2012	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2012-558</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>5/21/12</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <i>within 100'</i> <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>12/12/12</i> <i>D. Andrews</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Contract & electronic files as of 1/11/13



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>433 Fore Street Portland, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>80,000 sf</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>03 2 I 040</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Cow Plaza Hotel, LLC</u> Address <u>100 Commercial Street - Suite 306</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>207-775-2252</u>
Lessee/DBA (If Applicable) RECEIVED DEC 07 2012 Dept. of Building Inspections	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1,557,671</u> C of O Fee: \$ <u>—</u> Total Fee: \$ <u>15,600</u>
Current legal use (i.e. single family) <u>City of Portland Maine Parking lot</u>		
If vacant, what was the previous use? <u>Parking lot</u>		
Proposed Specific use: <u>Hotel</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>Foundation permit only — Site work, shoring, drilled piers and concrete foundations for the 80,000 sf development approved by the Planning Board on 11/5/12. Remainder of project will be submitted under separate permit application upon completion of 100% construction documents in February 2013.</u>		
Contractor's name: <u>Consigli Construction Co, Inc.</u>		
Address: <u>15 Franklin Street</u>		
City, State & Zip <u>Portland, ME 04101</u>		Telephone: <u>207-773-3000</u>
Who should we contact when the permit is ready: <u>Tim Schneider</u>		Telephone: <u>207-317-6220</u>
Mailing address: <u>Same as above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: David Thomas - David Thomas Date: 12/5/12

This is not a permit; you may not commence ANY work until the permit is issue

1 Sol. is Gray, but has a zoning box - just can't access now (8/28/12)
 comments submitted 8/28/12
 comments submitted 10/3/12 - system not up

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 2012-558 **Application Date:** 8/13/2012 12:00:00

CBL: 032-I-040-001 - 32-I-42 is New CBL AM

Project Name: ~~44 Exchange St.~~ 433 Fore St.; New Hotel & Retail

8/15/12

Address:

Project Description: Construct new Hotel & Retail space

Zoning:

Other Reviews Required:

Review Type:

Distribution List:

<input type="checkbox"/> Planner Nell		<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Senus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

Comments needed by (7 days later): Wednesday, August 22, 2012

Marge Schmuckal - 433 Fore Street

From: Marge Schmuckal
To: Helen Donaldson
Date: 10/3/2012 3:42 PM
Subject: 433 Fore Street

Hi Nell,
Here are my non-one solution comments....

433 Fore Street - 032-I-040
#2012 558 - B-3 Zone
10/3/2012

I have been able to view the most recent submission. Currently the room number count has been reduced by one to 123 rooms. I have also reviewed the elevations showing the average grade using the computation method that I commonly use. The 65' maximum street wall height is being met. The so-called kink wall is also meeting the maximum street wall height requirement. The maximum allowable height for the structure is 85' and the top of the highest roof beam is 75.25'. There is a roof wall surrounding the HVAC units and elevator shafts that is not required to meet the height requirement by Ordinance.

All other zoning requirements are being met. My previous comments about signage and HVAC units still are in force.

Marge Schmuckal
Zoning Administrator

Marge Schmuckal - 433 Fore Street

From: Marge Schmuckal
To: Helen Donaldson
Date: 8/28/2012 4:43 PM
Subject: 433 Fore Street

One Solution is not allowing me to input my comments. So I revert to e-mail...

433 Fore Street - 032-I-040
 #2012-558 - B-3 Zone with PAD Overlay (not in Historic District)
 8/28/2012

123 per 10/2/12 cover b.

This current parking surface lot is proposed to be turned into a 7 story, hotel with ~~124~~ guest rooms and retail on the first floor. The property is located in a B-3 Zone with a Pedestrian Activities Overlay (PAD) zone and although the proposed building is not *in* the Historic District, it is within 100' of a Historic District.

The plans are preliminary at this time with no full dimensioned elevations. According to the Height Overlay Map, the maximum building height is 85' with a requirement of 65' maximum street wall height. The submitted elevations at this time are not sufficient enough to determine complete compliance. Certainly the effort of a step-back is being shown. I await further information and scaleable elevations.

Parking for the hotel is 1 pkg space per each 4 guest rooms or a requirement of 31 pkg spaces. However, the project is showing to be 79,200 sq. ft. in size which allows the Planning Board to determine the required number of parking spaces. What ever the final number of required spaces, there is a parking garage under the same ownership adjacent to the property that has the ability to handle the parking requirements.

Section 14-220(c) - Street wall build-to requirement is a maximum of 5'. The first floor shows a maximum setback of 16' at the farthest point along Fore Street. There is no definition of the terminology for "street wall build-to line". The rest of the building is overhanging 3.7' from the property line along Fore Street. I determined that the proposed structure is meeting this requirement.

The B-3 zone has a maximum noise requirement. All HVAC units will need separate permits and will be required to submit information on the dBAs produced by any noise making units.

Separate permits are required for any new signage.

I am awaiting more complete plans before I can finalize my zoning analysis and approval.

Marge Schmuckal
 Zoning Administrator

Applicant:

Greg Semberg
Cow PLAZA Hotel LLC

Date:

8/13/12

Address:

Called 433 Pine St
CANAL PLAZA Hotel

C-B-L:

~~32-I-40~~ 12/7/12
new CBL =

32-I-42

CHECK-LIST AGAINST ZONING ORDINANCE

Woodard & Curran is engineer

Date -

Zone Location -

B-3 Zone - adjacent to historic overlay
Height overlay of 85'

Interior or corner lot -

retail = hotel use Allow retail use
↑ 1st floor retail -

Proposed Use/Work -

to construct new hotel 124 guest rooms
123

Sewage Disposal -

City 79,200 sq total - 7 levels

Lot Street Frontage -

15' min - 100' + show

Front Yard -

NO min req - See

Rear Yard -

street build to req.

Side Yard -

PAD 15' max length of undifferentiated blank wall side

Projections -

Width of Lot -

85' max per Height overlay map / 65' max street wall height

Height -

min - 35' - OK
max -

Lot Area -

NO min 19,130 sq given

Lot Coverage /

Impervious Surface 100%

Area per Family -

N/A

PB approved over 50,000 sq

Off-street Parking -

adjacent pky garage to provide pky (currently 409 pky spaces)
Hotels - 1 pky for each 4 guest rooms 124 ÷ 4 = 31 pky req

Loading Bays -

1 shown in rear of Bldg

Site Plan -

#2012-558 - Preliminary PLAN

Shoreland Zoning / Stream Protection -

N/A

Flood Plains -

Panel 13 Zone C

Street Wall build -

to line 5' or if PB. Approves more - 14-526 (d) 9 - over hang is 3.7' from PL farthest 1st floor inset is 16.5'

Signage -

Separate permits

meets
with
+ 2006

10/2/12 Cover letter

The new building will be constructed with 123 rooms and will be operated as a Select Service Hotel. On the corner of Union and Fore Streets will be a stand alone retail space with approximately 950 square feet of floor area. The 1st floor of the hotel will have a restaurant, lounge area, offices, pool, fitness center and a receiving area. The 2nd floor will be comprised of guest rooms and back of house utilities plus laundry facilities. Floors 3 thru 6 will have guest rooms and Floor 7 will have guest rooms, many of which will have outside decks that provide sweeping views of the Portland skyline and harbor.

The trash generated will be removed daily and placed in the trash compactor that is located in the adjacent parking garage. The trash compactor is emptied several times per week.

As noted in the Traffic Report by Gorill & Palmer, the parking garage owned by Cow Plaza Garage has an excess number of parking spaces that are available to use 24 hours per day, 7 days a week. The hotel will also offer valet parking 24 hours per day, 7 days a week. At present, the parking garage is almost empty at night and will provide ample parking for those guests that may decide to arrive by private vehicle.

Prior to the opening of the new hotel a Parking Lease will be signed between Cow Plaza Hotel and Cow Plaza Garage. This provides a great opportunity to increase the use of the parking garage while not constructing any new urban parking spaces in downtown Portland.

Do not hesitate to contact me if you desire any additional information or have any questions.

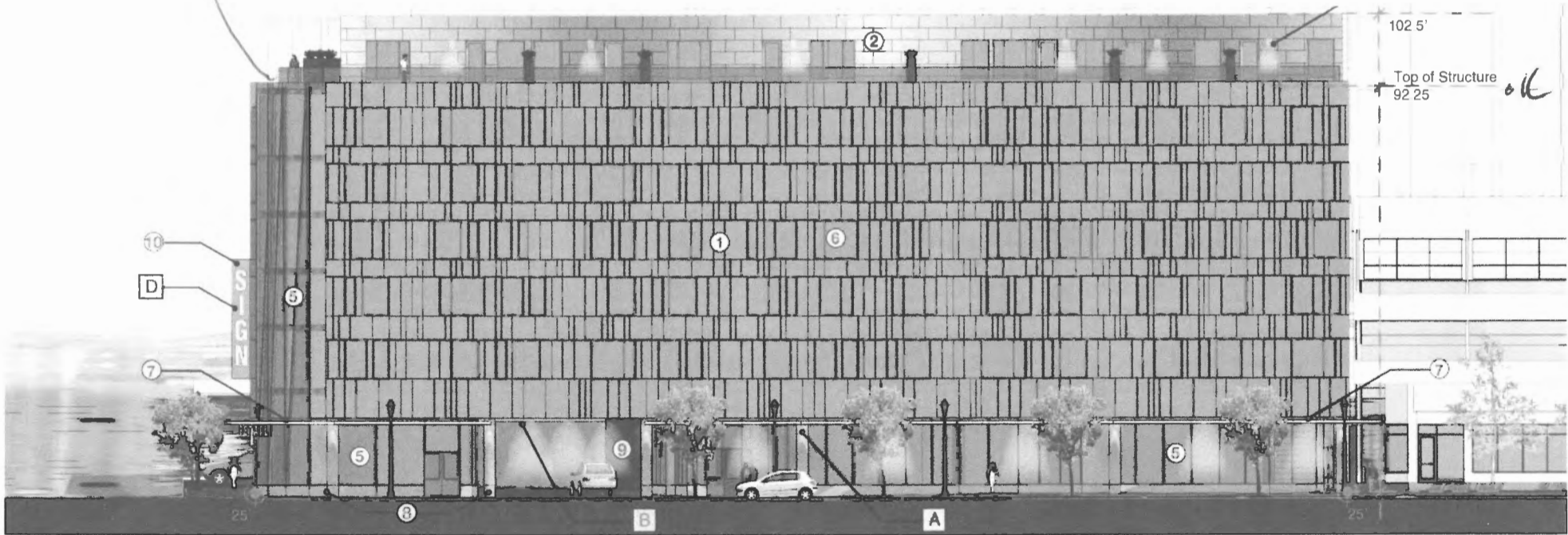
Sincerely,

Greg Shinberg
Owner's Representative
Cow Plaza Hotel LLC

10/3/12

Wrinkle Wall setback

10/3/12



102.5'
Top of Structure
92.25' *o/c*

MATERIALS LEGEND:

- ① - "Petrarch" Panels - Stone composite panels Russet # 598 - "Riven Slate" Finish
- ② - "Petrarch) Panels - Warm Gray (Custom Color)
- ③ - Metal Siding. Concealed Fastened Metallic Silver
- ④ - Architectural Screening. Metal to match
- ⑤ - Curtain Wall - Clear Anodized Alum. SSG*
- ⑥ - Aluminum Windows/Skylights w/painted Kynar (Dark Gray) Finish
- ⑦ - Clear Anodized Aluminum Bris Soleil
- ⑧ - Granite/Columns "Deer Isle"
- ⑨ - "Petrarch" Panels - Stone composite panels Medium Gray "Riven Slate" Finish
- ⑩ - Building Signage - Brushed Metal Integrated With Brand Identity Graphics and Colors

LIGHTING LEGEND:

- A - Wash Columns W/Downlights, Typ
- B - Exterior Soffit Downlights to Light Public Way & Wash Building, Typ
- C - Exterior Wall Sconce - Downlights, Typ
- D - Backlit Sign, Typ

Four Corners Method Of Calculating Average Grade

Grade at corner #1	25'-0"
Grade at corner #2	25'-0"
Grade at corner #3	28'-0"
Grade at corner #4	31'-0"
Average of corners	27.25'
Max street wall height	65.00'
Max Level at setback	92.25'
Max Bldg. Height	85.00'
Max level at top	112.25'

Handwritten calculations:

$$\begin{array}{r} 102.50' \\ - 27.25' \\ \hline 75.25' \\ \text{max is } 85' \end{array}$$

$$\begin{array}{r} 92.25 \\ - 27.25 \\ \hline 65.00' \end{array}$$

10/3/12

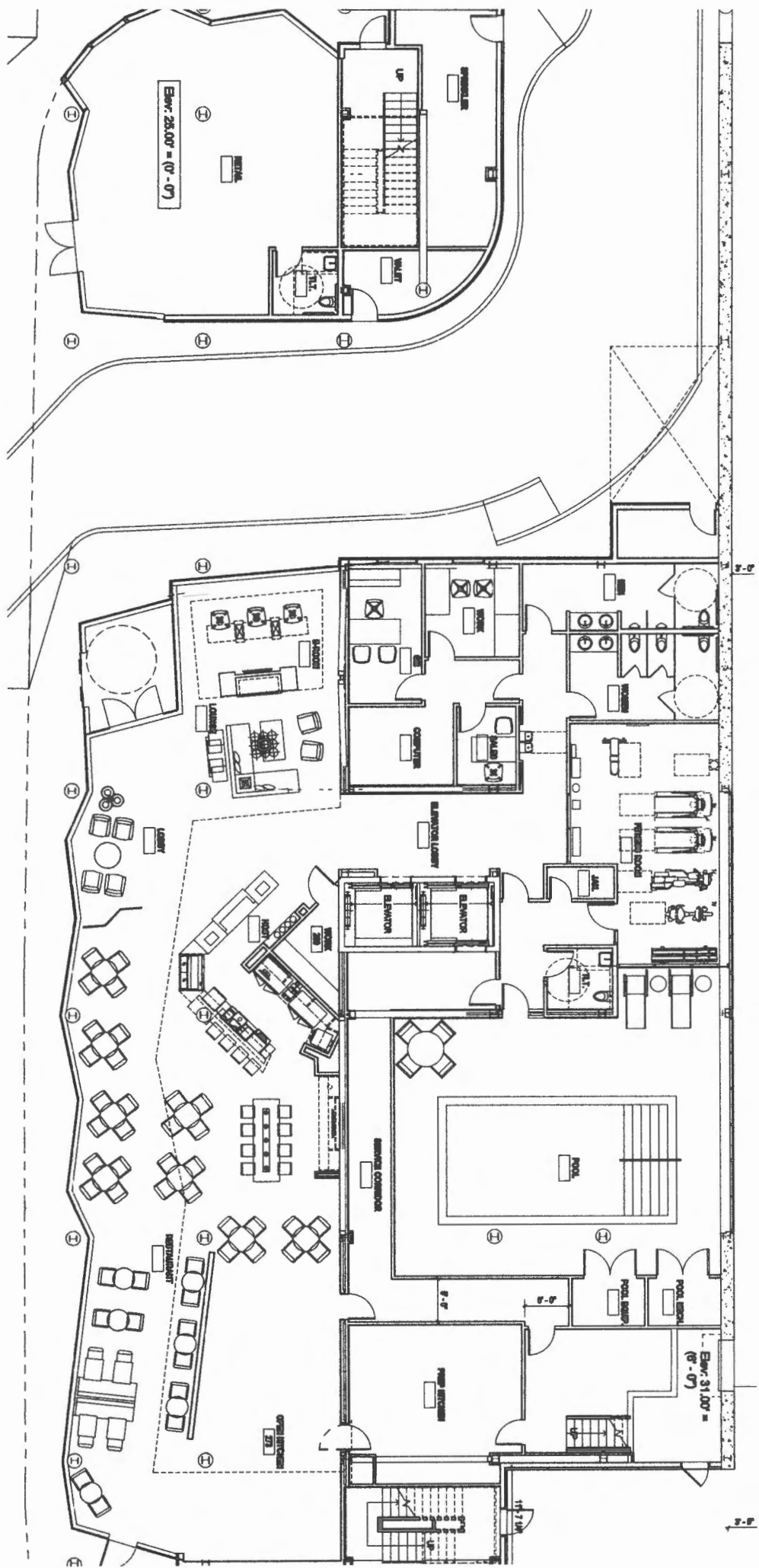


MATERIALS LEGEND:
 "Strach" Panels - Stone composite panels
 Asset # 598 - "Riven Slate" Finish

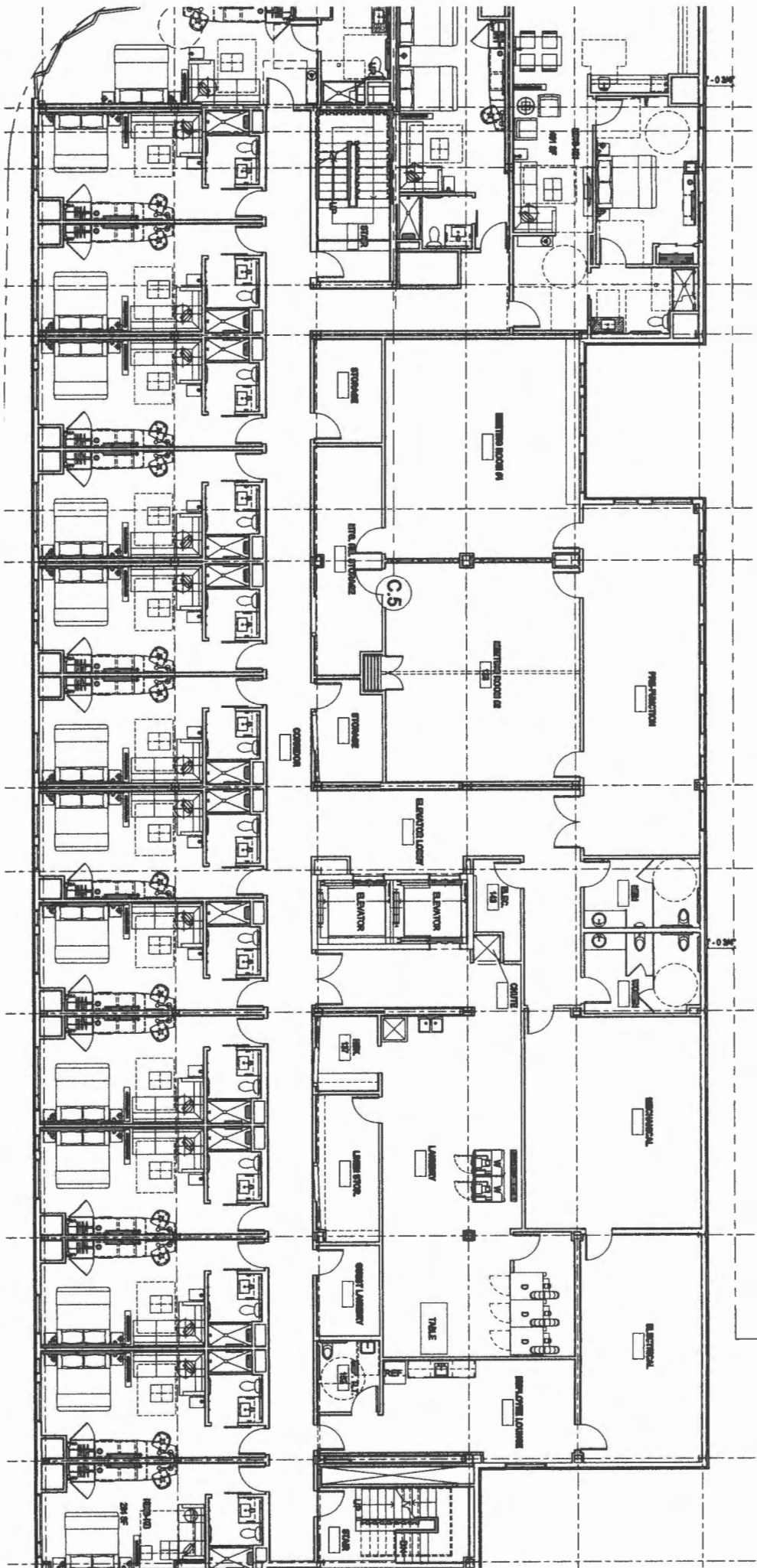
⑥ - Aluminum Windows/Skylights
 w/painted Kynar (Dark Gray) Finish

