

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

PERMIT

Permit Number: 090964

This is to certify that GRE CONGRESS CANAL LLC Thaxter

has permission to tenant fit-up/improvements 10th floor

AT 1 CANAL PLAZA 10th floor

CP 032 036001

PERMIT ISSUED
SEP 25 2009
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Fontaine

Health Dept.

Appeal Board

Other Department Name

[Signature] 9/25/09
Director - Building & Inspection Services

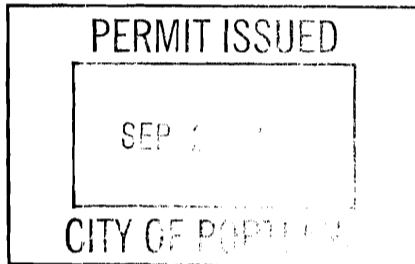
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 09-0964 | Issue Date: | CBL: 032 1036001 |
|-----------------------|-------------|---------------------|

| | | | |
|--|---|--|--|
| Location of Construction: 1 CANAL PLAZA 10th floor | Owner Name: GRE CONGRESS CANAL LLC | Owner Address: ONE CANAL PLAZA 5TH FLOOR | Phone: |
| Business Name: | Contractor Name: Thaxter Company | Contractor Address: 55 Bell Street Portland | Phone: 2076539822 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | Zone: S-3 |
| Past Use: Commercial - office | Proposed Use: Commercial - tenant fit-up/improvements 10th floor - office. Curbs-Thaxter. | Permit Fee: \$1,960.00 | Cost of Work: \$194,000.00 |
| Proposed Project Description: tenant fit-up/improvements 10th floor | | FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions | INSPECTION: Use Group: B Type: 2B IBC-2003 |
| | | Signature: (KG) | Signature: JMB 9/25/09 |
| | | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | |
| | | Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | |
| | | Signature: Date: | |

| | | | | |
|--|---|---|--|------------------|
| Permit Taken By: Ldobson | Date Applied For: 09/03/2009 | Zoning Approval | | |
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | Date: 9/3/09 JMB |
| | Date: | Date: | Date: | Date: |



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

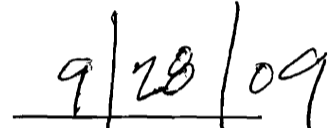
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.


CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



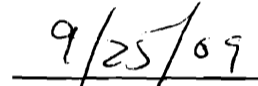
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|---|--|---|
| Location/Address of Construction: <u>One Canal Plaza, Tenth Floor</u> | | |
| Total Square Footage of Proposed Structure/Area <u>12,000 SF</u> | | Square Footage of Lot |
| Tax Assessor's Chart, Block & Lot Chart# <u>32</u> Block# <u>1</u> Lot# <u>36</u> | | Applicant * <u>must be owner, Lessee or Buyer</u> * Name Address City, State & Zip |
| Lessee/DBA (If Applicable) <u>Curtis Thayer Law Office</u> | | Owner (if different from Applicant) Name <u>GRE Congress Canal LLC</u> Address City, State & Zip |
| Current legal use (i.e. single family) <u>Office Space</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? If yes, please name Project description: <u>Tenant Fit-up 10th Floor - Improvement -</u> | | Cost Of Work: \$ <u>194,000</u> C of O Fee: \$ Total Fee: \$ <u>4,960</u> |
| Contractor's name: <u>The Thayer Company</u> | | |
| Address: <u>55 Bell St</u> | | |
| City, State & Zip: <u>Portland ME 04103</u> Telephone: | | |
| Who should we contact when the permit is ready: <u>Steve Keltone</u> Telephone: <u>878-5553 x105</u> | | |
| Mailing address: | | |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 9/02/09

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design

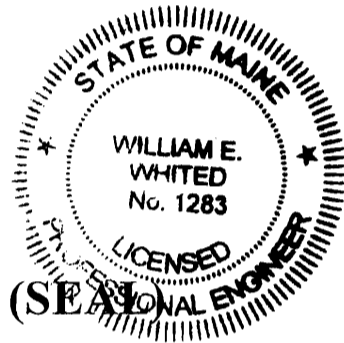
Date: 9/2/09

From: WHITED PLANNING + DESIGN

These plans and / or specifications covering construction work on:

10th floor of One Canal Plaza - offices of Curtis Thaxter.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: William E. Whited

Title: LICENSED PROFESSIONAL ENGINEER

Firm: WHITED PLANNING + DESIGN

Address: 45 HEATHER RD

PORTLAND ME 04103

Phone: 207 329 2189

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



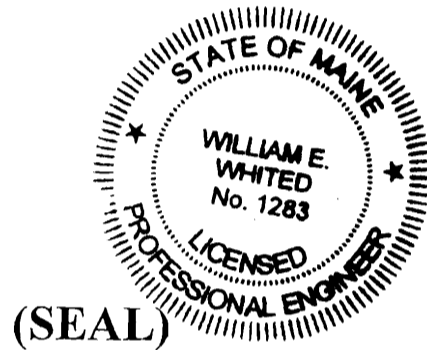
Accessibility Building Code Certificate

Designer: WHITED PLANNING + DESIGN

Address of Project: ONE CANAL PLAZA, 10th FLOOR

Nature of Project: Office renovations for Curtis Theater

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: William E. Whited

Title: Licensed Professional Engineer

Firm: WHITED PLANNING + DESIGN

Address: 45 HEADING RD
PORTLAND ME 04103

Phone: 207 329 2189

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer:

WHITED PLANNING & DESIGN

Date:

9/11/09

Job Name:

CURTIS THAXTER

Address of Construction:

ONE CANAL PLAZA, 10TH FLOOR, PORTLAND

2003 International Building Code

Construction project was designed to the building code criteria listed below:

(Building shell originally built in 1974)

Building Code & Year 2003 IBC Use Group Classification (s) B

Type of Construction _____

Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? Yes - per Landlord - separate project Supervisory alarm system? _____

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

| Floor Area Use | Loads Shown |
|----------------|-------------|
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

Wind loads (1603.1.4, 1609)

- _____ Design option utilized (1609.1.1, 1609.6)
- _____ Basic wind speed (1809.3)
- _____ Building category and wind importance Factor, I_w table 1604.5, 1609.5
- _____ Wind exposure category (1609.4)
- _____ Internal pressure coefficient (ASCE 7)
- _____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- _____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

- _____ Design option utilized (1614.1)
- _____ Seismic use group ("Category")
- _____ Spectral response coefficients, S_D s & S_{D1} (1615.1)
- _____ Site class (1615.1.5)

- _____ Live load reduction
- _____ Roof *live* loads (1603.1.2, 1607.11)
- _____ Roof snow loads (1603.7.3, 1608)
- _____ Ground snow load, P_g (1608.2)
- _____ If $P_g > 10$ psf, flat-roof snow load P_f
- _____ If $P_g > 10$ psf, snow exposure factor, C_e
- _____ If $P_g > 10$ psf, snow load importance factor, I_s
- _____ Roof thermal factor, C_t (1608.4)
- _____ Sloped roof snowload, P_s (1608.4)
- _____ Seismic design category (1616.3)
- _____ Basic seismic force resisting system (1617.6.2)
- _____ Response modification coefficient, R_d and deflection amplification factor C_d (1617.6.2)
- _____ Analysis procedure (1616.6, 1617.5)
- _____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

- _____ Flood Hazard area (1612.3)
- _____ Elevation of structure

Other loads

- _____ Concentrated loads (1607.4)
- _____ Partition loads (1607.5)
- _____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 09-0964 | Date Applied For: 09/03/2009 | CBL: 032 1036001 |
|------------------------------|--|----------------------------|

| | | | |
|--|--|---|---------------------------------|
| Location of Construction: 1 CANAL PLAZA 10th floor | Owner Name: GRE CONGRESS CANAL LLC | Owner Address: ONE CANAL PLAZA 5TH FLOOR | Phone: |
| Business Name: | Contractor Name: Thaxter Company | Contractor Address: 55 Bell Street Portland | Phone: (207) 653-9822 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Commercial | |

| | |
|--|---|
| Proposed Use: Commercial - office - tenant fit-up/improvements 10th floor - Curtis Thaxter | Proposed Project Description: tenant fit-up/improvements 10th floor |
|--|---|

