



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Eugene Prentice/Wright Ryan Constr. Located At 401 FORE CBL: 032 I041001

has permission to Do Interior renovations, Retail to Resturant "Five Guys Burger & Fries" PERMIT# 2010-12-170

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

[Signature]

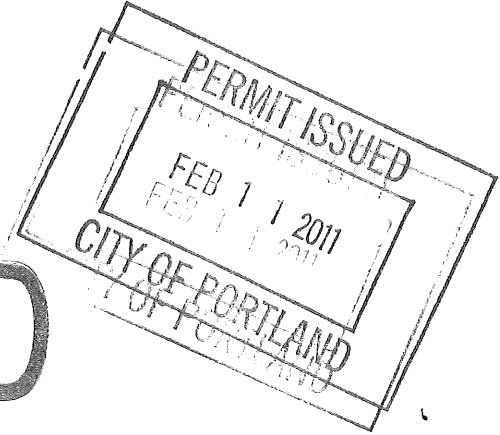
Fire Prevention Officer

[Signature] 2/11/11

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CARD.

SCANNED



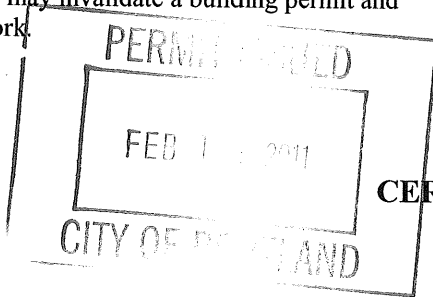
City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

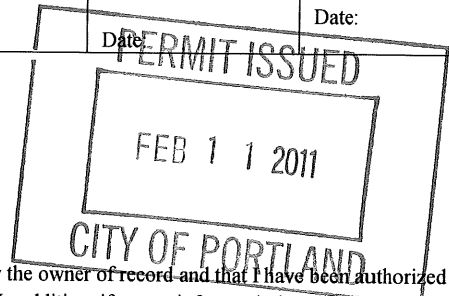
Permit No: 2010-12-170	Issue Date: 2/11/11	CBL: 032 1041001
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Location of Construction: 401 Fore St	Owner Name: Cow Plaza Garage LLC	Owner Address: 100 Commercial St., Portland, ME 04101	Phone:
Business Name: 5 Guys Burgers & Fries	Contractor Name: Wright Ryan Construction	Contractor Address: 10 Danforth St., Portland ME	Phone: 773-3625
Lessee/Buyer's Name: Eugene Prentice	Phone:	Permit Type: Interior Alt., Change of Use	Zone: B-3
Past Use: Retail	Proposed Use: Restaurant - 1st floor, 5 Guys Burgers & Fries	Cost of Work: 190,000	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Inspection: Use Group: A-2 Type:3A IBC 2009
Proposed Project Description: Interior Renovations, commercial kitchen, bathrooms		Signature: JMB 2/11/11	
		Signature: KG	
		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Ld	Date Applied For: 12/28/10	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building Permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. 		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Min <input type="checkbox"/> MM <input type="checkbox"/> Date: MES	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in Dist or Landmark <input checked="" type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:



CERTIFICATION



I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>425 Fore Street, Unit 1 - Portland, ME 04101</u>		
Total Square Footage of Proposed Structure/Area <u>Tenant Improvement 2483 SF</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>32</u> Block# <u>I</u> Lot# <u>41</u>		Applicant * must be owner, Lessee or Buyer* Name <u>Eugene Prentice</u> Address <u>66 Girard Ave, Unit 215</u> City, State & Zip <u>Newport, RI 02840</u>
Lessee/DBA (If Applicable)		Telephone: <u>917.331.4949</u>
Owner (if different from Applicant) Name Address City, State & Zip		Cost Of Work: \$ <u>190,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>\$1905-</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? <u>Commercial - Retail</u> Proposed Specific use: <u>Restaurant</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Tenant Improvement of an existing 2,483 sf space to develop a fast casual restaurant specializing in Burgers & Fries.</u>		
Contractor's name: <u>Wright Ryan Construction</u>		
Address: <u>10 Danforth St</u>		
City, State & Zip <u>Portland, ME 04101</u>		Telephone: <u>207-773-3625</u>
Who should we contact when the permit is ready: <u>Mike Barton</u>		Telephone: <u>207-318-4231</u>
Mailing address: <u>10 Danforth St - Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 12/23/2010

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer:

Carl Lingle

Date:

12/17/2010

Job Name:

Five Guys Burgers & Fries

Address of Construction:

425 Fore St. Unit 1, Portland, ME 04101

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 IBC Use Group Classification (s) A2 - Restaurant

Type of Construction IIIA

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Existing

Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) Separated

Supervisory alarm System? TRD Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A</u>	
<u>/</u>	

Wind loads (1603.1.4, 1609)

N/A Design option utilized (1609.1.1, 1609.6)

/ Basic wind speed (1809.3)

/ Building category and wind importance Factor, I_w table 1604.5, 1609.5)

/ Wind exposure category (1609.4)

/ Internal pressure coefficient (ASCE 7)

/ Component and cladding pressures (1609.1.1, 1609.6.2.2)

/ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

N/A Design option utilized (1614.1)

/ Seismic use group ("Category")

/ Spectral response coefficients, S_D s & S_{D1} (1615.1)

/ Site class (1615.1.5)

<u>N/A</u>	Live load reduction
	Roof live loads (1603.1.2, 1607.11)
	Roof snow loads (1603.7.3, 1608)
	Ground snow load, P_g (1608.2)
	If $P_g > 10$ psf, flat-roof snow load P_f
	If $P_g > 10$ psf, snow exposure factor, C_e
	If $P_g > 10$ psf, snow load importance factor, I_s
	Roof thermal factor, C_t (1608.4)
	Sloped roof snowload, P_R (1608.4)
	Seismic design category (1616.3)
	Basic seismic force resisting system (1617.6.2)
	Response modification coefficient, R , and deflection amplification factor C_d (1617.6.2)
	Analysis procedure (1616.6, 1617.5)
	Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)

/ Elevation of structure

Other loads

N/A Concentrated loads (1607.4)

/ Partition loads (1607.5)

/ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/ framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littell

Job ID: 2010-12-170-CH OF USE

Located At: 401 FORE

CBL032 - - I - 041 - 001 - - - -

Conditions of Approval:

Zoning

1. Separate permits shall be required for any new signage.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
4. This property shall remain a restaurant use with the issuance of this permit and subsequent issuance of a certificate of occupancy. Any change of use shall require a separate permit application for review and approval.

