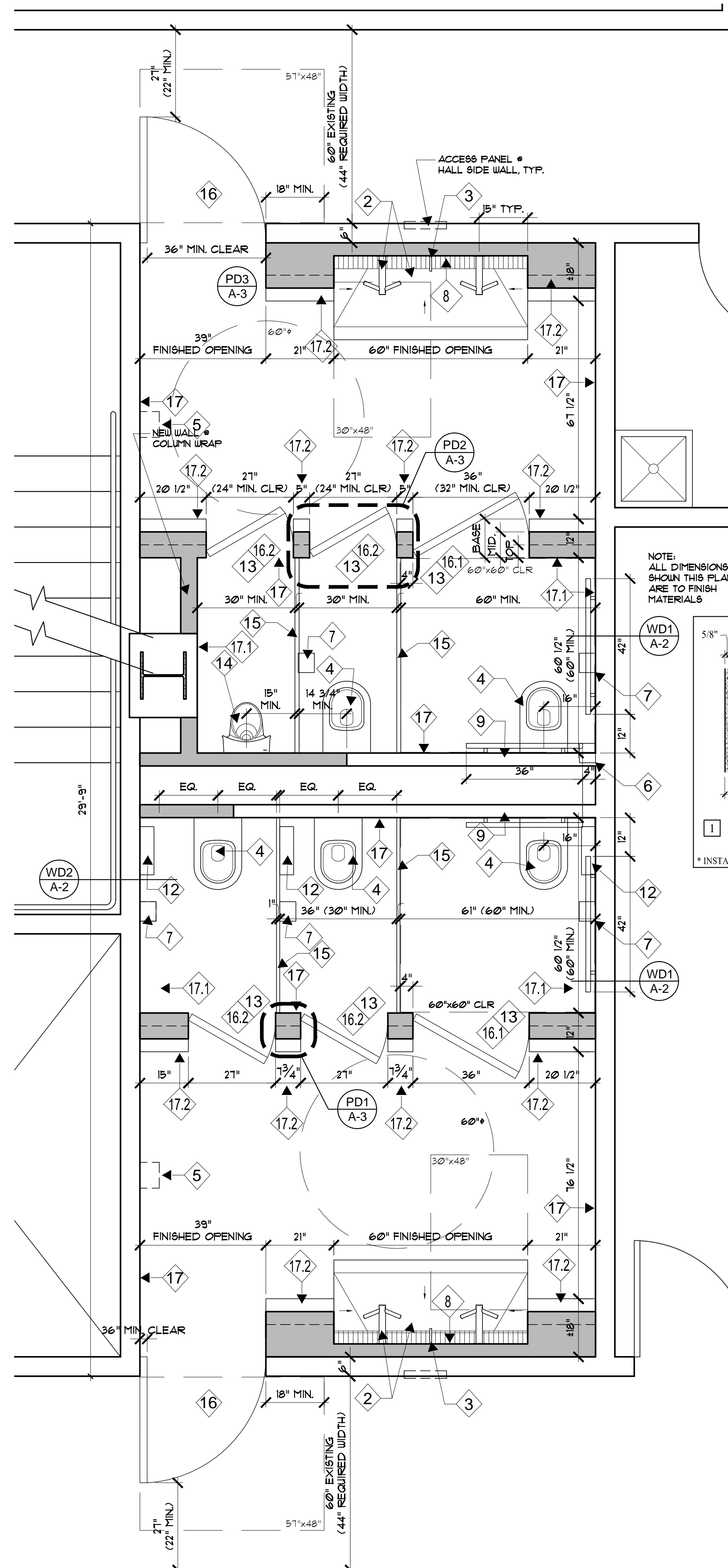