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 09/03/2009

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/25/2009

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 09/15/2009

Note: **Ok to Issue:**

- 1) The sprinkler system shall be installed in accordance with NFPA 13.
- 2) Fire department sprinkler connection type and location shall be approved in writing by fire prevention bureau.
- 3) Application requires State Fire Marshal approval.
- 4) A separate Sprinkler System Permit is required.
- 5) All construction shall comply with NFPA 101
- 6) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 7) Emergency lights and exit signs are required
- 8) Fire extinguishers required. Installation per NFPA 10
- 9) Emergency lights are required to be tested at the electrical panel on the same circuit as the lighting for the area they serve.
- 10) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 11) The Fire Department will require Knox locking caps on all Fire Department Connections on the exterior of the building.



Certificate of Design

Date:

9/2/09

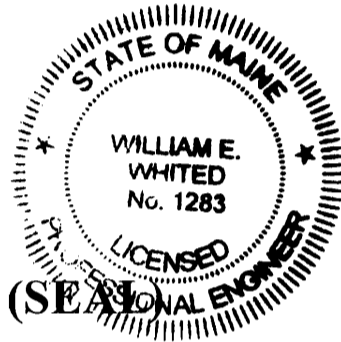
From:

WHITED PLANNING + DESIGN

These plans and / or specifications covering construction work on:

10th floor of One Canal Plaza - offices of Curtis Thaxter.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature:

William E. Whited

Title:

LICENSED PROFESSIONAL ENGINEER

Firm:

WHITED PLANNING + DESIGN

Address:

45 WEAVER RD

PORTLAND ME 04103

Phone:

207 329 2189

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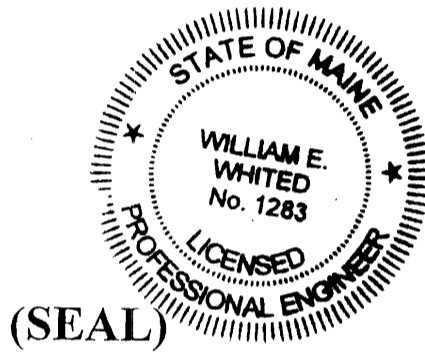
Accessibility Building Code Certificate

Designer: WHITED PLANNING + DESIGN

Address of Project: ONE CANAL PLAZA, 10TH FLOOR

Nature of Project: OFFICE RENOVATIONS FOR CURTIS THEATER

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: William E. Whited

Title: LICENSED PROFESSIONAL ENGINEER

Firm: WHITED PLANNING + DESIGN

Address: 45 HEARNE RD
PORTLAND ME 04103

Phone: 207 329 2189

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Certificate of Design Application

From Designer:

WHITED PLANNING & DESIGN

Date:

9/1/09

Job Name:

CURTIS THAXTER

Address of Construction:

ONE CANAL PLAZA, 10TH FLOOR, PORTLAND

2003 International Building Code

Construction project was designed to the building code criteria listed below:

(Building shell originally built in 1974)

Building Code & Year

2003 IBC

Use Group Classification (s)

B

Type of Construction

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Landlord - separate project

Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC?

Supervisory alarm system

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- Spectral response coefficients, S_D & S_{D1} (1615.1)
- Site class (1615.1.5)