Fire

1. All construction shall comply with City Code Chapter 10.
2. Application requires State Fire Marshal approval.
3. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
4. A separate Fire Alarm Permit is required
5. The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
6. Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance.
7. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
8. Fire extinguishers are required. Installation per NFPA 10.
9. The Fire Department will require knox locking caps on all Fire Department Connections on the exterior of the building.
10. Separate hood and hood suppression system permits are required.

Building

1. Application approval based upon information provided by applicant including revisions submitted 2/9/11. Any deviation from approved plans requires separate review and approval prior to work.

2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
4. Approval of City license is subject to health inspections per the Food Code.
5. Equipment must be installed in compliance per the manufacturer's specifications
6. All penetrations through rated assemblies must be protected by an approved fire stop system installed in accordance with ASTM 814 or UL 1479, per IBC 2009 Section 712.
7. Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. This regards the stair construction leading to the rear egress.
8. A permit for BMP is required to be submitted to the City of Portland Public Services Sewer Engineering Division, per their guidelines, for the 1000 tank grease interceptor installed on the premises. Cleaning and sanitization of the tank and facility is required off business hours, and the tank shall be maintained with air tight seals.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Plumbing, Underground Rough Commercial
 2. Close In Electric/Plumbing/Framing prior to insulation or drywall
 3. Final/Certificate of Occupancy prior to occupancy including the health inspection for business license

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

From: Tom Burrill <tburrrill@wright-ryan.com>
To: "Jeanie Bourke (jmb@portlandmaine.gov)" <jmb@portlandmaine.gov>
CC: Brian Jacobs <bjacobs@wright-ryan.com>
Date: 2/1/2011 12:30 PM
Subject: FW: 5 Guys Stair Details
Attachments: STAIR SECTION.pdf; STAIR PLAN.pdf

Hello Jeanie,

Please see the attached details for the rear stair as requested. I have also requested that the MEP Engineer (Andrea) contact you directly to discuss the Plumbing issues as discussed.

Let me know if you need anything else.

Thanks,
Tom

Thomas E. Burrill LEED AP
Project Manager
Wright-Ryan Construction Inc.
Phone - 207-773-3625
Fax - 207-773-5173
Cell - 207-756-2542
www.wright-ryan.com<<http://www.wright-ryan.com/>>

From: brianengle [mailto:brianengle@lingledesign.com]
Sent: Tuesday, February 01, 2011 12:14 PM
To: Tom Burrill
Subject: Stair Details_Portland, ME

Tom-
Attached are the stair details for the rear stair.
Thanks-
Brian

Brian Engle, AIA, NCARB
Registered Architect

LingleDESIGNGroupINC
www.lingledesign.com

158 West Main Street_Lena, IL 61048
Phone: 815.369.9155_Mobile: 815.238.7248_
Fax: 815.369.4495

RECEIVED

FEB -2 2011
Dept. of Building Inspections
City of Portland Maine

Jeanie Bourke - RE: FW: 5 Guys Stair Details

From: Tom Burrill <tburrrill@wright-ryan.com>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 2/3/2011 11:48 AM
Subject: RE: FW: 5 Guys Stair Details
CC: Brian Jacobs <bjacobs@wright-ryan.com>

Good Morning Jeanie,

We will construct the stairs per your comments, we had the same thoughts this morning while reviewing the sketches. The walls are full height in this area. I have also spoken with the Architect this morning, you will hopefully be hearing from Andrea shortly.

Thanks,
Tom

From: Jeanie Bourke [mailto:JMB@portlandmaine.gov]
Sent: Thursday, February 03, 2011 11:38 AM
To: Tom Burrill
Cc: Brian Jacobs
Subject: Re: FW: 5 Guys Stair Details

Tom,
On the stair details, I have these comments:

1. The tread depth is required to be a minimum of 11" net, with no nosing.
2. Handrails are required on both sides and the height is measured vertically (plumb) from the front edge of the tread.
3. Please confirm that the surrounding walls are full height.

Thanks,
Jeanie

>>> Tom Burrill <tburrrill@wright-ryan.com> 2/1/2011 12:29 PM >>>
Hello Jeanie,

Please see the attached details for the rear stair as requested. I have also requested that the MEP Engineer (Andrea) contact you directly to discuss the Plumbing issues as discussed.

Let me know if you need anything else.