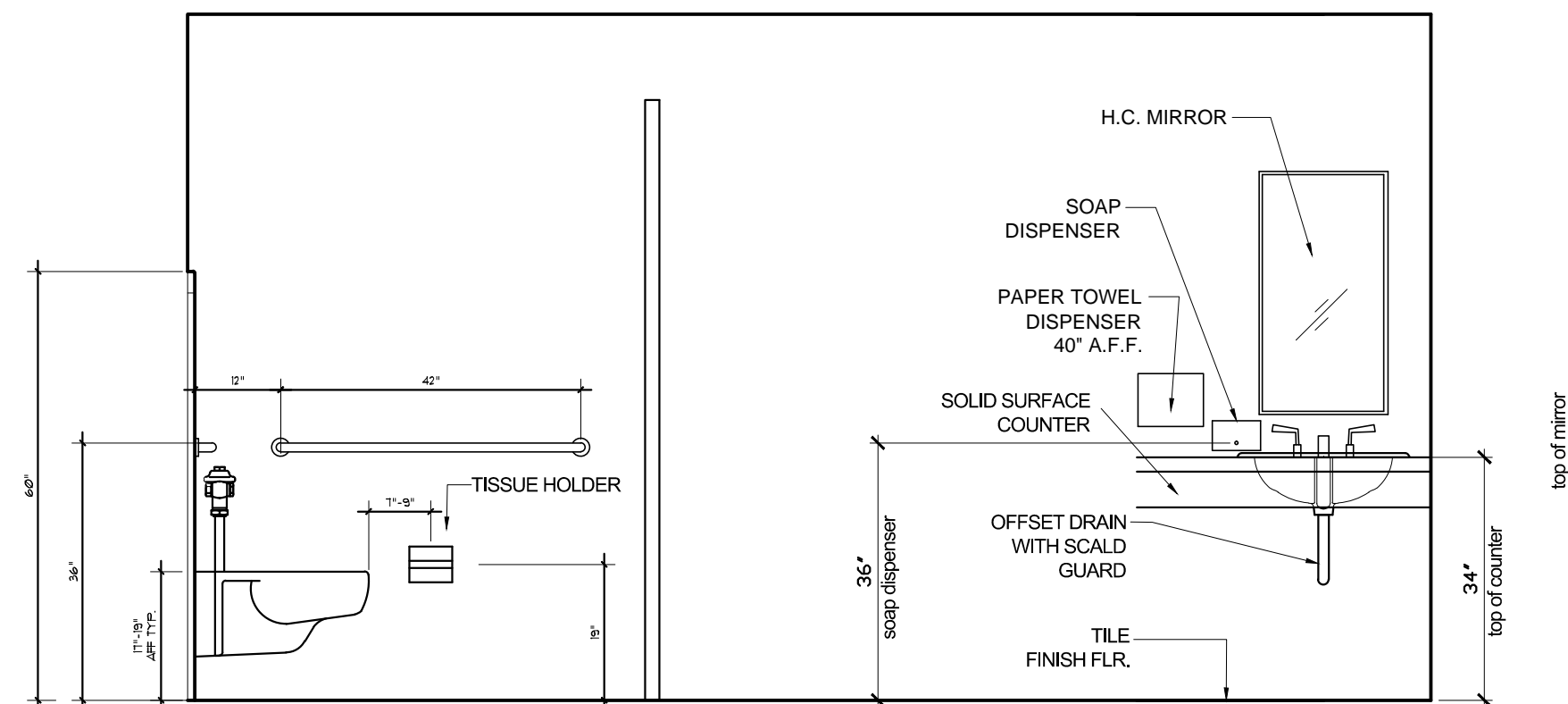