LIGHTING LEGEND:
 [A] - Wash Columns W/Downlights, Typ

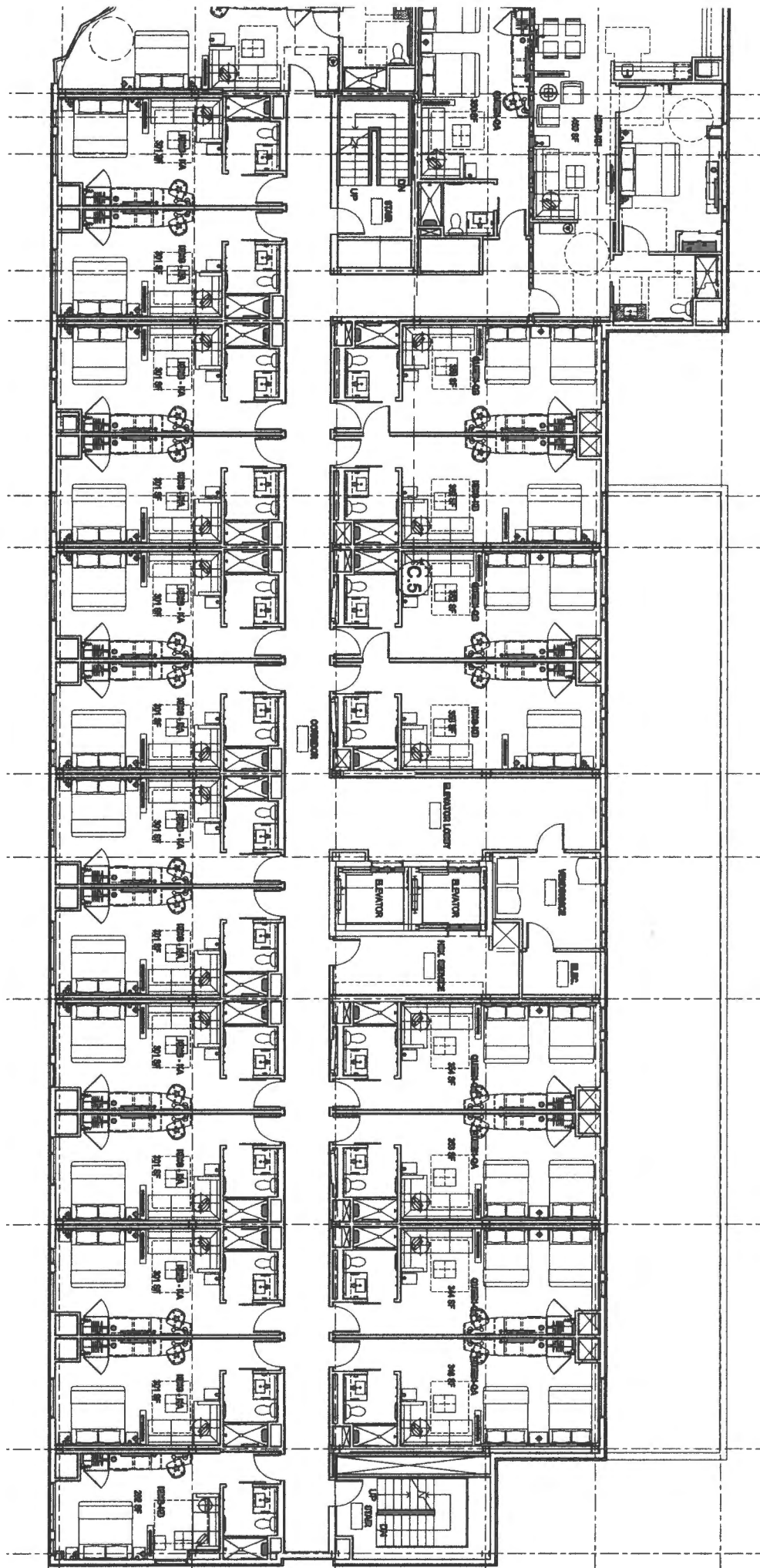
Four Corners Method Of Calculating Average Grade
 Grade at corner #1 25'-0"
 Grade at corner #2 25'-0"



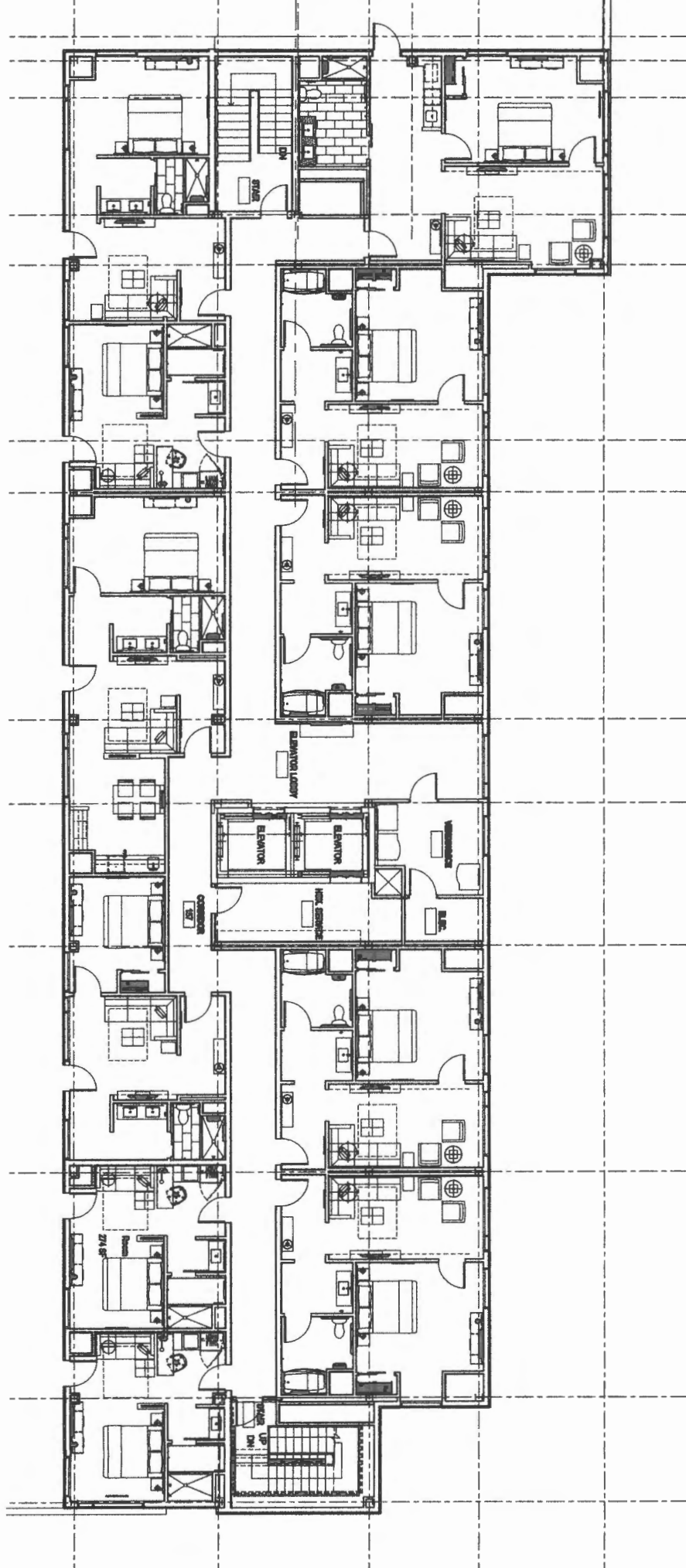
10/2/12



10/3/12



10/9-2



2-9/00

August 7, 2012

Mr. Alexander Jaegerman, Ms. Barbara Barhydt, City of Portland &
City of Portland Planning Board Members
389 Congress Street
Portland, Maine 04101

Union and Fore Street Hotel, Portland Maine

Dear Mr. Jaegerman, Ms. Barhydt, and Board Members:

On behalf of Cow Plaza Hotel LLC and East Brown Cow Management we are pleased to submit this Level III Site Plan Application to construct a new hotel and retail space on Fore Street at the corner of Union Street and Fore Street in the heart of the Old Port.

Today this parcel is a paved surface parking lot for 45 cars. It will be transformed into a center of vibrant commercial activity that will compliment and energize the existing retail establishments located nearby.

This venture will provide a much needed boost to the local economy and add new construction-related employment and permanent jobs. The community will also benefit from the additional revenue in a growing and important part of the downtown business and commercial district.

The Site

The site is comprised of 19,130 square feet and is bordered by Fore Street to the south and Union Street to the west. Today, most of the site is an impervious surface parking lot for 45 vehicles. Adjacent to the site to the north is a parcel owned by Central Maine Power Company that is used as a power substation for the general area. Other buildings nearby include 4 to 10 story structures.

Project Description

The hotel will be constructed with approximately 79,200 square feet of floor area on seven levels. The ground floor will have 10,900 square feet, plus a porte-cochere driveway entrance. A separate retail space will be constructed at the corner of Union and Fore Street and will have a separate entrance with approximately 740 square feet of floor area.

Approximately 124 guest rooms will be located on floors 2 through 7. The guest rooms on the seventh floor facing Union Street and Fore Street will have private decks with

panoramic views of Portland and the harbor beyond. Mechanical structures will be located on the roof of the hotel utilizing screening materials to blend in with the top elements of the building.

This project is under the purview of the following City ordinances, guidelines and plans:

- B3 Downtown Business District Zoning Ordinance
- PAD Overlay Zone
- Downtown Entertainment Overlay Zone (DEOZ)
- Height Overlay District (HOD)
- Downtown Urban Design Guidelines

The hotel and retail uses are consistent with both the B3 Zone statutes and the PAD Overlay Zone. No entertainment license is envisioned and therefore DEOZ ordinances are not applicable.

Parking for the Hotel:

The adjacent parking garage will provide parking for the hotel and retail space. Upon arrival guests will be directed to the garage or they could opt to use the valet service to park their vehicles.

Building on the lot will eliminate 45 spaces which currently serve as a parking lot for Canal Plaza tenants. Cow Plaza Hotel LLC, is affiliated with Cow Plaza Garage LLC, Owner of the Fore Street Garage, by virtue of the same Owners. The Owners control management of the 409 space parking garage adjacent to the proposed hotel site, which is utilized both by commuters working in the area and seasonal tourists. The garage is mostly vacant at night.

The Fore Street Garage is managed by The Boulos Company for Cow Plaza Garage LLC. All daily parkers fall in one of the following categories: 1) monthly parkers on a mutual 30-day termination notice tenant-at-will basis; 2) tenants of adjacent Cow Plaza buildings that have parking rights per lease; 3) hourly public parkers; 4) non-tenant easement parkers as per the lease agreement.

Month-to-month parkers are the only current renters at risk for displacement if needed to accommodate the parking needs of the hotel project. Garage Owners may displace tenant-at-will parkers but would only do so for parkers who are not tenants in Canal Plaza. That number of parkers currently accounts for up to 218 spaces within the garage which exceeds the need of the hotel parking.

Cow Plaza Hotel LLC is also affiliated by the same Owners with Cow Plaza 1 LLC which controls the adjacent surface parking lot behind the Fore Street Garage with 39 spaces. This lot is available for any overflow on those few days of peak season if it is needed to accommodate the parking of those with rights to use the Fore Street Garage.

Design Elements

The building will be designed in accordance with the Height Overlay District's 85' maximum allowable height as well as the 65' maximum height at the street wall with a 15' setback provision.

The Downtown Urban Design Guidelines provide guidance to design the building utilizing the City's B-3 Downtown Business District Zoning Ordinance. In recognition of the Downtown Urban Design Guidelines, the ground level story of the building differs in design from the upper stories by incorporating the following elements:

- A tall ceiling height of 15 feet at the first floor
- Extensive use of granite at the base of the building where the building meets the sidewalk
- An energetic and varied façade that engages the pedestrian
- A high level of transparency with considerable use of glazing at the street level
- A brise soleil canopy to augment and integrate the overall building mass with the human scaled activity at the sidewalk level
- A retail space on the corner
- Building entrances for the hotel and retail space that directly engage the public along Fore Street and Union Street
- A new Hotel and retail space that are fully accessible
- A porte cochere entrance to allow for vehicular street drop-off and pick-up

The shadow impact of the project will be minimal as shadows will fall predominantly on the CMP sub-station and the adjacent Fore Street parking garage.

The building will be constructed with high quality materials that are long-lasting and durable. This landmark location in the heart of the Old Port will be visually compatible with the character of the existing structures and public ways. The proposed height, width and mass are consistent with the other commercial buildings and the parking garage located nearby that vary in size and scale from 4 to 10 stories tall.