Thanks,
Tom

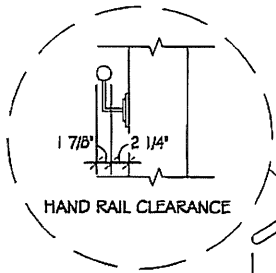
Thomas E. Burrill LEED AP
Project Manager
Wright-Ryan Construction Inc.
Phone - 207-773-3625
Fax - 207-773-5173
Cell - 207-756-2542
www.wright-ryan.com

RECEIVED

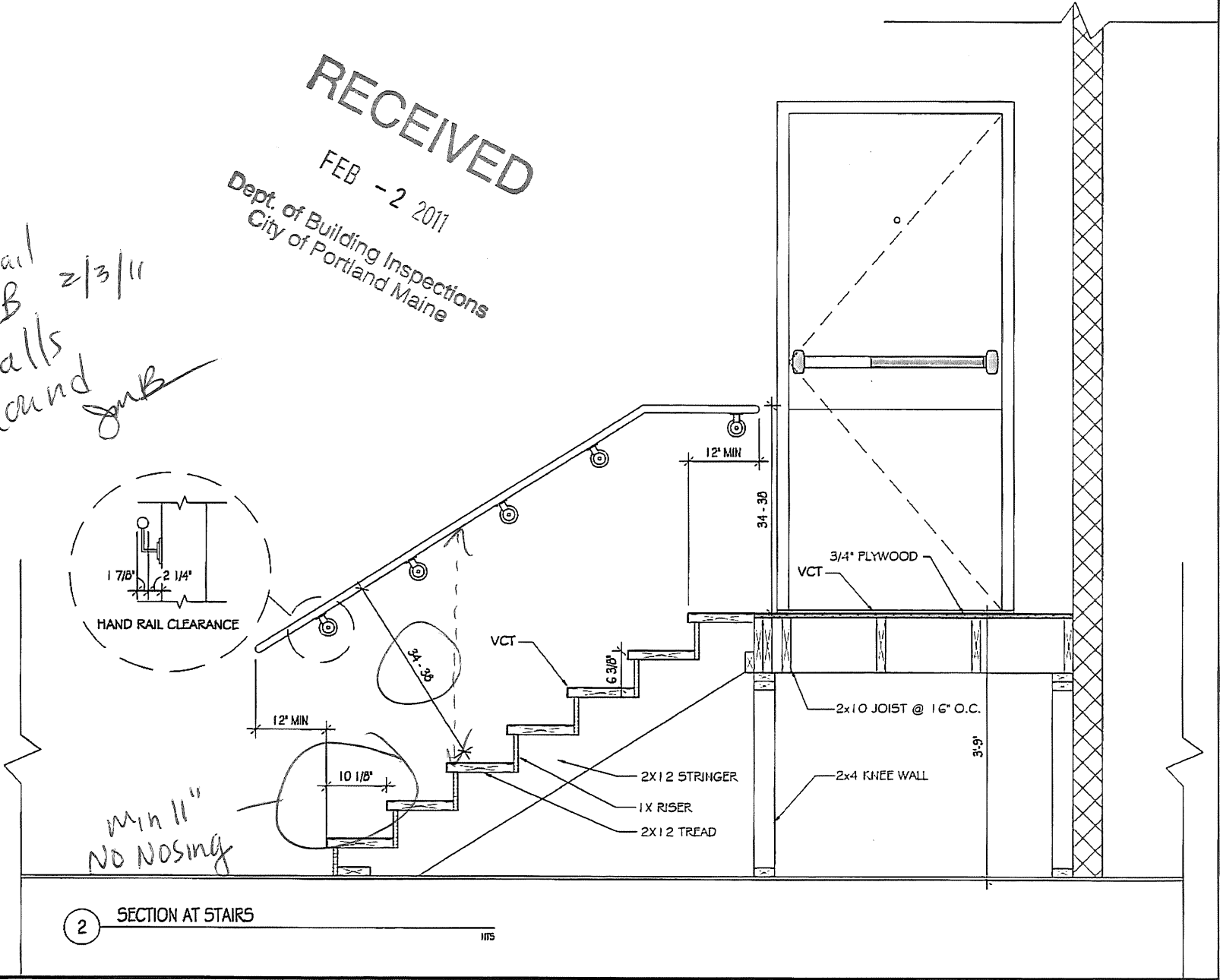
FEB - 2 2011

Dept. of Building Inspections
City of Portland Maine

Notes
Per Email
from Tom B 2/3/11
Full H walls
all around
JMB



Min 11"
NO NOSING



2 SECTION AT STAIRS

PROJ. NO.: 10-1033
DATE: 02/01/11
SPACE PLAN # 2

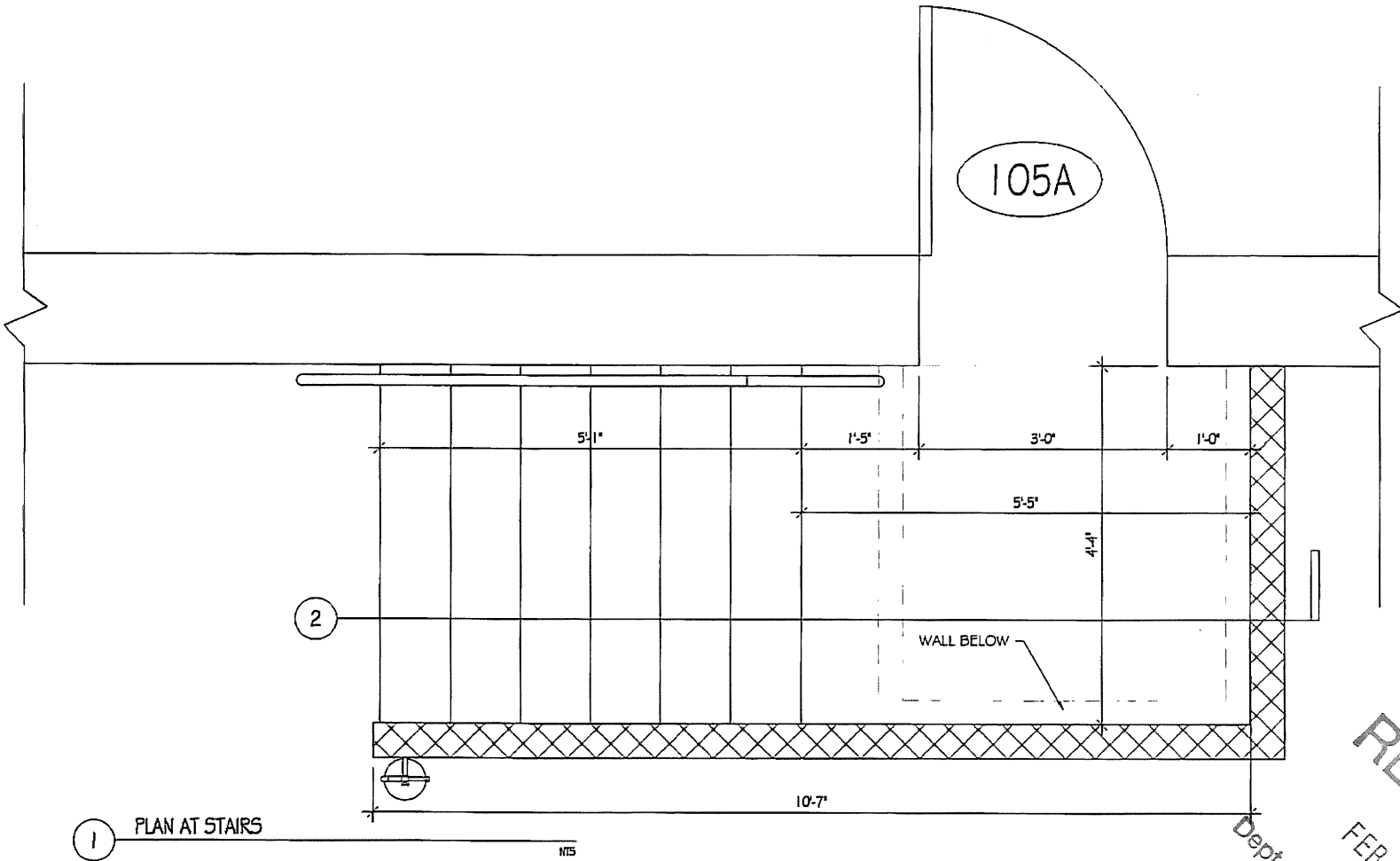
SECTION AT STAIRS			
DRAWN BY	CHECKED BY	DATE	APPROVED
BVE			

FIVE GUYS
BURGERS and FRIES
425 FORE STREET
PORTLAND, ME


OWNER/TENANT:
FIVE GUYS
SCALE:
N.T.S.



lingle design
group, inc.
152 W. MAIN STREET
LENA, IL 61048
Ph: (815) 369-9155
Fax: (815) 369-4495



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 Dept. of Building Inspections
 City of Portland Maine

PROJ. NO: 10-1033	PLAN AT AT STAIRS	FIVE GUYS (BURGERS and FRIES)	OWNER / TENANT: FIVE GUYS	 lingle design group, inc. 152 W. MAIN STREET DEKA, IL 61048 Ph: (815) 369-9155 Fax: (815) 369-4495							
DATE: 02/01/11			425 FORE STREET PORTLAND, ME		SCALE: N.T.S.						