TOILET ACCESSORIES & FINISHES

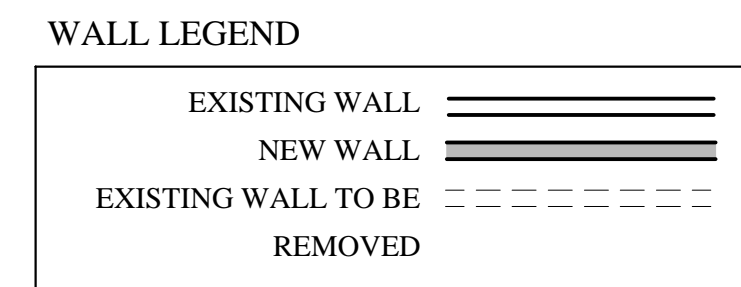
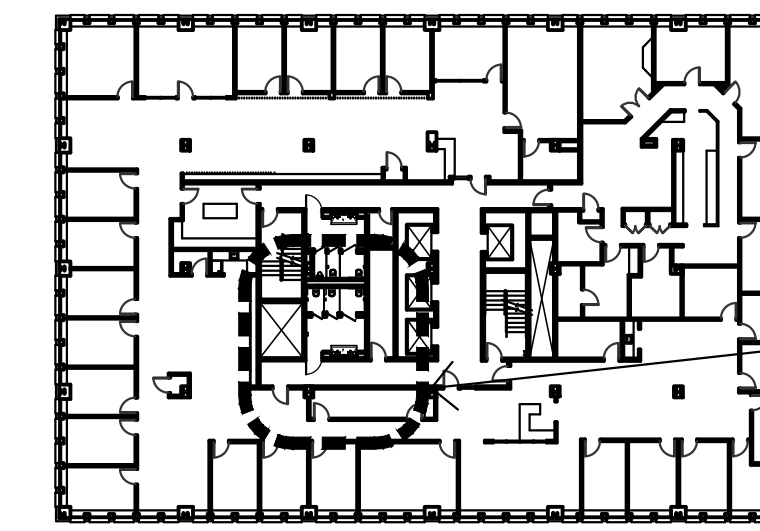
- ALL NEW WALLS SHALL BE 3 5/8" METAL STUDS (U.N.O.) W/ 1/2" CEMENTITIOUS BACKER BOARD TO ACCEPT CONCRETE FACADE/FINISH.
- SINK: CUSTOM CARVED SOLID BLOCK STONE TRENCH DRAIN SINK (ONE DRAIN) WITH CUSTOM STONE GRATE. SLOPE AS SHOWN. FAUCET: DYSON AB11 AIRBLADE TAP (TWO FAUCETS), ACCESS PANEL ON HALL SIDE.
- SOAP DISPENSER: LOVAIR L-465 AUTOMATIC. FOAM SOAP DISPENSER. FILL STATION: STATION TO BE PLACED BEHIND POP-OUT CONCRETE FACED ACCESS PANEL.
- TOILET:
TOTO: WALL-MOUNTED COMMERCIAL FLUSHOMETER HIGH EFFICIENCY TOILET, 1.28 GPF. (MODEL: SKU : CT708EV#01)
TOTO: OPEN FRONT COMMERCIAL TOILET SEAT (MODEL: SKU : SC534#01)
ZURN: ADJUSTABLE HORIZONTAL BACK TO BACK SIPHON JET NO HUB FOR ADA TOILETS (ONE CARRIER). (MODEL: Z1203-ND4)
ZURN: EXTRA HEAVY-DUTY 750LB. ADJUSTABLE HORIZONTAL SIPHON JET NO-HUB FOR TOILETS (THREE CARRIERS). (MODEL: Z1203-NR4)
TOTO: ECOPOWER® HIGH-EFFICIENCY CONCEALED TOILET FLUSH VALVE - 1.28 GPF (V.B.SET) (BACK SPUD WALL), (MODEL: SKU : TET2LA31#SS)
- WASTE RECEPTACLE: CUSTOM BRONZE WALL MOUNTED UNIT.
- FLOOR TILE: 12"x24" STONE TILE, W/ CUSTOM SIZES AT ALL DOOR OPENINGS.
- TOILET PAPER DISPENSER: CUSTOM BRONZE WALL MOUNTED UNIT.
- 60"W x 68"H POLISHED EDGE MIRROR W/ 2" BEAUTY LIGHTING AROUND EDGE.
- GRAB BAR: CUSTOM BRONZE 36".
- GRAB BAR: CUSTOM BRONZE 42".
- WAYFINDING/SIGNAGE: BACKLIT BRONZE.
- SANITARY NAPKIN DISPOSAL: CUSTOM BRONZE WALL MOUNTED UNIT.
- COAT HOOK: CUSTOM BRONZE. MOUNTED BACK OF DOOR @ 60" AFF ON 24" DOORS AND 48" ON 34" DOORS. (SEE DETAIL)
- URINAL:
TOTO: COMMERCIAL WASHOUT ULTRA HIGH EFFICIENCY URINAL, 0.125 GPF - ADA (MODEL: SKU : UT445UV#01)
TOTO: ECOPOWER® ULTRA HIGH-EFFICIENCY CONCEALED URINAL FLUSH VALVE - 0.125 GPF (V.B.SET) (BACK SPUD), (MODEL: SKU : TEU2UA11#SS)
- TOILET PARTITIONS
- RESTROOM ENTRY DOOR: RE-USE EXISTING DOOR & FRAME.
- 16.1 PARTITION DOOR:
DOOR: 36" W x 10' H CUSTOM BRONZE OVER 1 3/4" METAL DOOR.
HINGE: DORMA TOP JAMB CONCEALED CLOSER, NON HOLD OPEN, (MODEL: RTS 03 x 689). INSTALL BLOCKING AS REQUIRED AT CEILING FOR MOUNTING HARDWARE & PLATES.
- 16.2 PARTITION DOOR:
DOOR: 26" W x 10' H CUSTOM BRONZE OVER 1 3/4" METAL DOOR.
HINGE: DORMA TOP JAMB CONCEALED CLOSER, NON HOLD OPEN, (MODEL: RTS 03 x 689). INSTALL BLOCKING AS REQUIRED AT CEILING FOR MOUNTING HARDWARE & PLATES.
- WALL FACADE (VERTICAL.1): 2STONE BOARD FORM CONCRETE VENEER 72"H x 3"W x 3/4"D IN RANDOMIZED PATTERN. INSTALL IN THINSET OVER CEMENT BACKER BOARD. G.C. TO COORDINATE ALL OPENINGS WITHIN/ THROUGH WALL.
- 17.1 WALL FACADE (VERTICAL.2): GWB WALL FACE. PAINTED SW7005.
- 17.2 WALL FACADE (SLOPED): CUSTOM 1" THICK CONCRETE PANEL, GENUINE TIMBER FORM PATTERN INSTALL IN THINSET OVER CEMENT BACKER BOARD.
- HVAC DUCT, LOW PROFILE LOUVER, RE-ROUTE DUCT PER NEW PLAN.