The building's composition will clearly demonstrate a base, middle and top. The ground floor with its generous ceiling height, combined with granite and glass materials, will firmly ground the building to the street and make it compatible with pedestrian interaction. Floors 2 through 6 (up to the 65' street wall height) comprise the building's middle and will be composed of a quality contemporary rain-screen panel system. The seventh floor, stepped back 15 feet from Fore and Union Streets, is the top of the composition.

The contemporary design of this building will be compatible in size, scale, material and character with this unique part of the city.

Easements & Licenses

There is an existing utility easement for an underground electric duct bank on the west end of the parcel. This CMP easement will remain in place. The new porte-cochere driveway entrance will be constructed over the electric duct bank. See the attached survey by Northeast Civil Solutions.

A vehicular easement will allow cars and delivery vehicles access to enter the northeast corner of the parcel from the adjacent property that is owned by Cow Plaza 1 LLC.

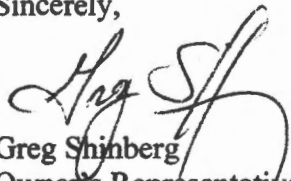
A new easement will be created to provide collected storm water to connect to the drainage located under the parking garage next door. The easement will be granted from Cow Plaza Garage LLC to Cow Plaza Hotel LLC.

We will request a License Agreement from the City for both the foundation footings that will be constructed under the sidewalk and for the brise soleil canopy that will extend over the sidewalk along Fore Street.

We have worked diligently with our talented design professionals to create an exciting project that will be a great addition to this landmark location. Please consider this application complete for the Planning Board Workshop meeting scheduled for September 11, 2012.

Do not hesitate to contact me if you desire any additional information or have any questions.

Sincerely,



Greg Shinberg
Owner's Representative
Cow Plaza Hotel LLC

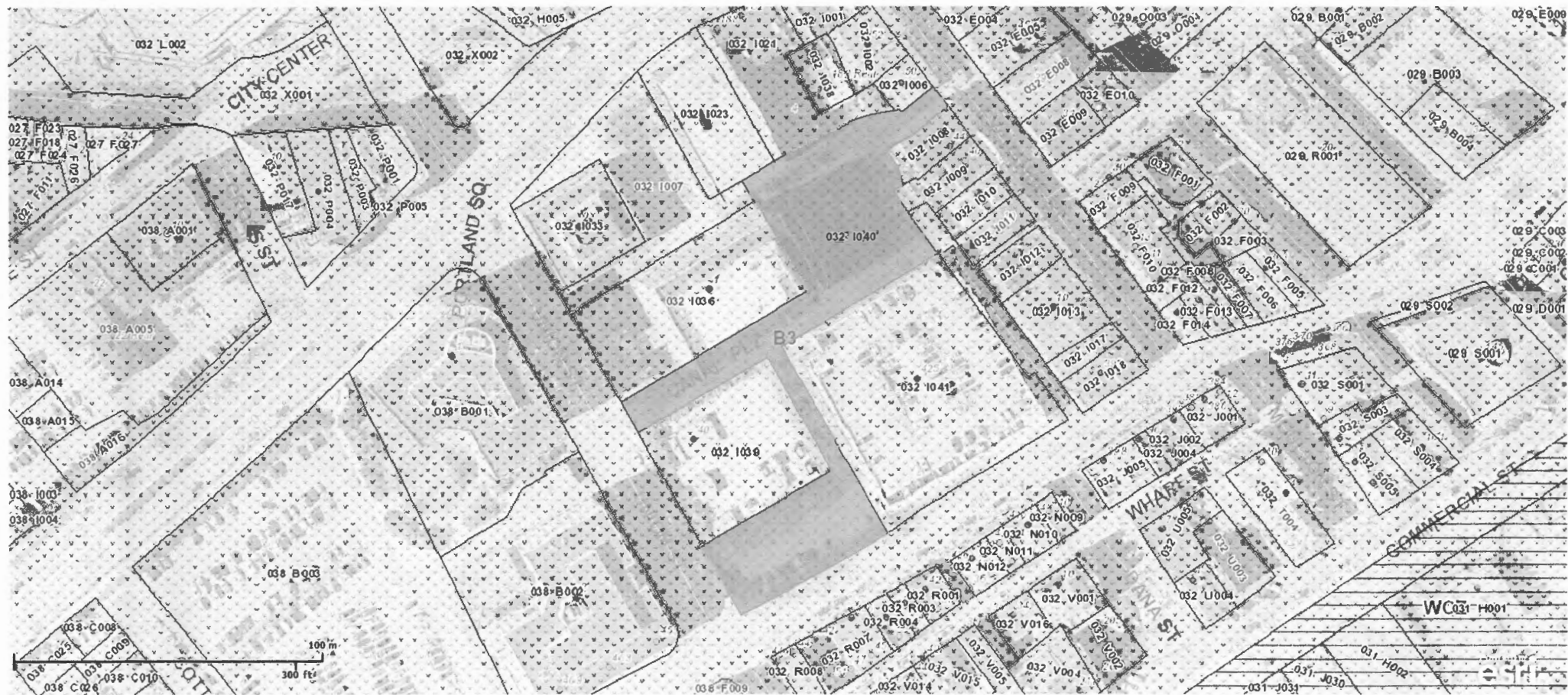
PROJECT DATA

(The following information is required where applicable, in order complete the application)

Total Site Area	19,130 SQUARE FEET
Proposed Total Disturbed Area of the Site	19,130 sq. ft.
<small>(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)</small>	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	2,948 sq. ft.
• Existing Total Impervious Area	14,639 sq. ft.
• Proposed Total Impervious Area	17,785 sq. ft.
• Proposed Impervious Net Change	3,146 sq. ft.
BUILDING AREA	
• Proposed Building Footprint	10,900 sq. ft.
• Proposed Building Footprint Net change	sq. ft.
• Existing Total Building Floor Area	sq. ft.
• Proposed Total Building Floor Area	79,197 sq. ft.
• Proposed Building Floor Area Net Change	sq. ft.
• New Building	(yes or no)
ZONING	
• Existing	B3
• Proposed, if applicable	
LAND USE	
• Existing	
• Proposed	PARKING LOT HOTEL & RETAIL
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	NA
• Proposed Number of Residential Units to be Demolished	
• Existing Number of Residential Units	
• Proposed Number of Residential Units	
• Subdivision, Proposed Number of Lots	
PARKING SPACES	
• Existing Number of Parking Spaces	423
• Proposed Number of Parking Spaces	423
• Number of Handicapped Parking Spaces	NONE VALET PARKING
• Proposed Total Parking Spaces	159 OF THE 423
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	0
• Proposed Number of Bicycle Parking Spaces	23
• Total Bicycle Parking Spaces	23
ESTIMATED COST OF PROJECT	13,000,000

Cow Plaza

032-I-040





Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Jeff Levine, AICP, Director
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 8/29/12 ZONE: B-3

LOCATION: 433 Fore St -

PEOPLE PRESENT: Greg Shimberg - Nell D. - Marge S -

Patric - Deb A - Alex J - Lodhust - P. Soley -

DISCUSSION: ^{CMP} 16-19 Conduits in the Area of Drive below Portico
Easement to be re-done - right title & interest needed

Greg - brought up the sidewalk work & starting discussions on that -
Solidified shared information RE: Downtown Height Overlay MAP.
The dividers would not violate the setback -
Mechanical Screen ^{15'} around the top to hide equipment
A' change of grade from Fore St up ^{unm St}
Sun Screen ^{clear transparent panels} → over the City Sidewalk - - Crankle will go up higher than 65'
There will be tree wells not shape
CMP won't give a construction easement
Revocable licenses to City Manager vs. footings → permanent license to Council
Petraarch® Sidings shown to us
Discussed signage & where would it go - (they) "Fabric Face" not individual
Historic wants to send to the Historic Board (within 100') - general Comp stable
Discussed Parking GARAGE - Documentation needed -
materials important

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.

Marge Schmuckal - Re: Computation Method of Average Grade and 65' Setback.

From: Marge Schmuckal
To: Timothy Hart
Date: 9/12/2012 2:16 PM
Subject: Re: Computation Method of Average Grade and 65' Setback.
CC: Greg Shinberg -gls@shinbergconsulting.com; Patrick Costin

Hi Tim,

Yes, what you have shown me would provide factual information to show you would be meeting the 65' required inset. It is the same method that would be used to meet the overall building height.

Marge

>>> Timothy Hart <thart@canal5studio.com> 9/12/2012 1:35 PM >>>

Hello Marge,

One other verification I need. The attached note shows the method we understand you would use to establish the actual height of the 65' setback for the building. Using the standard "4-corners" method we arrive at an average grade of 27' for the building which would yield a maximum height (to top of structure) for the seventh floor of 92'. Let me know if this is consistent with your expectation for determining this elevation.

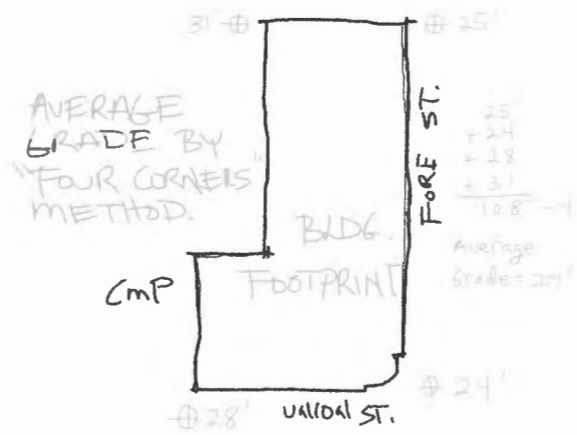
Tim

CANAL5STUDIO

Timothy R. Hart, AIA, LEED AP
One Canal Plaza, Suite 888
Portland, Maine 04101
207.553.2115 Ext.101

canal5studio.com

Architecture / Planning / Interior Design



$$\begin{array}{r}
 27'-0'' \\
 + 65'-0'' \\
 \hline
 \end{array}$$

92'-0'' = TOP of structure at Floor 7 stepback

Krinkle Wall info

Marge Schmuckal - Re: Computation Method of Average Grade and 65' Setback.

From: Marge Schmuckal
To: Timothy Hart
Date: 9/13/2012 2:18 PM
Subject: Re: Computation Method of Average Grade and 65' Setback.
CC: ALEX JAEGERMAN; Barbara Barhydt ; Greg Shinberg -gls@shinbergconsult...

Hi Tim,

I did have a discussion this morning with Alex Jaegerman and Barbara Barhydt about the "Krinkle Wall". I believe that the Maximum Street Wall Height requirements would include this proposed wall. However, I do not think the amount above the 65 feet needs to meet the entire 15' setback requirement. It could be setback 1' or 2', just as long as there is a break in the 65' street wall.

I am hoping this interpretation can still work with your original concept. I am looking forward to your future submissions.

Marge

>>> Timothy Hart <thart@canal5studio.com> 9/12/2012 1:35 PM >>>

Hello Marge,

One other verification I need. The attached note shows the method we understand you would use to establish the actual height of the 65' setback for the building. Using the standard "4-corners" method we arrive at an average grade of 27' for the building which would yield a maximum height (to top of structure) for the seventh floor of 92'. Let me know if this is consistent with your expectation for determining this elevation.