SPACE PLAN # 1	<table border="1"> <thead> <tr> <th>DRAWN BY</th> <th>CHECKED BY</th> <th>CHECKED BY</th> <th>APPROVED BY</th> </tr> </thead> <tbody> <tr> <td>BVE</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	DRAWN BY	CHECKED BY	CHECKED BY	APPROVED BY	BVE					
DRAWN BY	CHECKED BY	CHECKED BY	APPROVED BY								
BVE											



PLUMBING • HEATING • GAS

*Installation
Service
Drain Cleanings
Video Drain Inspection
Pipe Locating*

**Plumbing Fixture
SUBMITTALS**

**5 Guys Burgers & Fries
Portland, Maine**

18 Jan 2011

**Wright Ryan Construction
10 Danforth Street
Portland, Me 04101**

**FW Webb
150 Postal Service Way
South Portland, ME 04106**

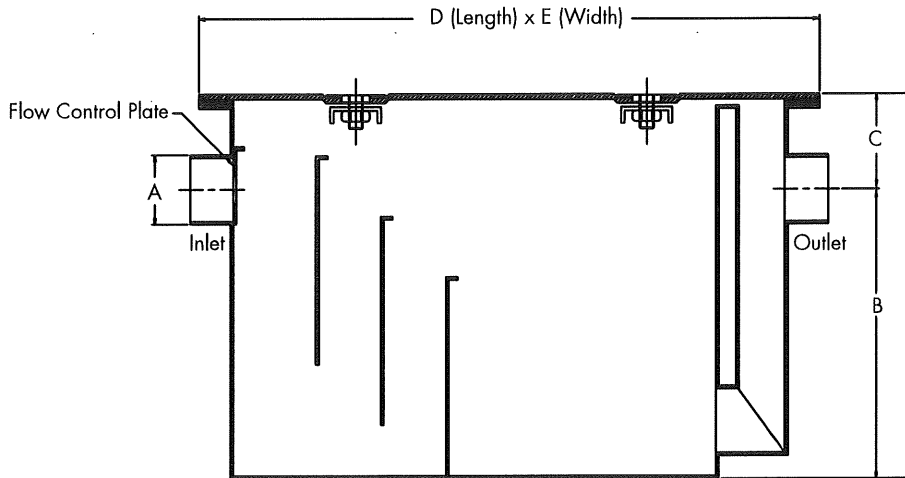
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City of Portland Maine



GI-K
Tag: _____

**Large Capacity
Grease Interceptor**

SPECIFICATION: Watts Drainage GI-K Series recessed or floor mounted epoxy coated steel grease interceptor with gasketed epoxy coated steel skid-proof cover secured with hex head center bolt(s), double wall deep seal trap, integral stainless steel flow control plate, and no hub (standard) connections.