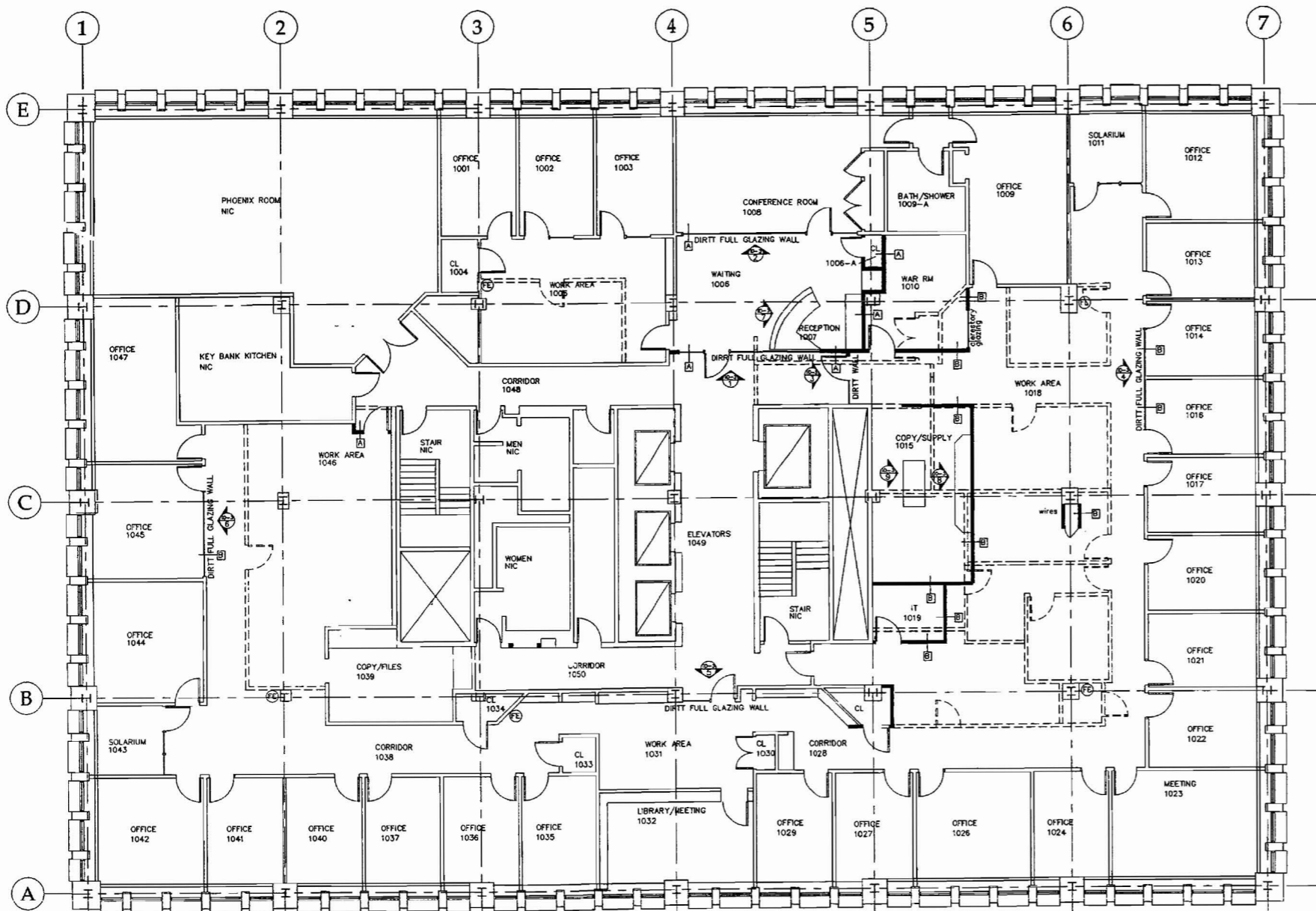
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Other loads

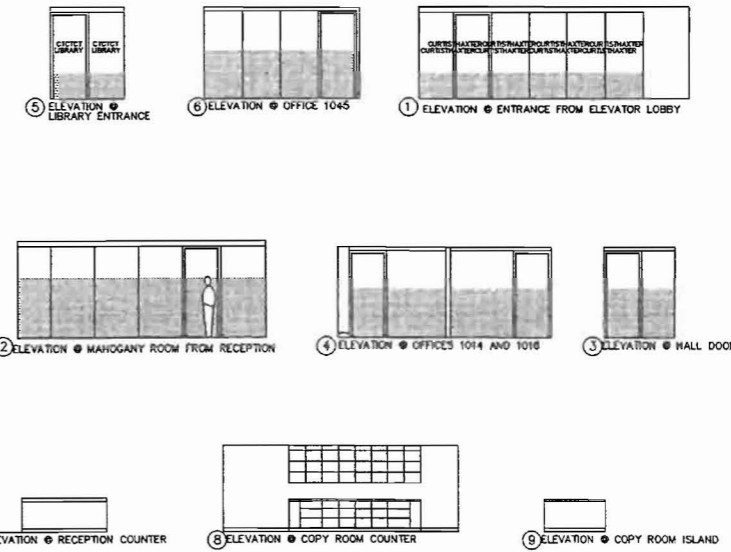
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- Partition loads (1607.5)
- Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)