Tim

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Architecture / Planning / Interior Design

Marge Schmuckal - Re: Krinkle wall

From: Marge Schmuckal
To: Alex Jaegerman; Helen Donaldson
Date: 9/10/2012 12:55 PM
Subject: Re: Krinkle wall
CC: Barbara Barhydt

11:00 would be better for me - I have a 10:00 appt. set up already. I can come upstairs.
Marge

>>> Alex Jaegerman<AQJ@portlandmaine.gov> (Alex Jaegerman) 9/10/2012 12:29 PM >>>
Thursday at 9 or 11 is good. Otherwise, next week is pretty flexible so far.

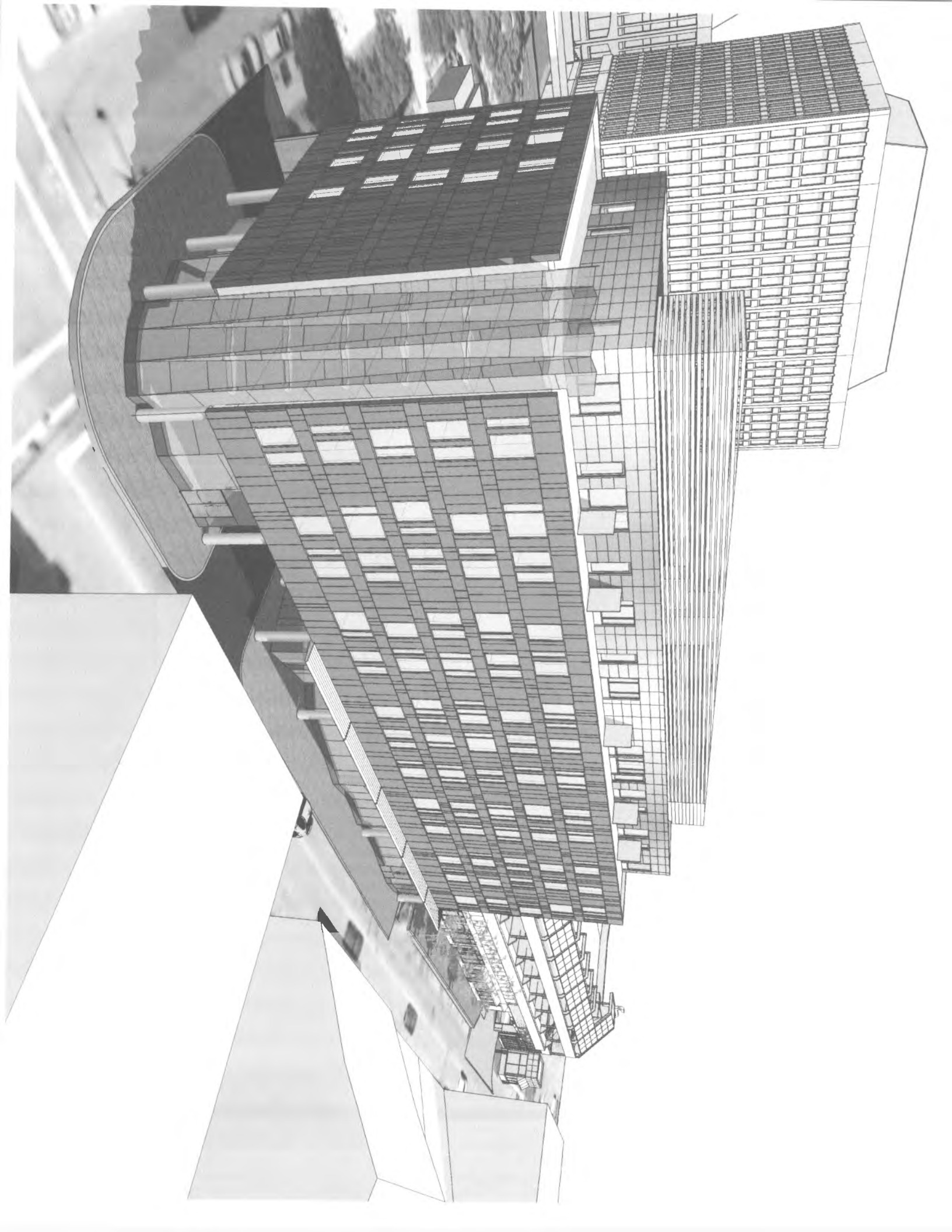
>>> Marge Schmuckal 9/10/2012 9:36 AM >>>

Hi Alex & Nelle,

I have requested that Greg Shinberg give me a copy of the proposed "Krinkle Wall" as shown to us in the slide show about a week ago. Then I would like to sit down and talk about if the wall is meeting the height overlay requirements. Let me know when you can meet on this issue.

Thank you,

Marge Schmuckal



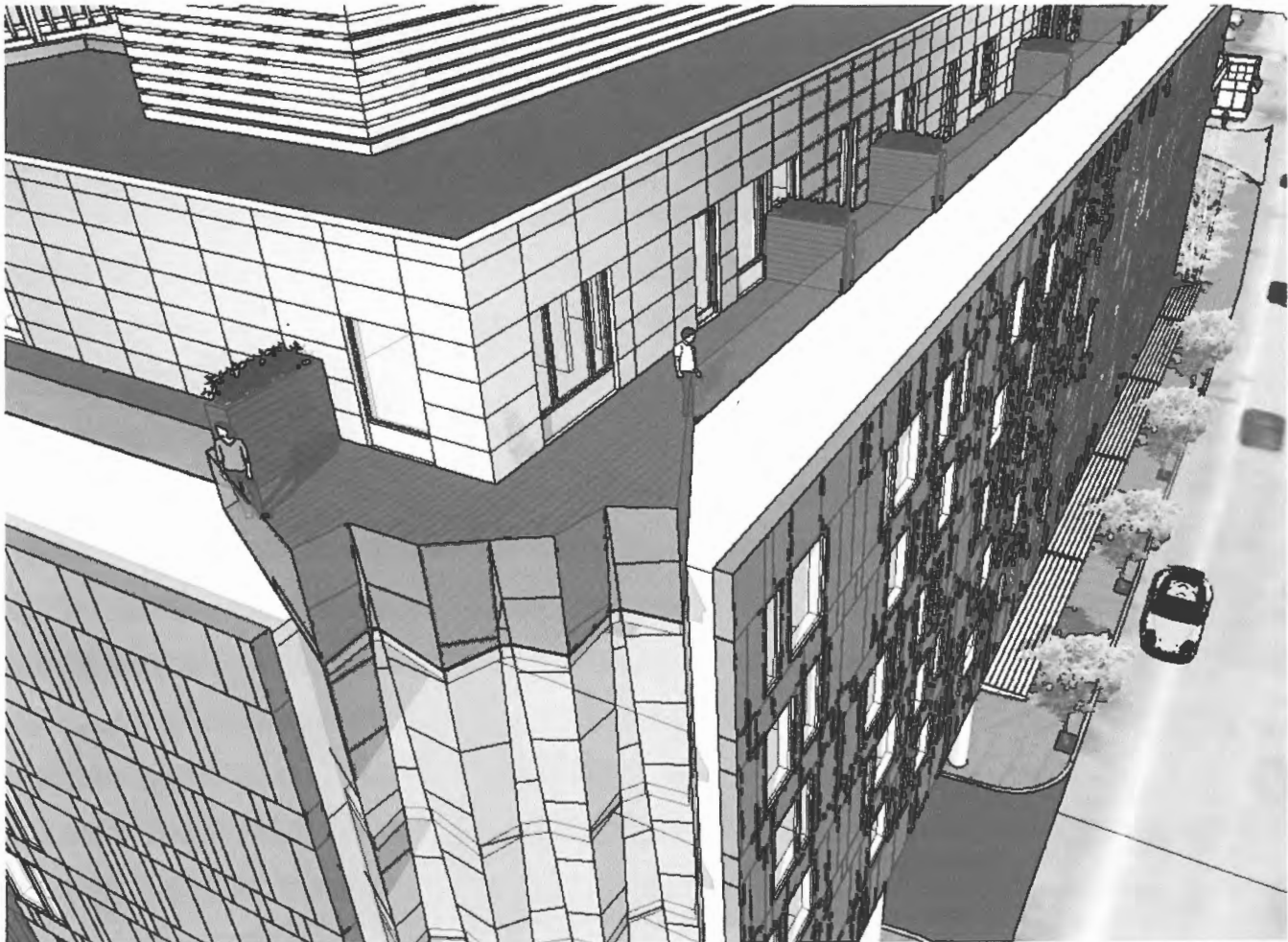
Marge Schmuckal - Canal Plaza Hotel Glass Wall and 7th Floor Guardrail System

From: Timothy Hart <thart@canal5studio.com>
To: "Marge Schmuckal (MES@portlandmaine.gov)" <MES@portlandmaine.gov>
Date: 9/12/2012 9:22 AM
Subject: Canal Plaza Hotel Glass Wall and 7th Floor Guardrail System
CC: Patrick Costin <pcostin@canal5studio.com>, "Greg Shinberg -gls@shinbergc..."

Marge,

Below is an image which illustrates our intent for the glass wall to transition into a guardrail system for the 7th floor terrace. Our understanding is that the 65' wall height is measured to the top of building structure. As a guardrail system, our position is that this does not represent building structure and therefore should not be considered in the 65' height calculation. Please let me know if I can supply you with any more information to help you fully understand our design intent for this element.

Tim



CANAL5STUDIO

Timothy R. Hart, AIA, LEED AP
One Canal Plaza, Suite 888
Portland, Maine 04101
207.553.2115 Ext.101

canal-studio.com

Architecture / Planning / Interior Design





Marge Schmuckal - Canal Plaza - required parking

From: Marge Schmuckal
To: Helen Donaldson
Date: 10/24/2012 1:21 PM
Subject: Canal Plaza - required parking
CC: Barbara Barhydt

Hi Nell,

I used the Assessor's information as to when the Canal Plaza buildings were built:

1 Canal Plaza - 32-I-36 --1973
 2 Canal Plaza 32-I-33 - 1972
 3 Canal Plaza 32-I-23 -1980
 Canal Plaza parking lots - 32-I-7 - 1985

I have several old Land Use Ordinances, but not one for each year. I looked up the B-3 zone and this is what I have;

Ordinance thru the end of 1969 - Section 602.10D: "No off-street parking shall be required for this zone"

Ordinance revised to 3-1-1980 - Section 602.10D: "No off-street parking shall be required for this zone".

Ordinance updated to 10-3-1991 Section 14-221(2) states: "*Off-street parking and loading*: Off street parking and loading are required as provided in division 20 and division 21 of this article, except that no off-street parking is required for changes of use".

Division 20 under 14-332(10) lists: "*Offices; professional and public buildings*: One (1) parking space for each four hundred (400) square feet or major fraction thereof, or floor area exclusive of cellar not used for bulk storage".

Please note that the ordinance appeared to be updated on March 11 1991 when the old numbering was changed to section # 14, our current numbering. I do not know exactly when the parking requirements were changed.

So in conclusion, when the different Canal Plazas were constructed, the projects would have fallen under the requirements of the 1980 Ordinance that did not require any parking.