DEMOLITION NOTES:

- ALL DASHED WALLS AS SHOWN TO BE REMOVED. G.C. TO FIELD VERIFY & REPORT ANY DISCREPANCIES OR LOAD BEARING WALLS TO THE ARCHITECT.
- ELECTRIC POWER TO THE TENANT SPACE ONLY SHALL BE DISCONNECTED PRIOR TO DEMOLITION. VERIFY WATER SHUT-OFF W/ BUILDING OWNER. EXISTING DUCT WORK TO REMAIN SHALL BE SEALED. SPRINKLER SYSTEMS, WHERE APPLICABLE, SHALL REMAIN OPERATIONAL UNLESS PERMITTED BY THE CITY BUILDING INSPECTOR. FIRE ALARM SYSTEMS TO REMAIN FULLY OPERATIONAL DURING DEMOLITION.
- DUST BARRIER PARTITIONING SHALL BE INSTALLED @ TENANT SEPARATIONS AND AREA OF WORK AS REQUIRED.
- ALL DEMOLITION SHALL BE REMOVED FROM THE REAR OF THE BUILDING ONLY.
- REMOVE EXISTING CEILINGS IN THEIR ENTIRETY AS REQUIRED/SHOWN PER PLAN.
- ALL FIRE PROTECTION, GYPSUM DRYWALL &/ OR FIRESPRAY ON STRUCTURAL MEMBERS; INCLUDING BEARING WALLS, FIRE SEPARATION WALLS, BEAMS, COLUMNS & FIRE RATED FLOOR/ CEILING ASSEMBLIES SHALL NOT BE REMOVED.
- PROTECT ALL FINISHES, MATERIALS AND EQUIPMENT NOTED AS EXISTING TO REMAIN.
- DIMENSIONS INDICATED +/- ARE EXISTING CONDITION DIMENSIONS TO BE VERIFIED IN FIELD.
- REMOVE EXISTING PLUMBING FIXTURES IF ANY AND AS SHOWN, VENTING AND ASSOCIATED EXHAUST FANS. CAP PLUMBING FLUSH WITH FLOOR.
- FIELD VERIFY ALL STRUCTURAL COMPONENTS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.