CURTIS THAXTER
9.01.09 1/8"=1'-0"
JUNE 18, 2009

— EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED
= = = NEW WALL CONSTRUCTION
FE FIRE EXTINGUISHER

A 5/8" ONB ON EITHER SIDE OF METAL STUD TO DECK ABOVE
B 5/8" ONB ON EITHER SIDE OF METAL STUD TO 6" ABOVE SUSPENDED CEILING



WHITED
PLANNING
& DESIGN

RESEARCH
& DESIGN
CONSULTANTS

Lisa M. Whited, IDA, ASID
Certified Interior Designer
45 Heather Rd
Portland, Maine 04103
Tel: 207.329.2189
email: lisa@isawhited.com
web: www.isawhited.com

PROJECT:

CURTIS THAXTER
10TH FLOOR
ONE CANAL PLAZA
PORTLAND, MAINE

SEP - 3 2009

| |
|---|
| PROJECT NO. |
| CTACT VERSION & DWS |
| PLOT SCALE: 1/16 |
| DRAWN BY: LSH |
| CHECKED BY: |
| DATE: SEPT 1, 2009 |
| © COPYRIGHT WHITED PLANNING & DESIGN, 2009 |

SHEET TITLE
CONSTRUCTION,
DEMOLITION,
& ELEVATIONS

SHEET
ID-1
SHEET OF
REVISION NO.