I hope this helps you,

Marge

1 Canal PLAZA 32-I-36
1973
2 Canal PLAZA 32-I-33
1972
3 Canal PLAZA 32-I-23
1980
Canal PLAZA 32-I-7
parking lots 7, 1985

1927 - "C" Business Zone
did not contain parking
req for any zone

~~1969~~ thru end of 1969 - B-3 zone
Section 602.10D:
No off-street parking shall
be required for this zone

Sec. 14-202. External effects.

- (1) *Reserved.*
- (2) *Enclosed structure:* The use shall be operated within a completely enclosed structure, except for those customarily operated in the open air.
- (3) *Noise:* The volume of sound, measured by a sound level meter with frequency weighing network (manufactured according to standards prescribed by the American Standards Association), generated shall not exceed sixty (60) decibels on the A scale, on impulse (less than one (1) second at lot boundaries), excepting air raid sirens and similar warning devices.
- (4) *Vibration and heat:* Vibration inherently and recurrently generated and heat shall be imperceptible without instruments at lot boundaries.
- (5) *Glare, radiation or fumes:* Glare, radiation or fumes shall not be emitted to an obnoxious or dangerous degree beyond lot boundaries.
- (6) *Smoke:* Smoke shall not be emitted at a density in excess of forty (40) percent opacity level as classified in Method 9 (Visible Emissions) of the Opacity Evaluation System of the U.S. Environmental Protection Agency.
- (7) *Materials or wastes:* No materials or wastes shall be deposited on any lot in such form or manner that they may be transferred beyond the lot boundaries by natural causes or forces. All materials which might cause fumes or dust, or constitute a fire hazard if stored out-of-doors, shall be only in closed containers. Areas attracting large numbers of birds, rodents or insects are prohibited. (Ord. No. 295-88, 5-23-88)

Secs. 14-203—14-215. Reserved.

DIVISION 12. B-3 AND B-3b DOWNTOWN BUSINESS ZONES*

Sec. 14-216. Purpose.

The purposes of the B-3 and B-3b downtown business zones are to:

- (1) Maintain and enhance the role of the downtown as the business and commercial center of the region;

***Editor's note**—Ord. No. 241-91, adopted Mar. 11, 1991, repealed former Div. 12 of this article, §§ 14-216—14-221, relative to B-3 and B-3b Business Zones, and enacted new provisions in lieu thereof as Div. 12, §§ 14-216—14-221.1. Formerly, Div. 12 derived from §§ 602.10.A—602.10.F of the city's 1968 Code as amended by the following legislation:

Ord. No.	Section	Date	Ord. No.	Section	Date
452-72	2	7-17-72	364-88		5- 4-88
499-74	5	8-19-74	294-88		5-23-88
344-76	6	7- 7-76	34-89		6-28-89
429-83	1	4-25-83	153-89	2-7	11-20-89
173-87	1	3- 4-87	235-91	16	2- 4-91

Cross references—Public arts program, § 14-851 et seq.; relocation of displaced tenants, § 14-861 et seq.

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429-83	1	4-25-83	153-89	2-7	11-20-89
173-87	1	3- 4-87	235-91	16	2- 4-91

Cross references—Public arts program, § 14-851 et seq.; relocation of displaced tenants, § 14-861 et seq.

Supp. No. 23

1000

CITY OF PORTLAND

ZONING ORDINANCE

Revised to 3-1-80

C. No building or structure shall be erected, altered, enlarged, rebuilt, or used which does not comply with the following requirements:

Space and bulk
602.10 C.

1. For residential uses - 20 feet - for non-residential uses rear yards are not required except where the rear line abuts a Residence Zone where they shall be 20 feet
2. 10 feet for residential uses and for business uses where side yards abut residential zones.
3. 10 feet for residential uses - none required for non-residential uses.
4. 250 square feet.
5. For residential uses - 70% of the lot area.
6. 8 stories or 100 feet for residential uses - 10 stories or 125 feet for non-residential uses.

Minimum rear yards

Minimum side yards

Minimum front yards

Minimum lot area per dwelling unit

Maximum building coverage

Maximum height

D. No off-street parking shall be required in this zone.

Off-street parking
602.10 D.

E. Off-street loading shall be provided as required in Section 602.15 of this Ordinance.

Off-street loading
602.10 E.

"F. No building or structure shall be erected, altered, enlarged, rebuilt, or used, and no premises shall be used within the land area situated between the shoreland zone line and the normal high water mark of the waters of the Stroudwater River, Presumpscot River, Fore River, Portland Harbor, Back Cove, and the bays, coves, sounds, inlets, and open waters of Casco Bay, as shown on the City of Portland Zoning Map and on all land areas of all islands not having a shoreland zone line on the City of Portland Zoning Map, which does not comply with the requirements of Section 602.19A of this Ordinance."

1000

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... CITY OF PORTLAND ...

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Minimum side yards

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Minimum front yards

4. 250 square feet.

④ Minimum lot area per dwelling unit

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Maximum building coverage

6. 8 stories or 100 feet for residential uses - 10 stories or 125 feet for non-residential uses.

Maximum height

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602.10 D.

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Off-street loading
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"F. No building or structure shall be erected, altered, enlarged, rebuilt, or used, and no premises shall be used within the land area situated between the shoreland zone line and the normal high water mark of the waters of the Stroudwater River, Presumpscot River, Fore River, Portland Harbor, Back Cove, and the bays, coves, sounds, inlets, and open waters of Casco Bay, as shown on the City of Portland Zoning Map and on all land areas of all islands not having a shoreland zone line on the City of Portland Zoning Map, which does not comply with the requirements of Section 602.19A of this Ordinance."

CITY OF PORTLAND, MAINE
PLANNING BOARD

NOV 15 2012

Carol Morrisette, Chair
Stuart O'Brien, Vice Chair
Timothy Dean
Bill Hall
David Silk

November 14, 2012

Greg Shinberg
Shinberg Consulting
477 Congress Street
Portland, ME 04101

Cow Plaza Hotel, LLC
100 Commercial Street
Suite 306
Portland, ME 04101

Project Name: Canal Plaza Hotel
Address: 433 Fore Street
Applicant: Cow Plaza Hotel, LLC, Applicant
Planner: Nell Donaldson

Project ID: 2012-558
CBL: 32-I-40

Dear Mr. Shinberg:

On November 5, 2012, the Planning Board considered your application for an 80,000 SF development, the Canal Plaza Hotel, at 433 Fore Street. The Planning Board reviewed the proposal for conformance with the site plan standards of the city's land use code and voted to approve the application with the waivers and conditions as presented below:

WAIVERS

The Planning Board voted (4-0, Dean recused) to grant a waiver from the technical standard (*Section 1.7.2.7*) regarding the minimum separation of 150 feet between driveways and intersections. Per the standard, access from driveways to corner lots, if situated on arterial or collector streets, shall be located a minimum of 150 feet from the nearest intersection. It was found by the city's consulting traffic engineer that, given the space constraints on the site and the turn restrictions encompassed in the porte cochere design, the required separation is not practical. As such, the Board waived the requirement, allowing the driveways to the porte cochere 50' from the Fore/Union Street intersection on Fore Street and 75' from the Fore/Union Street intersection on Union Street.

The Planning Board voted (4-0, Dean recused) to grant a waiver from *Section 14-369.5 Table 1, Footnote (b)*, which prohibits freestanding signs in the B-3 zone on the peninsula, to allow a freestanding sign at the Fore Street entrance to the porte cochere. This waiver is granted based on the location as depicted in the addendum to the Planning Board Report dated November 1, 2012.

SITE PLAN REVIEW

submitted for review and approval by the Planning Authority prior to the issuance of a certificate of occupancy;

11. A final comprehensive signage plan, including design and illumination details for all proposed signs, shall be submitted for review and approval by the Planning Authority prior to the issuance of a certificate of occupancy;
12. The applicant shall submit samples of the final custom color of the limestone composite panels proposed for the exterior of the building, consistent with the color panels shown at the public hearing, for review and approval by the Planning Authority;
13. The applicant shall submit revised elevations and specifications for the rooftop mechanical screen and stair tower, which address the recommendations of the Planning staff and the Historic Preservation Board, for review and approval by the Planning Authority.

The approval is based on the submitted plans and findings related to site plan review standards as contained in the Planning Board Report and addendum for application 2012-558, which are attached.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for approved site plans:

1. **Storm Water Management Condition of Approval** The applicant and all assigns must comply with the conditions of Chapter 32 Storm Water including Article III Post-Construction Storm Water Management, which specifies the annual inspections and reporting requirements. The developer/contractor/subcontractor must comply with conditions of the construction storm water management plan and sediment & erosion control plan based on our standards and state guidelines.
2. **Loss of On-Street Parking Spaces** Any loss of on-street parking spaces requires action by the City Council. The applicant will be responsible for providing all supporting reference information to the city's Department of Public Services, which will manage the Council item.
3. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
4. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division. Separate building permits are required for signage and HVAC units.
5. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years

from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.

6. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
7. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
8. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
9. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
10. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy.

Jeanie Bourke - Re: Hyatt Place Hotel

From: Jeanie Bourke
To: Timothy Hart
Date: 1/14/2013 9:23 AM
Subject: Re: Hyatt Place Hotel

Tim,

Just as a note, please look at Table 502.2(1) in the IECC for unheated slab on grade floors for Group R. It does call for R-15 for 24" below...see Sec. 502.2.6 for a description of this application.

Jeanie

>>> Timothy Hart <thart@canal5studio.com> 1/14/2013 8:47 AM >>>

Thanks Jeanie.

Tim

Timothy R. Hart, AIA, LEED AP
Principal

Canal 5 Studio
One Canal Plaza, Suite 888
Portland, ME 04102
(207) 553-2115 Ext.101

On Jan 14, 2013, at 8:46 AM, "Jeanie Bourke" <JMB@portlandmaine.gov> wrote:

Ok Tim, I will copy this email to the file for the foundation permit. Per our discussion on the building permit documents, a ComCheck compliance or alternative report is required.

Thanks, I will route this to fire for review,
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715
Office: (207) 874-8703

>>> Timothy Hart <thart@canal5studio.com> 1/11/2013 6:30 PM >>>

Jeanie,

Energy code requires R7.5 for the foundation and we are carrying 2" of XPS which provides R10.

Tim

CANAL5STUDIO
Timothy R. Hart, AIA, LEED AP



Certificate of Design Application

From Designer: BECKER STRUCTURAL ENGINEERS
 Date: 12/4/12
 Job Name: HYATT PLACE PORTLAND - OLD PORT
 Address of Construction: 433 FORE ST.