Flow Rate (Select One)		
Suffix	Description	
75	75 GPM	<input type="checkbox"/>
100	100 GPM	<input type="checkbox"/>
150	150 GPM	<input type="checkbox"/>
200	200 GPM	<input type="checkbox"/>
250	250 GPM	<input type="checkbox"/>
300	300 GPM	<input type="checkbox"/>
400	400 GPM	<input checked="" type="checkbox"/>
500	500 GPM	<input type="checkbox"/>

Interceptor Catalog Number	Flow Rate GPM	Grease Capacity Lbs	A	B	C	D	E	F
			Inlet & Outlet	Base to Center	Top to Center	Length	Width	Height
GI-75-K	75	150	4"(102)	18-1/2"(470)	4-1/2"(114)	39-3/4"(1010)	30-3/4"(781)	23"(584)
GI-100-K	100	200	4"(102)	28-1/2"(724)	4-1/2"(114)	39-3/4"(1010)	30-3/4"(781)	33"(838)
GI-150-K	150	300	4"(102)	38-1/2"(978)	4-1/2"(114)	39-3/4"(1010)	30-3/4"(781)	43"(1092)
GI-200-K	200	400	4"(102)	36-1/2"(927)	6-1/2"(165)	52"(1321)	34"(864)	43"(1092)
GI-250-K	250	500	4"(102)	39-1/2"(1003)	6-1/2"(165)	52"(1321)	34"(864)	46"(1168)
GI-300-K	300	600	6"(152)	38"(965)	10"(254)	76"(1930)	48"(1219)	48"(1219)
GI-400-K	400	800	6"(152)	42"(1067)	10"(254)	83"(2108)	55"(1397)	52"(1321)
GI-500-K	500	1000	6"(152)	53"(1346)	10"(254)	91"(2311)	60"(1524)	63"(1600)

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City of Portland Maine

Job Name _____ Contractor _____

Job Location _____ Contractor's P.O. No. _____

Engineer _____ Representative _____

WATTS Drainage reserves the right to modify or change product design or construction without prior notice and without incurring any obligation to make similar changes and modifications to products previously or subsequently sold. See your WATTS Drainage representative for any clarification. Dimensions are subject to manufacturing tolerances.



Specification Drainage Products

USA: 100 Watts Road, Spindale, NC, 28160-2298; TEL: 828-288-2179 TOLL-FREE: 1-800-338-2581 www.watts.com

Wright-Ryan Construction, Inc.



Wright-Ryan Construction
 10 Danforth Street
 Portland, ME 04101

Phone: 207-773-3625
 Fax: 207-773-5173

TRANSMITTAL
 No.

TO: City of Portland
 389 Congress Street
 Inspections Div
 Portland, Me

PROJECT: Five Guys
PROJECT NO: 1102
DATE: 2/8/11
REF: Building Permit

RECEIVED

FEB - 9 2011
 Dept. of Building Inspections
 City of Portland and Maine

ATTN: Jeanie Bourke
 Phone: 874-8703

Fax:

WE ARE SENDING:	SUBMITTED FOR:	ACTION TAKEN:
<input type="checkbox"/> Shop Drawings	<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approved as Submitted
<input type="checkbox"/> Letter	<input checked="" type="checkbox"/> Your Use	<input type="checkbox"/> Approved as Noted
<input checked="" type="checkbox"/> Prints	<input type="checkbox"/> As Requested	<input type="checkbox"/> Returned After Loan
<input type="checkbox"/> Change Order	<input type="checkbox"/> Review and Comment	<input type="checkbox"/> Resubmit
<input type="checkbox"/> Plans		<input type="checkbox"/> Submit
<input type="checkbox"/> Samples	SENT VIA:	<input type="checkbox"/> Returned
<input checked="" type="checkbox"/> Specifications	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Returned for Corrections
<input type="checkbox"/> Other:	<input type="checkbox"/> Separate Cover Via	<input type="checkbox"/> Due Date:

Jeanie, Please call to review if you have any questions or to let me know when we may have the permit?

2 Full Sets Const. Docs.
 1 CD w/ Const. Docs

Thank You

Signed:

From: Tom Burrill <tburill@wright-ryan.com>
To: "Jeanie Bourke (jmb@portlandmaine.gov)" <jmb@portlandmaine.gov>
CC: "Stephen Harris (SKH@portlandmaine.gov)" <SKH@portlandmaine.gov>
Date: 2/7/2011 8:37 AM
Subject: FW:Five Guys-Fore Street
Attachments: 3603_001.pdf

Jeanie & Stephen,

Please review the attached letter as requested from Baker Commodities who services Grease Traps, etc. for the 5 Guys locations in the Northeast.

Let me know if you need anything else in regard to this concern.

Thanks,
Tom

Thomas E. Burrill LEED AP
Project Manager
Wright-Ryan Construction Inc.
Phone - 207-773-3625
Fax - 207-773-5173
Cell - 207-756-2542
www.wright-ryan.com<<http://www.wright-ryan.com/>>



2/3/2011

Five Guys Burgers & Fries
425 Fore Street
Portland, Me. 04101
Jamal Bourote

RE: Grease Collection

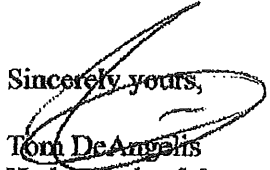
To whom it may concern;

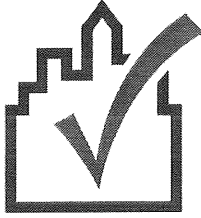
The above named account will be serviced by Baker Commodities, Inc. for the removal of used fryolator grease and trap grease. The grease is collected in an approved container and vehicles then transported back to our rendering facility. All grease collected is recycled in an environmentally safe process at our plant @ 134 Billerica Ave., N. Billerica, Ma. 01862.

The above named account will be serviced monthly or as needed.
Baker Commodities will also provided hydro jetting services.

If there are any questions, please call me at 1-978-454-8811

Sincerely yours,


Tom DeAngelis
Hydro Jetting Manager
Baker Commodities, Inc.