PROPOSED 5TH FLOOR BATH PLAN
1/2" = 1'-0"

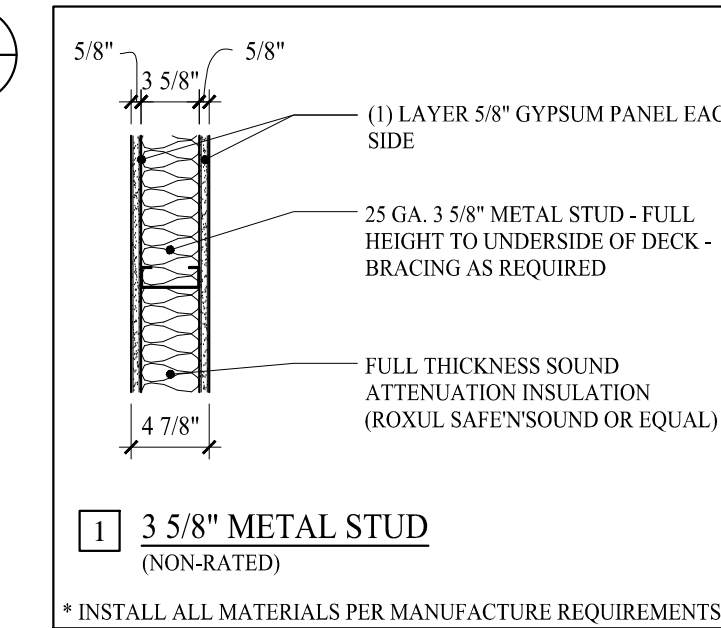


AREA OF WORK

KEY PLAN

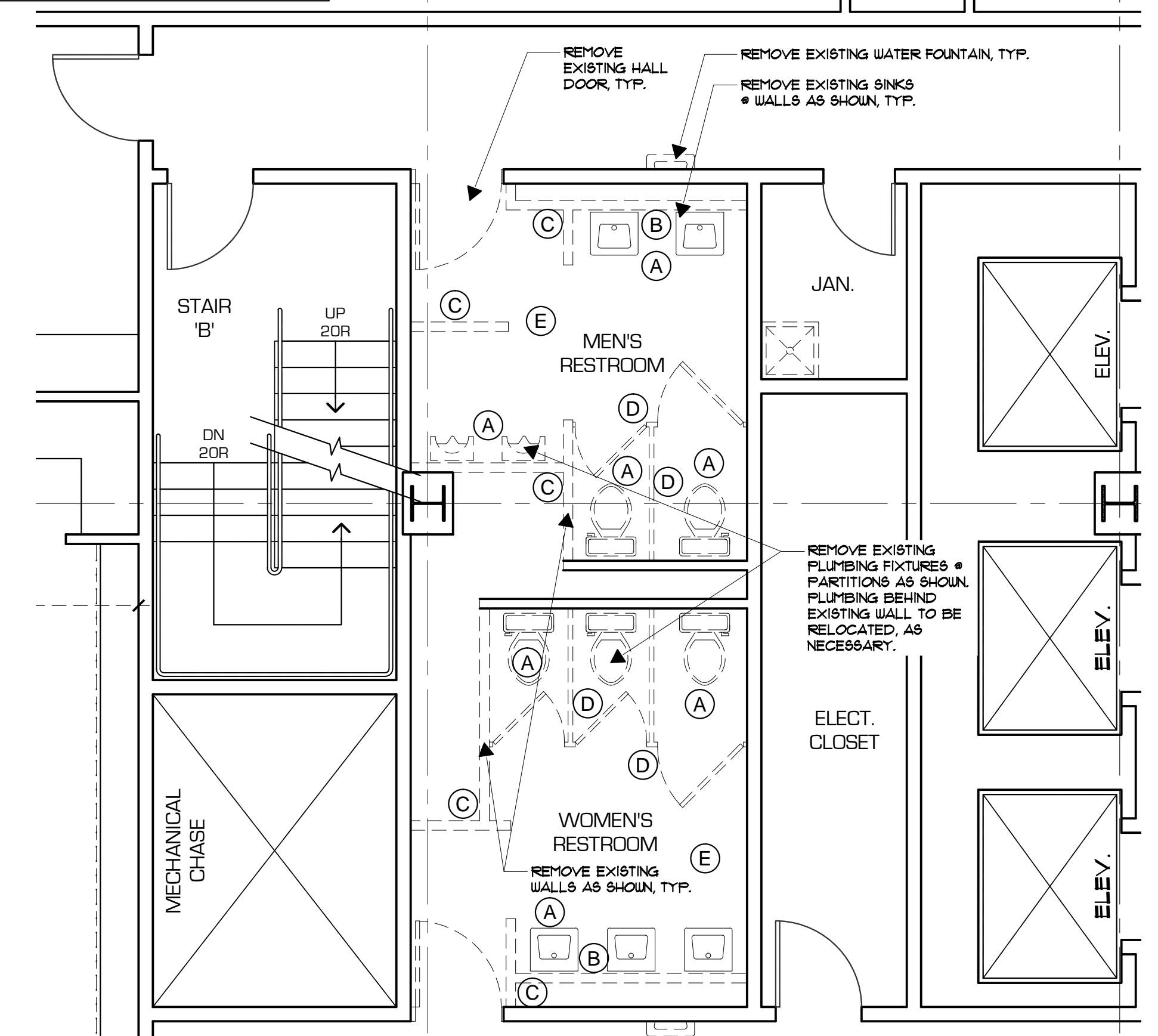
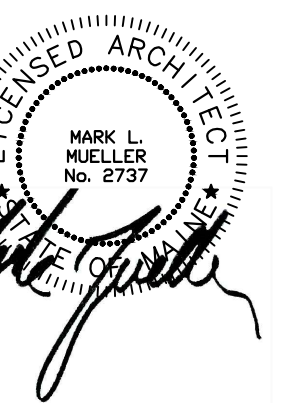
PROJECT NOTES