2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) R-1

Type of Construction 1B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC YES

Is the Structure mixed use? YES If yes, separated or non separated or non separated (section 302.3) SEPARATED

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) YES

Structural Design Calculations

COMPLETED Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>ALL GROUND FLR</u>	<u>100 PSF</u>
<u>ALL PUBLIC SPACES</u>	<u>100 PSF</u>
<u>PUBLIC CORRIDORS</u>	<u>100 PSF</u>
<u>STAIRS</u>	<u>100 PSF</u>
<u>PRIVATE ROOMS & CORRIDORS</u>	<u>40 PSF</u>

Wind loads (1603.1.4, 1609)

MHTD 2 Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (1809.3)
II, 1.0 Building category and wind importance Factor, I_w
table 1604.5, 1609.5)
C Wind exposure category (1609.4)
+/- 0.18 Internal pressure coefficient (ASCE 7)
PER ASCE 7-05 Component and cladding pressures (1609.1.1, 1609.6.2.2)
PER ASCE 7-05 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Equiv. Lat. Force Design option utilized (1614.1)
II Seismic use group ("Category")
0.324 / 0.123 Spectral response coefficients, S_D s & S_{D1} (1615.1)
D Site class (1615.1.5)

N/A Live load reduction
20 PSF Roof live loads (1603.1.2, 1607.11)
46 PSF + DRIFT Roof snow loads (1603.7.3, 1608)
60 PSF Ground snow load, P_g (1608.2)
46 PSF + DRIFT If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.1 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_s (1608.4)
B Seismic design category (1616.3)
OCBF, OEBF Basic seismic force resisting system (1617.6.2)
3.0, 3.0 Response modification coefficient, R , and
 deflection amplification factor, C_d (1617.6.2)
Equiv Lat Force Analysis procedure (1616.6, 1617.5)
300K Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
N/A Elevation of structure

Other loads

AS INDICATED Concentrated loads (1607.4)
INCLUDED Partition loads (1607.5)
AS INDICATED Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
 1607.12, 1607.13, 1610, 1611, 2404)

Project: Hyatt Place Portland – Old Port
Date Prepared: 11-26-12

Structural Statement of Special Inspections

Project: Hyatt Place Portland – Old Port

Location: 433 Fore Street, Portland, ME

Owner: East Brown Cow Management, Inc.

This *Statement of Special Inspections* encompass the following discipline: **Structural**

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all Structural inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A *Final Report of Special Inspections* documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

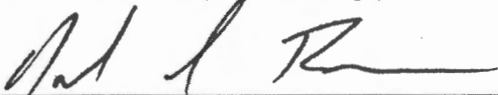
Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

Prepared by:

Daniel S. Burne, P.E. – Becker Structural Engineers, Inc.

(type or print name of the Structural Registered Design Professional in Responsible Charge)


Signature

11-26-12
Date



Owner's Authorization:

Building Code Official's Acceptance:

Signature

Date

Signature

Date

Structural Statement of Special Inspections (Continued)

List of Agents

Project: Hyatt Place Portland – Old Port

Location: 433 Fore Street, Portland, ME

Owner: East Brown Cow Management, Inc.

This Statement of Special Inspections encompass the following discipline: **Structural**

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- Soils and Foundations
- Cast-in-Place Concrete
- Precast Concrete System
- Structural Masonry Systems
- Structural Steel
- Wood Construction
- Special Cases: Sprayed Fire Resistant Material

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. STRUCTURAL Special Inspections Coordinator (SSIC)	T.B.D.	
2. Special Inspector (SI 1)	T.B.D.	
3. Special Inspector (SI 2)	T.B.D.	
4. Testing Agency (TA 1)	T.B.D.	
5. Testing Agency (TA 2)		
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Project: Hyatt Place Portland – Old Port
Date Prepared: 11-26-12

Structural Statement of Special Inspections (Continued)

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1). Note that all Agent's Final Reports must be received prior to issuance.]

Project: *Hyatt Place Portland – Old Port*
Location: *433 Fore Street, Portland, ME*
Owner: *East Brown Cow Management, Inc.*
Owner's Address: *100 Commercial Street, Ste 306
Portland, ME 04101*

Architect of Record: *Patrick Costin, AIA* *Canal 5 Studio*
(name) (firm)

Structural Registered Design
Professional in Responsible Charge: _____
(name) (firm)

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

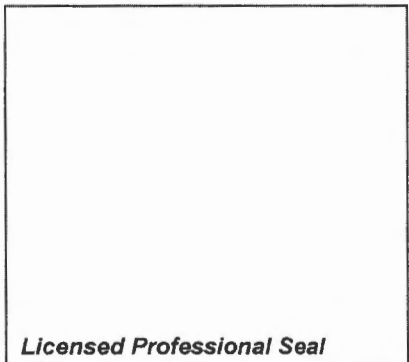
Respectfully submitted,
Structural Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature

Date



Project: Hyatt Place Portland – Old Port
Date Prepared: 11-26-12

Structural Statement of Special Inspections (Continued)

Special Inspector's/Agent's Final Report

Project: *Hyatt Place Portland – Old Port*

Special Inspector or
Agent:

Designation: *(name)* *(firm)*
SI 2

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date

*Licensed Professional Seal or
Certification Number*

Project: Hyatt Place Portland – Old Port
Date Prepared: 11-26-12

Structural Statement of Special Inspections (Continued)

Special Inspector's/Agent's Final Report

Project: *Hyatt Place Portland – Old Port*
Special Inspector or
Agent:

Designation: *(name)* *(firm)*
TA 1

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved.

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date

SEAL NOT REQUIRED FOR
TESTING AGENCY

*Licensed Professional Seal or
Certification Number*

Structural Schedule of Special Inspections

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all inspectors and testing technicians shall be provided to the Special Inspector for their records. *NOTE VERIFICATION THAT QUALIFIED INDIVIDUALS ARE AVAILABLE TO PERFORM STIPULATED TESTING AND/OR INSPECTION SHOULD BE PROVIDED PRIOR TO SUBMITTING STATEMENT. AGENT QUALIFICATIONS IN SCHEDULE ARE SUGGESTIONS ONLY; FINAL QUALIFICATIONS ARE SUBJECT TO THE DISCRETION OF THE REGISTERED DESIGN PROFESSIONAL PREPARING THE SCHEDULE.*

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge or Special Inspector of Record deems it appropriate that the individual performing a stipulated test or inspection have a specific certification, license or experience as indicated below, such requirement shall be listed below and shall be clearly identified within the schedule under the Agent Qualification Designation.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

Experienced Testing Technician

ETT	Experienced Testing Technician – An Experienced Testing Technician with a minimum 5 years experience with the stipulated test or inspection
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American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Other

Structural Schedule of Special Inspections

SOILS & FOUNDATION CONSTRUCTION

VERIFICATION AND INSPECTION	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.7, 1704.8, 1704.9						
1. Required Verification and Inspection of Soils:						
a. Verify materials below slabs/pavement are adequate to achieve the design bearing capacity.	Y	P	IBC 1704.7	SI2	PE/GE, EIT or ETT	
b. Verify excavations are extended to proper depth and have reached proper material.	Y	P	IBC 1704.7	SI2	PE/GE, EIT or ETT	
c. Perform classification and testing of compacted fill materials.	Y	P	IBC 1704.7	TA1	PE/GE, EIT or ETT	
d. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill.	Y	C	IBC 1704.7	TA1	PE/GE, EIT or ETT	
e. Prior to placement of compacted fill below slabs/pavement, observe subgrade and verify that site has been prepared properly.	Y	P	IBC 1704.7	SI2	PE/GE, EIT or ETT	
2. Required Verification and Inspection of Driven Deep Foundation Elements:						
a. Verify element materials, sizes and lengths comply with the requirements.	N	C	IBC 1704.8	TA1	PE/GE, EIT or ETT	
b. Determine capacities of test elements and conduct additional load tests, as required.	N	C	IBC 1704.8	SI2	PE/GE, EIT or ETT	
c. Observe driving operations and maintain complete and accurate records for each element.	N	C	IBC 1704.8	TA1	PE/GE, EIT or ETT	
d. Verify placement locations and plumbness, confirm type and size of hammer, record number of blows per foot of penetration, determine required penetrations to achieve design capacity, record tip and butt elevations and document any damage to foundation element.	N	C	IBC 1704.8	TA1	PE/GE, EIT or ETT	
3. Required Verification and Inspection of Cast-in-Place Deep Foundation Elements:						
a. Observe drilling operations and maintain complete and accurate records for each element.	Y	C	IBC 1704.9	TA1	PE/GE, EIT or ETT	
b. Verify placement locations and plumbness, confirm element diameters, bell diameters (if applicable), lengths, embedment into bedrock (if applicable) and adequate end bearing strata capacity. Record concrete or grout volumes.	Y	C	IBC 1704.9	TA1/SI2	PE/GE, EIT or ETT	

See Concrete, Masonry, and/or Steel Schedules for additional material inspections for deep foundation elements as applicable.

Structural Schedule of Special Inspections
CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.4						
1. Inspection of reinforcing steel, including prestressing tendons, and placement	Y	P	ACI 318: 3.5, 7.1-7.7	S11/S12	PE/SE or EIT	
2. Inspection of reinforcing steel welding in accordance with Table 1704.3, Item 5B	N	-	Not applicable. Welding of Reinf Not Allowed	-	-	
3. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased or where strength design is used.	N	C	IBC 1911.5	S11	PE/SE or EIT	
4. Inspection of anchors installed in hardened concrete.	Y	P	IBC 1212.1	S11	PE/SE or EIT	
5. Verifying use of required design mix	Y	P	ACI 318: Ch 4, 5.2-5.4	TA1	ACI-CFTT or ACI-STT	
6. At time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests and determine the temperature of the concrete.	Y	C	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	TA1	ACI-CFTT or ACI-STT	
7. Inspection of concrete and shotcrete placement for proper application techniques	Y	C	ACI 318: 5.9, 5.10	TA1	ACI-CFTT or ACI-STT	
8. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318: 5.11-5.13	S11	PE/SE or EIT	
9. Inspection of Prestressed Concrete						
a. Application of prestressing force.	Y	C	ACI 318: 18.20	TA1	PE/SE or EIT	
b. Grouting of bonded prestressing tendons in seismic force resisting system	Y	C	ACI 318: 18.18.4	TA1	ACI-CFTT or ACI-STT	
10. Erection of precast concrete members.	Y	P	ACI 318: Ch 16	S11	PE/SE or EIT	
11. Verification of in-situ concrete strength, prior to stressing of tendons at rock anchors.	Y	P	ACI 318: 6.2	TA1	ACI-CFTT or ACI-STT	
12. Inspect formwork for shape, location and dimensions of the concrete member being formed.	Y	P	Limitations apply. See below	S11	PE/SE or EIT	

Limitations of item 12: Special inspection includes periodic review of formwork shape, general location, and formwork dimensions that can be readily measured with conventional tape measure. Verification of building layout, building location, foundation extents, column grids, and foundation elevations is excluded.