WHITED
PLANNING
& DESIGN

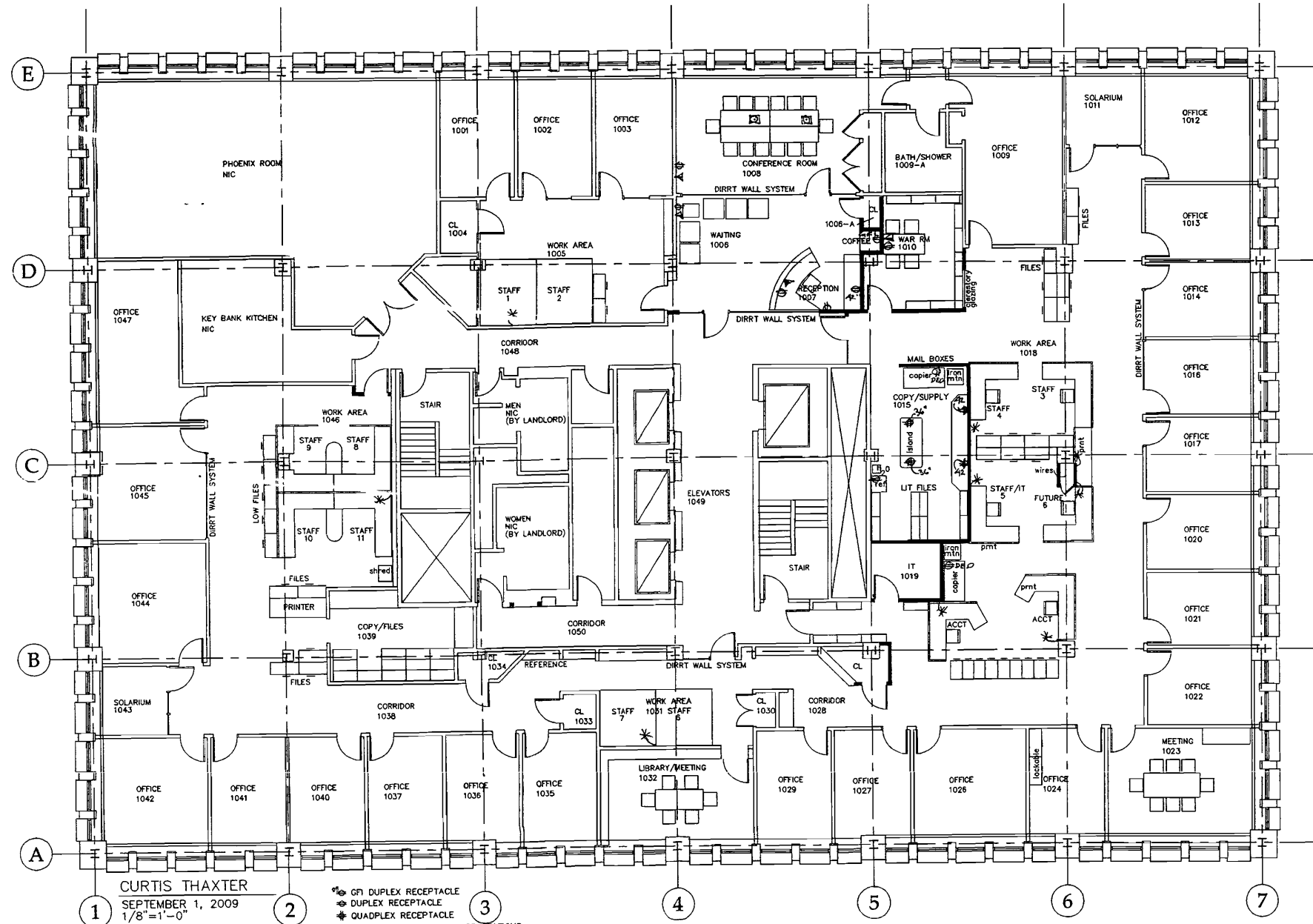
RESEARCH
& DESIGN
CONSULTANTS

Lisa M. Whited, IIDA, ASID
Certified Interior Designer

45 Heather Rd
Portland, Maine 04103
Tel: 207.329.2189
email: lisa@lisa-whited.com
web: www.lisa-whited.com

PROJECT:

CURTIS THAXTER
10TH FLOOR
ONE CANAL PLAZA
PORTLAND, MAINE



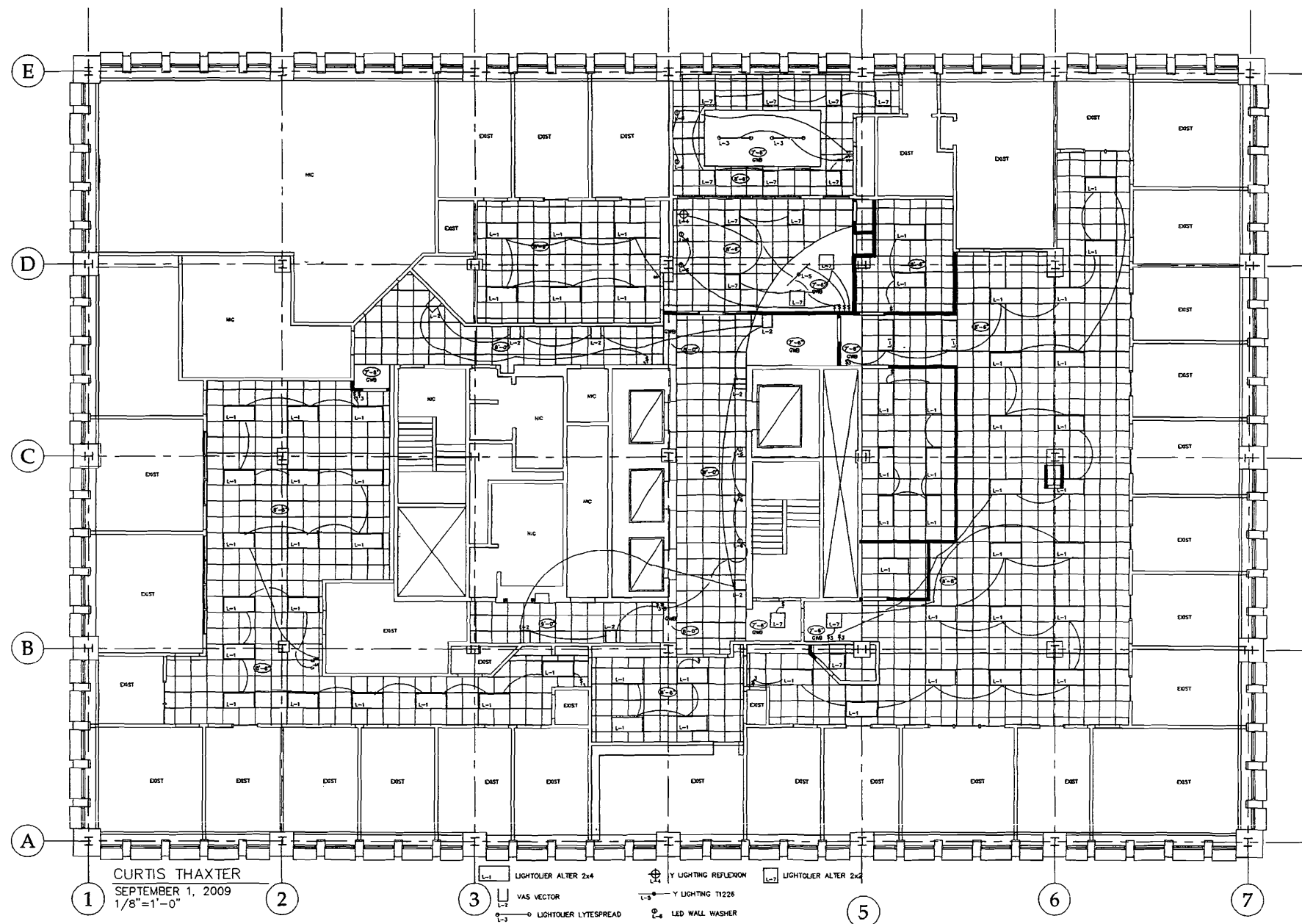
CURTIS THAXTER
SEPTEMBER 1, 2009
1/8"=1'-0"