COMcheck Software Version 3.8.0

Interior Lighting Compliance Certificate

2009 IECC

Section 1: Project Information

Project Type: **New Construction**

Project Title : Five Guys Burgers and Fries

Construction Site:
425 Fore Street
Portland, ME 04101-4396

Owner/Agent:

Designer/Contractor:
Applied Engineering Group
7402 East Broad Street
Blacklick, OH 43004
(614) 322-7050

Section 2: Interior Lighting and Power Calculation

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B x C)
Dining: Cafeteria/Fast Food	2478	1.4	3469
Total Allowed Watts =			3469

Section 3: Interior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Dining: Cafeteria/Fast Food (2478 sq.ft.)				
Linear Fluorescent 1: A: Recessed 2'x4' / 48" T8 28W (Super T8) / Electronic	4	20	88	1760
Linear Fluorescent 2: B: Recessed 2'x2' / 24" T8U 32W / Electronic	2	25	48	1200
Compact Fluorescent 1: R: Decorative Pendent(red) / Twin Tube 13W / Electronic	1	23	13	299
Compact Fluorescent 1 copy 1: W: Decorative Pendent(white) / Twin Tube 13W / Electronic	1	15	13	195
Total Proposed Watts =			3454	

Section 4: Requirements Checklist

Lighting Wattage:

1. Total proposed watts must be less than or equal to total allowed watts.

Allowed Watts	Proposed Watts	Complies
3469	3454	YES

Controls, Switching, and Wiring:

2. Daylight zones under skylights more than 15 feet from the perimeter have lighting controls separate from daylight zones adjacent to vertical fenestration.
3. Daylight zones have individual lighting controls independent from that of the general area lighting.

Exceptions:

- Contiguous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.
- Daylight spaces enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.
4. Independent controls for each space (switch/occupancy sensor).

Exceptions:

- Areas designated as security or emergency areas that must be continuously illuminated.
- Lighting in stairways or corridors that are elements of the means of egress.
- 5. Master switch at entry to hotel/motel guest room.
- 6. Individual dwelling units separately metered.
- 7. Medical task lighting or art/history display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.
- 8. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.

Exceptions:

- Only one luminaire in space.
- An occupant-sensing device controls the area.
- The area is a corridor, storeroom, restroom, public lobby or sleeping unit.
- Areas that use less than 0.6 Watts/sq.ft.
- 9. Automatic lighting shutoff control in buildings larger than 5,000 sq.ft.

Exceptions:

- Sleeping units, patient care areas; and spaces where automatic shutoff would endanger safety or security.
- 10. Photocell/astronomical time switch on exterior lights.

Exceptions:

- Lighting intended for 24 hour use.
- 11. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).

Exceptions:

- Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available pair.

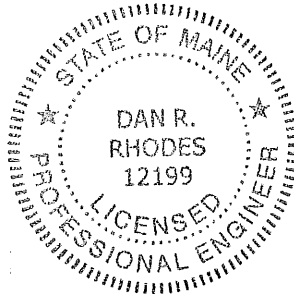
Interior Lighting PASSES: Design 0.4% better than code.

Section 5: Compliance Statement

Compliance Statement: The proposed lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2009 IECC requirements in COMcheck Version 3.8.0 and to comply with the mandatory requirements in the Requirements Checklist.

Dan R Rhodes
DRM
12/15/10

Name - Title
Signature
Date







CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

11 23 20 10

Received from

Wright Ryan

Location of Work

20 1920

Cost of Construction

\$ _____

Building Fee:

1920

Permit Fee

\$ _____

Site Fee:

Certificate of Occupancy Fee:

75

Total:

1705

Building (IL) _____

Plumbing (I5) _____

Electrical (I2) _____

Site Plan (U2) _____

Other _____

CBL:

20-I 411

Check #:

76242

Total Collected \$

1705

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

[Signature]

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy



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Dept. of Building Inspections
City of Portland Maine

PRODUCT INFORMATION

EzPOXY™ MORTAR & GROUT

100% Solids Epoxy



09300

9

Tile Setting Materials & Accessories
EzPoxy

February 2009 Supersedes all previously published literature.

T20

PRODUCT DESCRIPTION

EzPoxy™ Mortar & Grout 100% Solids Epoxy is for interior or exterior, vertical or horizontal installations. Typical applications include commercial and residential kitchens, lobbies, bathrooms, fast food restaurants, breweries, dairies, wineries, factories, shopping malls, meat processors, and distilleries. Meets ANSI A118.3

AS A MORTAR: EzPoxy Mortar & Grout is a suitable bonding mortar for interior applications only. Use to set all ceramic, quarry, porcelain, granite, slate, pre-cast Terrazzo, dimension stone tiles, and moisture sensitive stone. Use over properly prepared concrete; structurally sound, exterior grade plywood (interior/dry use only); cementitious backer board; Hydroment Gold, Ultra-Set® Advanced, Black-Top 90210™, Durabond® D-222 DuraGuard and existing, well bonded vinyl/VCT or ceramic tile. As a bonding mortar, EzPoxy Mortar & Grout is for interior use only.

AS A GROUT: Use to grout all ceramic, quarry, porcelain, granite, slate, and pre-cast Terrazzo, dimension stone tiles, in joints from 1/16" to 1/2" wide.

DIRECTIONS FOR USE

Read and understand data sheet completely before beginning installation. Follow applicable ANSI, TCA and NTCA installation standards.