Structural Schedule of Special Inspections - STEEL CONSTRUCTION

VERIFICATION AND INSPECTION	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.3						
1. Material verification of high-strength bolts, nuts and washers:						
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	P	Applicable ASTM material standards, AISC 360, A3.3	TA1	AWS/AISC-SSI	
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT	
2. Inspection of high-strength bolting						
a. Snug-tight joints.	Y	P		TA1	AWS/AISC-SSI	
b. Pretensioned and slip-critical joints using turn-of-nut with matchmaking, twist-off bolt or direct tension indicator methods of installation.	Y	P	AISC LRFD Section M2.5 IBC Sect 1704.3.3	TA1	AWS/AISC-SSI	
c. Pretensioned and slip-critical joints using turn-of-nut without matchmaking or calibrated wrench methods of installation.	Y	C		TA1	AWS/AISC-SSI	
3. Material verification of structural steel and cold-formed steel deck:						
a. For structural steel, identification markings to conform to AISC 360.	Y	P	AISC 360, M5.5	SII	PE/SE or EIT	
b. For other steel, identification markings to conform to ASTM standards specified in the approved construction documents.	Y	P	Applicable ASTM material standards	SII	PE/SE or EIT	
c. Manufacturer's certified test reports.	Y	S		SII	PE/SE or EIT	
4. Material verification of weld filler materials:						
a. Identification markings to conform to AWS specification in the approved construction documents.	Y	P	AISC 360, M5.5	TA1	AWS/AISC-SSI	
b. Manufacturer's certificate of compliance required.	Y	S		SII	PE/SE or EIT	
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.						
Y	Y	S	AWS D1.1	SII	PE/SE or EIT	
6. Inspection of welding (IBC 1704.3.1):						
a. Structural steel and cold-formed deck:						
1) Complete and partial joint penetration groove welds.	N	C	AWS D1.1	TA1	AWS-CWI	
2) Multipass fillet welds.	N	C		TA1	AWS-CWI	
3) Single-pass fillet welds > 5/16"	Y	C		TA1	AWS-CWI	
4) Plug and slot welds	N	C		TA1	AWS-CWI	
5) Single-pass fillet welds ≤ 5/16"	Y	P		TA1	AWS-CWI	
6) Floor and deck welds.	Y	P	AWS D1.3	TA1	AWS-CWI	
b. Reinforcing steel:						
1) Verification of weldability of reinforcing steel other than ASTM A706.	N	-	Not applicable.	-	-	
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special structural walls of concrete and shear reinforcement.	N	C	AWS D1.4 ACI 318: 3.5.2	TA1	AWS-CWI	
3) Shear reinforcement.	N	C		TA1	AWS-CWI	
4) Other reinforcing steel.	N	P		TA1	AWS-CWI	
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents:						
a. Details such as bracing and stiffening.	Y	P	IBC 1704.3.2	SII	PE/SE or EIT	
b. Member locations.	Y	P		SII	PE/SE or EIT	
c. Application of joint details at each connection.	Y	P		SII	PE/SE or EIT	

Structural Schedule of Special Inspection Services

SPRAYED FIRE-RESISTANT MATERIALS

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETED
IBC Section 1704.12						
1. Surface Conditions: Verify surfaces are prepared in accordance with the approved fire-resistance design and the approved manufacturer's written instructions prior to application of the sprayed fire-resistant material	Y	P	IBC 1704.12.2	TA1		
2. Application: Verify the substrate shall have a minimum ambient temperature before and after application as specified in the approved manufacturer's written instruction. The area for application shall be ventilated during and after application as required by the approved manufacturer's written instructions.	Y	P	IBC 1704.12.3	TA1		
3. Thickness: Verify average thickness of the sprayed fire-resistant materials applied to structural elements shall not be less than the thickness required by the approved fire-resistance design.						
a. Floor, Roofs & Walls: The thickness of the sprayed fire-resistant material applied to floor, roof and wall assemblies shall be determined in accordance with ASTM E 605, taking the average of not less than four measurements for each 1,000 square feet (93 m ²) of the sprayed area on each floor or part thereof.	Y	P	IBC1704.12.4.2; ASTM E605	TA1		
b. Structural Framing: The thickness of the sprayed fire-resistant material applied to structural members shall be determined in accordance with ASTM E 605. Thickness testing shall be performed on not less than 25 percent of the structural members on each floor.	Y	P	IBC1704.12.4.3; ASTM E605	TA1		
4. Density: Verify density of the sprayed fire-resistant material not be less than the density specified in the approved fire-resistant design.	Y	P	IBC1704.12.5; ASTM E605	TA1		
5. Bond: Verify the cohesive/adhesive bond strength of the cured sprayed fire-resistant material applied to structural elements shall not be less than 150 pounds per square foot (psf) (7.18 kN/m ²). The cohesive/adhesive bond strength shall be determined in accordance with the field test specified in ASTM E 736 by testing in-place samples.						
a. The test samples for determining the cohesive/adhesive bond strength of the sprayed fire-resistant materials shall be selected from each floor, roof and wall assembly at the rate of not less than one sample for every 2,500 square feet (232 m ²) or part thereof of the sprayed area in each story.	Y	P	IBC 1704.12.6.1; ASTM E 736	TA1		
b. The test samples for determining the cohesive/adhesive bond strength of the sprayed fire-resistant materials shall be selected from beams, girders, joists, trusses and columns at the rate of not less than one sample for each type of structural framing member for each 2,500 square feet (232 m ²) of floor area or part thereof in each story.	Y	P	IBC 1704.12.6.2; ASTM E 736	TA1		

Structural Schedule of Special Inspections
SEISMIC RESISTANCE - STRUCTURAL

VERIFICATION AND INSPECTION	REQD Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	TASK COMPLETE D
IBC Section 1707						
1. Special inspections for seismic resistance. Special inspection as specified in this section is required for the following:						
a. The seismic-force-resisting systems in structures assigned to Seismic Design Category C, D, E or F	N	P	IBC 1707.1	SII	PE/SE or EIT	
b. Designated seismic systems in structures assigned to Seismic Design Category D, E, or F.	N	P	IBC 1707.1	SII	PE/SE or EIT	
2. Structural steel: Continuous special inspection for structural welding in accordance with AISC 341.	N	C	IBC 1707.2	TA1	AWS-CWI	
3. Structural wood:						
a. Continuous special inspection during field gluing operations of elements of the seismic-force-resisting system.	N	C	IBC 1707.3	SII	PE/SE or EIT	
b. Periodic special inspections for nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system (where spacing is 4" o.c., or less) including drag struts, braces and hold-downs	N	P	IBC 1707.3	SII	PE/SE or EIT	
4. Cold-formed steel framing: Periodic special inspections during welding operations of elements of the seismic-force-resisting system. Periodic special inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system (where spacing is 4" o.c., or less), including struts, braces, and hold-downs	N	-	CFSF for this project not part of the primary seismic-force resisting system.	-	-	
5. Seismic isolation system. Provide periodic special inspection during the fabrication and installation of isolator units and energy dissipation devices if used as part of the seismic isolation system	N	-	Seismic isolators not used.	-	-	

Fabricator's Certificate of Compliance

Each approved fabricator that is exempt from Special Inspection of shop fabrication and implementation procedures per section 1704.2 of the International Building Code must submit a *Fabricator's Certificate of Compliance* at the completion of fabrication.

Project: Hyatt Place Portland – Old Port

Fabricator's Name:

Address:

Certification or Approval Agency:

Certification Number:

Date of Last Audit or Approval:

Description of structural members and assemblies that have been fabricated:

Structural steel as shown on the Contract Documents

I hereby certify that items described above were fabricated in strict accordance with the approved construction documents.

Signature

Date

Title

Attach copies of fabricator's certification or building code evaluation service report and fabricator's quality control manual

Project: Hyatt Place Portland – Old Port
Date Prepared: 11-26-12

End of Structural Statement of Special Inspections



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

Shell Permit

No.21117

In accordance with the provisions of M.R.S.A. Title 25, Chapter 317, Sec.317 and Title 5, Section 4594-F, permission is hereby granted to construct or alter the following referenced building according to the plans hitherto filed with the Commissioner and now approved. No departure from application form/plans shall be made without prior approval in writing. Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions.

Each permit issued shall be displayed at the site of construction.

Building: HYATT PLACE PORTLAND- OLD PORT
Location: 433 FORE STREET, PORTLAND, ME 04101
Owner: COW PLAZA HOTELS, LLC.
Owner Address: 100 COMMERCIAL ST STE 306, PORTLAND, ME 04101-4723

Occupancy Type: Hotel/Dormitories
Secondary Use:
Supervised Sprinkler System
Monitored Fire Alarm System
Construction Mode: New Building
Fire Resistive: Type I (332)
Final Number of Stories: 7

Permit Date: 11/29/2012

Expiration Date: 05/28/2013

Notes and additional requirements:

"SHELL PERMIT ONLY" Concrete, exterior shell, siding and steel are all included in the shell permit. No interior work to be done without full permitting of project.

COMMISSIONER OF PUBLIC SAFETY

Copy 1 - Owner

Jeanie Bourke - Re: Hyatt Place Hotel

From: Jeanie Bourke
To: Timothy Hart
Date: 1/14/2013 8:43 AM
Subject: Re: Hyatt Place Hotel

Ok Tim, I will copy this email to the file for the foundation permit. Per our discussion on the building permit documents, a ComCheck compliance or alternative report is required.

Thanks, I will route this to fire for review,
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
Direct: (207) 874-8715
Office: (207) 874-8703

>>> Timothy Hart <thart@canal5studio.com> 1/11/2013 6:30 PM >>>
Jeanie,

Energy code requires R7.5 for the foundation and we are carrying 2" of XPS which provides R10.
Tim

CANAL5STUDIO

Timothy R. Hart, AIA, LEED AP
One Canal Plaza, Suite 888
Portland, Maine 04101
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Architecture / Planning / Interior Design



2009 INTERNATIONAL BUILDING CODE® PLAN REVIEW RECORD

Plan Review # 2012-65556 FND
 Date: 1/8/13
 Valuation: 1,557,000.00
 Fee: \$15,600

JURISDICTION: Portland
 (City, County, Township, etc.)

BUILDING LOCATION: 423-445 Fore St.
 (Street address)

BUILDING DESCRIPTION: New Hotel - Hyatt Place, 7 stories, 123 Room, Rest, Retail
Phase 1 Foundation Only -

REVIEWED BY: Jeanie Bourke

Numerals indicated in parenthesis are applicable code sections of the 2009 International Building Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections. It does not reference all code provisions which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgement in evaluating construction documents for code compliance.

CORRECTION LIST

No.	DESCRIPTION	Code Section
✓	update Special Inspections w/agencies/Firms ok when available by conditions	
2	Comprehensive Code Analysis with Structure Phase	
3	ComCheck - A - plans for wall section at foundation	
✓	Roof Access - yes Alt tread to 2'x8' Roof Hatch	
— To Be Continued on Phase 2 for Structure —		



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Item No. 0002PR09

Marge Schmuckal - 433 Fore Street Hotel

From: Marge Schmuckal
To: Helen Donaldson; Philip DiPierro
Date: 12/7/2012 12:07 PM
Subject: 433 Fore Street Hotel

Site Plan Approval
Required

Hi all,
We have a building permit application for this hotel (foundation only). Let us know when we can issue the permit.
Marge

Jeanie Bourke - 433 Fore Street, Canal Plaza Hotel -Foundation Only Permit Issuance

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 2/11/2013 2:45 PM
Subject: 433 Fore Street, Canal Plaza Hotel -Foundation Only Permit Issuance

Hi all, this project, site plan #2012-558, the Canal Plaza Hotel project located at 433 Fore Street, meets minimum DRC site plan requirements for the issuance of the foundation only building permit. Please see UI for sign-off. Feel free to contact me with any questions. Thanks.

Phil