- ⊕ GFI DUPLEX RECEPTACLE
- ⊕ DUPLEX RECEPTACLE
- ⊕ QUADPLEX RECEPTACLE
- ⊕ HARD WIRE ENTRY FOR WORKSTATIONS
- ⊕ DEDICATED DUPLEX
- ▲ DATA/TEL
- ⊕ FLOOR MID. QUADPLEX RECEPTACLE

| |
|---|
| PROJECT NO. |
| CT/CT VERSION BLDG |
| PLOT SCALE: 1/46 |
| DRAWN BY: LHM |
| CHECKED BY: |
| DATE: SEPT 1, 2009 |
| © COPYRIGHT WHITED PLANNING & DESIGN, 2009 |

SHEET TITLE
FURNITURE,
DATA & TEL PLAN

SHEET
ID-2
SHEET OF
REVISION NO.



WHITED
PLANNING
& DESIGN

RESEARCH
& DESIGN
CONSULTANTS

Lisa M. Whited, IIDA, ASID
Certified Interior Designer
45 Heather Rd
Portland, Maine 04103
Tel 207.329.2189
email: lisa@lisawhited.com
web: www.lisawhited.com

PROJECT:

CURTIS THAXTER
10TH FLOOR
ONE CANAL PLAZA
PORTLAND, MAINE

PROJECT NO.
 CTXCT scheme 0 rev.DWG
 PLOT SCALE: 1:40
 DRAWN BY: LHM
 CHECKED BY:
 DATE: SEPT 1, 2009
 © COPYRIGHT
 WHITED PLANNING & DESIGN, 2009