MIXING

EzPoxy Mortar and Grout "Unit" is made up of a 3.5 gallon pail that contains powder aggregate, and two smaller containers which hold pre measured amounts of Epoxy Resin (Part A) and Epoxy Hardener (Part B). Remove the plastic bag and pour contents of Part A (Resin and Part B hardener) into the 3 1/2 gallon pail and mix thoroughly ensuring that the bottom and sides are scraped. Mix these contents for approximately 30 seconds. Thereafter, pour the contents (aggregate) of the plastic bag into the liquids and mix for another one minute until

TYPICAL PHYSICAL PROPERTIES

Water Cleanability	> 90 minutes @ 73°F
Pot Life	45 minutes @ 70°F
Cure Time	16 - 24 hours @ 73°F
Compressive Strength	> 5000 psi
Water Absorption	0%
Sag (vertical joint)	None - up to 3/8"
Workability	> 90 minutes @ 73°F
Installation Temperature	50°F to 90°F
Shelf Life	12 months
7 Day Shear Bond Strengths	
- Ceramic Mosaic	1000 psi
- Glazed Wall Tile	Tile breaks
- Quarry Tile	1000 psi

a uniform consistency is obtained using a heavy duty drill fitted with a drywall type blade. Use a margin trowel or spatula to scrape the sides and bottom of the pail during the mixing process. Most problems with epoxy can be avoided by thorough mixing.

USE AS A SETTING SYSTEM

All surfaces must be clean, dry and smooth; free of voids, projections, loose materials, oil, grease, sealers, curing compounds, waxes and all other surface contaminants that may inhibit proper bond. For best results, surface, mortar, and tile should be at room temperature (70°F to 75°F). Do not apply at temperatures below 60°F, or above 85°F. Epoxy materials are affected by temperature variations. Cooler temperatures will decrease workability. Warmer temperatures will reduce sag resistance.



APPLICATION

Apply a thin coat of the properly mixed EzPoxy Mortar & Grout with the flat edge of trowel to achieve a good mechanical bond to the substrate. Comb additional mortar with the appropriate size notched trowel. If any evidence of skinning or setting occurs, re-comb mortar with notched trowel. Apply mortar to an area no greater than can be tiled in 20 to 30 minutes. Apply tile using a twisting motion into a fresh bed of mortar to ensure maximum contact and bond. Periodically check back of tile to ensure proper transfer (minimum 80% coverage; wet, plywood, or heavy or extra heavy service area applications – minimum 95% coverage). A finished mortar bed thickness of 3/32" to 1/8" is required.

HELPFUL HINT: To extend working time, remove material from mixing container and pour it on the cool substrate as soon as possible. Material generates heat in container, which causes the material to set up quicker

APPLICATION OVER PLYWOOD: Maximum joist spacing shall be 16" on center. Plywood shall be Underlayment Exterior Grade or C-C Plugged Exterior Grade plywood (or better). If the existing floor is less than 1" thick, glue and nail 15/32" or 1/2" APA Underlayment Exterior Grade or C-C Plugged Exterior Grade plywood to the floor. Glue and nail using 5D or 6D (1-1/2" or 2") cement coated screw shank nails 6" on center along the panel edges and a maximum of 8" on center each way throughout the panel. Allow 1/8" gap between underlayment sheet edges and all areas that abut walls, drains, posts, etc. These areas shall be filled with mortar when tiles are installed. Clean and rough sand the plywood. Due to the limitations of plywood as a substrate, EzPoxy Mortar & Grout is not intended for use on plywood in exterior, wet interior, or applications subject to heavy/commercial traffic.

APPLICATION OVER EXISTING VINYL/VCT FLOORING: Vinyl must be clean and well bonded to substrate. Do not install over cushion-backed or perimeter bonded sheet vinyl. Remove any loose pieces of vinyl or flooring. Ensure the exposed substrate is suitable for application.

APPLICATION OVER EXISTING CERAMIC TILE: Tile must be clean and well bonded to substrate. Mechanical abrasion with a Carborundum disk, followed by a clear water wash is recommended. Installation must be thoroughly rinsed and dry before setting the new tile.

CLEAN-UP

Clean all tools with soap and water. Do not allow material to dry on surface of tile.

CURING

Keep all foot traffic off the installation until tile is firmly set (approximately 12 hours). Set times are dependent upon temperature.

CURE TIME: Depending on ambient, slab, and material temperatures, grouting can generally begin after 24 hours with any quality Hydroment grouting system. Allow 48 hours before grouting with any 100% solids epoxy grout.

USE AS A GROUTING SYSTEM

SURFACE PREPARATION

Ensure tile is firmly set and mortar completely dry (typically 8 to 12 hours) before grouting. Remove all spacers, debris or adhesive from tile joints. Application of a grout release agent may be necessary to prevent staining of tile. For best results, surface of tile should be at room temperature (70°F to 75°F). Do not apply at temperatures below 60°F, or above 85°F. Epoxy materials are affected by temperature variations. Cooler temperatures will decrease workability. Warmer temperatures will reduce sag resistance.

APPLICATION

Lightly moisten tile with clean, damp sponge before grouting. Spread grout over the face of the tile using a hard rubber epoxy grout float. Work grout back and forth at a 45° angle to the face of the tile to ensure complete filling of the joints. Remove excess grout by holding the rubber float at a 90° angle working diagonally across face of the tile.

INITIAL CLEANING

Begin cleaning the surface of the tile with water and a nylon scrub pad (i.e. 3M Doodlebug®), using a circular cleaning motion. Immediately remove the epoxy/water residue with a slightly damp sponge (or turkish towel), by wiping (or dragging the towel) diagonally across the face of the tile. Use a wet sponge to "tool" the grout joints as required. Rinse sponge/towel frequently using two pails of water, one for rinsing out the heavy residue and the other for rinsing with clean water. Change water and rinse sponge/towel frequently to minimize the build up of epoxy haze. (Initial clean-up should begin as soon as possible.)

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FINAL CLEAN UP

Depending on humidity and temperature, begin final clean up approximately 6-8 hours after initial cleaning. Clean the surface of the tile with lots of water and a nylon scrub pad (i.e.: 3M Doodlebug®), using a circular cleaning motion. Use of a buffing machine equipped with a white or blue 3M Doodlebug® pad during final clean up will increase efficiency on large jobs.