- THE CONSTRUCTION TYPE NOTED WITHIN IS LIMITED TO THE SCOPE OF WORK FOR THE PROJECT AS SHOWN AND OUTLINED IN THE CONSTRUCTION DOCUMENTS. CONSTRUCTION TYPE AND USE BEYOND THIS SCOPE OF WORK SHALL BE OUTSIDE THE RESPONSIBILITY OF THE ARCHITECT.
- SCOPE OF WORK: THE PROJECT INCLUDES THE INTERIOR RENOVATION OF SHOWN RESTROOMS (NO CHANGE OF USE).
- THE TENANT SPACE SHALL BE CONSTRUCTED TO CONFORM WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IBC, NFPA 101, ANSI, UFAS, HUD/AG, ADA/AG, MPS.
- THE CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
- INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
- INSTALL U.L. FIRE-STOPPING SEALANT/SYSTEM EQUAL TO THE EXISTING/PROPOSED FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
- ALL INTERIOR FINISHES SHALL MEET:
WALLS & CEILINGS: CLASS A OR B
FLOOR FINISHES: NOT LESS THAN CLASS II.
- FURNITURE, FIXTURES AND EQUIPMENT:
SHALL BE FLAME RESISTANT AND MEET NFPA 701, STANDARD METHODS OF FIRE TESTS FOR FLAME PROPAGATION OF TEXTILES AND FILMS.
- ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70.
- LIFE SAFETY INTEGRATION W/ THE EXISTING SHALL MEET NFPA 72 & CITY OF PORTLAND FIRE DEPARTMENT. SYSTEM SHALL BE DESIGNED AND INSTALLED BY A CITY/ STATE APPROVED DESIGNER & CONTRACTOR.
- SPRINKLER SYSTEM SHALL MEET NFPA 13 - NEW HEADS PER PLAN. (REVISE EXISTING AS REQ'D PER NFPA 13)
- ALL EXISTING EGRESS COMPONENTS SHALL REMAIN AS SHOWN ON DRAWINGS.
- HVAC - VERIFY EXISTING HVAC SYSTEM & DUCT WORK WITH PROPOSED PLAN.



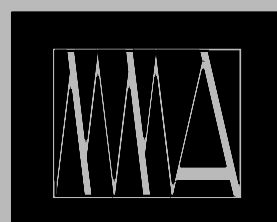
DEMO NOTES

- REMOVE ALL EXISTING PLUMBING FIXTURES.
- EXISTING MIRROR SHALL BE REMOVED.
- REMOVE EXISTING WALL AND FLOOR FINISHES THROUGHOUT. PREP SURFACES FOR NEWLY SPECIFIED FINISHES.
- REMOVE EXISTING TOILET PARTITIONS AND ACCESSORIES.
- REMOVE EXISTING CEILING SYSTEM AND LIGHTING



DEMO PLAN
1/4" = 1'-0"

SOL•ET•SKY



MARK MUELLER ARCHITECTS

TOILET ROOM RENOVATIONS - 5TH FLOOR

PERMIT SET

ONE CANAL PLAZA

DECEMBER 12, 2016