SHEET TITLE
REFLECTED
CEILING PLAN

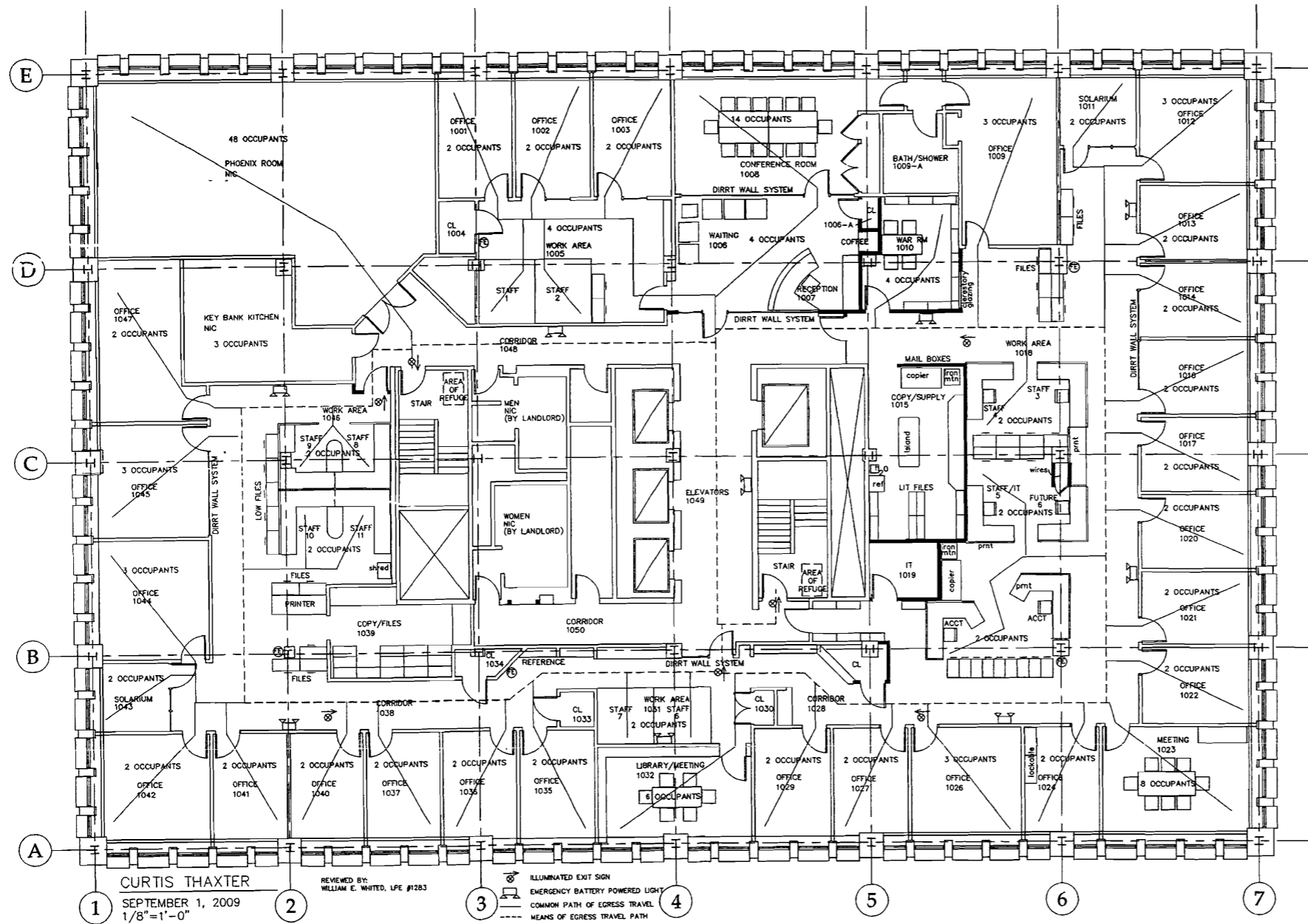
SHEET
ID-3
SHEET OF
REVISION NO.

Lisa M. Whited, IIDA, ASID
Certified Interior Designer

45 Heather Rd
Portland, Maine 04103
Tel 207.329.2189
email: lisa@lisa-whited.com
web: www.lisa-whited.com

PROJECT:

CURTIS THAXTER
10TH FLOOR
ONE CANAL PLAZA
PORTLAND, MAINE



CURTIS THAXTER
SEPTEMBER 1, 2009
1/8" = 1'-0"

- REVIEWED BY:
WILLIAM E. WHITED, LPE #1283
- THIS PLAN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE, 2003 EDITION
1. THERE ARE NO STRUCTURAL CHANGES TO THE BUILDING STRUCTURAL FRAME.
 2. ILLUMINATED EXIT SIGNS SHALL BE INSTALLED AT THE LOCATIONS INDICATED.
 3. EMERGENCY BATTERY POWERED LIGHTS SHALL BE INSTALLED AT THE LOCATIONS INDICATED.
 4. SPRINKLERS SHALL BE INSTALLED AT BOTH SIDES OF GLASS PARTITIONS.

| | |
|---|--|
| PROJECT NO. | |
| CT/CIT VERSION & CODE COMPLIANCE/DATE | |
| PLOT SCALE: 1/8" | |
| DRAWN BY: HEM | |
| CHECKED BY: HEM | |
| DATE: SEPT 1, 2009 | |
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SHEET TITLE
CODE
COMPLIANCE
PLAN

SHEET
ID-4
OF
REVISION NO.