HELPFUL HINT: Although EzPoxo Mortar & Grout may be cleaned with water only, final clean up is enhanced tremendously with the addition a dilute alkaline cleaner. NEVER use acid cleaners or Hydroment Remove, as they will result in irreversible damage to the grout or tile. Ceramaseal Hydroclean can be used Final Clean Up for heavy textured tiles, or if there is a heavy epoxy haze. FINAL CLEAN-UP MUST BE COMPLETED WITHIN 24 HOURS OF INSTALLATION.

CLEAN-UP

Clean all tools with soap and water. Do not allow material to dry on surface of tile.

CURING

Keep all foot traffic off the installation until grout is firmly set (approximately 12 hours). Keep all heavy duty traffic off the installation until grout has an opportunity to fully set (approximately 72 hours).

LIMITATIONS

- All epoxies are temperature sensitive. Temperature swings 10°F up or down from 70°F will impact the product's viscosity and workability.
- Epoxies may discolor when exposed to ultra-violet light. It is less noticeable with darker colors.
- EzPoxo Mortar & Grout may show discoloration when exposed to strong chemicals, high temperatures, and/or staining materials for long periods of time. Wipe spills promptly.
- Do not use in installations where deflection exceeds L/360 (1" in 30 feet). Do not mix partial units.
- Do not apply over oriented strand board, particle board, masonite, luaun, or similar unstable substrates.
- Do not use where hydrostatic pressure can occur.
- Due to the limitations of plywood as a substrate, EzPoxo Mortar & Grout is not intended for use on plywood in exterior, wet interior, or applications subject to heavy/commercial traffic.

- Intermittent exposure to temperatures up to 350°F is acceptable. Not for continuous exposure to temperatures above 140°F. May stain light colored marble or stone (always check for compatibility).
- Do not use as an adhesive/mortar for exterior installations
- Trowel size is suggested to maximize transfer/coverage of mortar. Periodically check coverage during installation.
- Installation of Natural Stone may not be subject to deflection in excess of L/720.

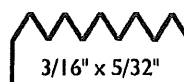
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Dept. of Building
City of

EzPOXY GROUT COVERAGE

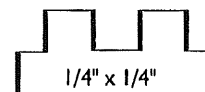
Tile Size	Number of Square Feet per gallon/14 lb. kit				
	1/16"	1/8"	1/4"	3/8"	1/2"
1" x 1" x 1/4"	48	24	12	8	6
2" x 1" x 1/4"	64	32	16	10	8
2" x 2" x 1/4"	96	48	24	16	12
3" x 3" x 1/4"	152	76	38	25	19
4" x 4" x 1/4"	200	100	50	33	25
4" x 4" x 3/8"	136	68	34	22	17
4" x 4" x 1/2"	96	48	24	16	12
4" x 8" x 3/8"	176	88	44	29	22
4" x 8" x 1/2"	136	68	34	22	17
4" x 8" x 1 3/8"	48	24	12	8	6
6" x 6" x 3/8"	200	100	50	33	25
6" x 6" x 1/2"	152	76	38	25	19
6" x 6" x 3/4"	96	48	24	16	12
8" x 8" x 1/4"	408	204	102	68	51
8" x 8" x 3/8"	272	136	68	45	34
8" x 8" x 1/2"	200	100	50	33	25
10" x 10" x 3/8"	336	168	84	56	42
12" x 12" x 1/4"	616	308	154	102	77
12" x 12" x 3/8"	408	204	102	68	51
12" x 12" x 1/2"	304	152	76	50	38

RECOMMENDED TROWELS FOR MAXIMUM PERFORMANCE

Ceramic mosaics
Mounted ceramics
Coverage 90-100 ft²/unit



4" x 4" & 4" x 8"
Ceramic & pavers
Coverage 50-60 ft²/unit



COLORS

Sycamore D-G45 / Portabella H184

Driftwood D-G16 / Linen H163

Steel D-G22 / Delorean Gray H160

Chocolate D-G10 / Sand Beige H148

Oyster D-G03 / Mobe Pearl H145

Platinum D-G23 / Silver Bullet H168

Quarry Red D-G32 / Brick H136

Jet Black D-G08 / Char Black H139

* Taupe H151

Stormy Gray D-G06 / French Gray H142

STORAGE/SHELF LIFE

12 months from date of manufacture

PACKAGING

EzPoxy Mortar & Grout is available in one gallon/14 lb. kits containing Powder Aggregate, Part A Epoxy Resin and Part B Epoxy Hardener.

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Dept. of Building Inspections
City of Portland Maine



Middleton, MA 01949
1-800-7/BOSTIK/
1-800-726-7845

www.bostik-us.com

PLANT LOCATIONS

Conyers, GA 30094
Paulsboro, NJ 08066
Temecula, CA 92590

LIMITED WARRANTY

Bostik, Inc. warrants that the product conforms with Bostik's written specifications and is free from manufacturing defects. A PURCHASER'S SOLE REMEDY FOR NONCOMPLIANCE WITH THIS WARRANTY SHALL BE THE REPLACEMENT OF THE PRODUCT OR REFUND OF THE PURCHASE PRICE. Purchasers may address their warranty claims to Bostik, Inc., 211 Boston St., Middleton, MA 01949, Attn: Customer Service or call Bostik at 1-800-726-7845. TO THE MAXIMUM EXTENT ALLOWED BY LAW, BOSTIK DISCLAIMS ALL OTHER EXPRESS OR IMPLIED WARRANTIES, INCLUDING WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, AND LIABILITY FOR DIRECT, INCIDENTAL, CONSEQUENTIAL, OR SPECIAL DAMAGES. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitations may not apply to you. This warranty gives you specific legal rights, and you may also have other rights which vary from state to state.



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