

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that COW PLAZA I LLC - KEY BANK

Located At 1 CANAL PLAZA

Job ID: 2012-05-3957-ALTCOMM

CBL: 032- I-036-001

has permission to Remodel office space to provide 2 private offices and a conference room, 4th flr Key Bank provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

 6/15/12

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-3957-ALTCOMM	Date Applied: 5/9/2012	CBL: 032- I-036-001	
Location of Construction: 1 CANAL PLAZA	Owner Name: COW PLAZA I LLC	Owner Address: 100 COMMERCIAL ST PORTLAND, ME 04101	Phone:
Business Name:	Contractor Name: David McLellan, @ Benchmark	Contractor Address: 34 Thomas DR WESTBROOK MAINE 04092	Phone: (207) -591-7600
Lessee/Buyer's Name: Key Bank	Phone:	Permit Type: BLDG	Zone: B-3
Past Use: Bank and Offices	Proposed Use: Same: Bank and Offices – to make renovations on the 4 th floor to provide two private office and a conference room	Cost of Work: \$18,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Captain Rowe</i>	Inspection: Use Group: B Type: 1B Doc - 2009 Signature: <i>[Signature]</i> 6/15/12
Proposed Project Description: Remodel office space for 3 total offices		Perform in Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK 5/10/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-05-3957-ALTCOMM

Located At: 1 CANAL PLAZA

CBL: 032- I-036-001

Conditions of Approval:

Fire

1. All construction shall comply with City Code Chapter 10.
2. Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.
3. Fire extinguishers are required. Installation per NFPA 10.
4. The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
5. A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
6. A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads.
7. Sprinkler protection shall be maintained. Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
8. Non-combustible construction of this structure requires all construction to be Non-combustible.
9. Any cutting and welding done will require a Hot Work Permit from Fire Department.

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Entered 5/9/12

183



General Building Permit Application

2012-05-3957-ALTCOMM B-3

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>ONE CANAL PLAZA - 4th Floor</u>		
Total Square Footage of Proposed Structure/Area <u>INTERIOR ALTERATION 2434 SQ FT</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>032 1036</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>KEYBANK NA - REAL ESTATE SERVICES</u> Address <u>66 SOUTH PEARL ST.</u> City, State & Zip <u>ALBANY, NY 12207</u>	Telephone: <u>518-242-0693</u> <u>GABRIEL GIAMBRONI</u>
Lessee/DBA <u>RECEIVED</u> <u>MAY 09 2012</u> Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>18,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>200.00</u>
Current legal use (i.e. single family) <u>BANK OFFICES</u> Number of Residential Units <u>NA</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NA</u> If yes, please name _____ Project description: <u>REMODEL SPACE TO PROVIDE TWO PRIVATE OFFICES AND ONE CONFERENCE ROOM. PAINT & CARPET</u>		
Contractor's name: <u>BENCHMARK</u> Address: <u>34 THOMAS DR.</u> City, State & Zip <u>WESTBROOK, ME. 04092</u>		<u>PDF'S in Garage</u> Telephone: <u>591-7600</u>
Who should we contact when the permit is ready: <u>JOHN R. McCANN</u> Mailing address: <u>ABOVE</u>		Telephone: <u>233-3395</u>

Call when done do not send out

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 5/8/12

This is not a permit; you may not commence ANY work until the permit is issued



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Receipts Details:

Tender Information: Check , Check Number: 2391

Tender Amount: 200.00

Receipt Header:

Cashier Id: bsaucier

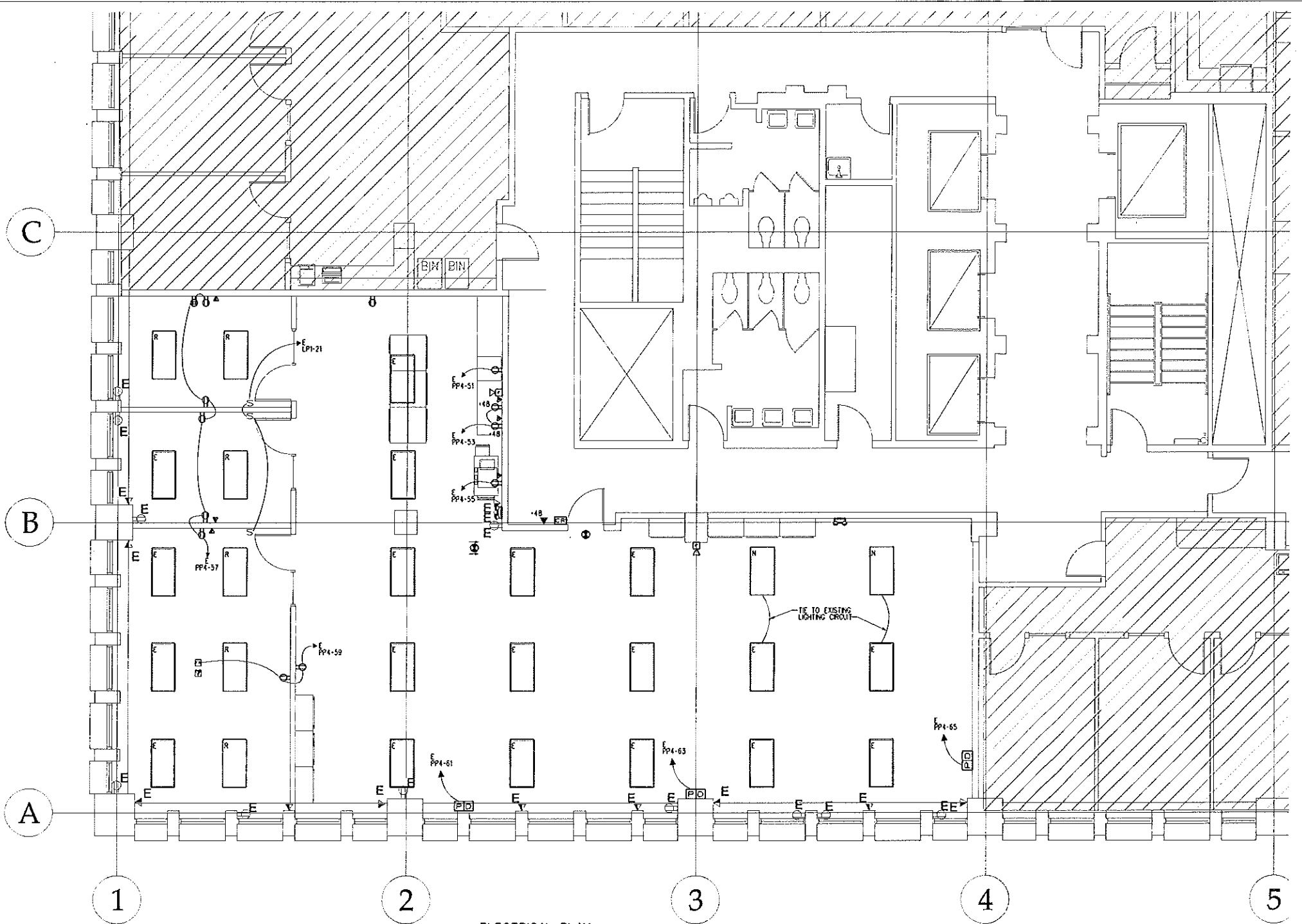
Receipt Date: 5/9/2012

Receipt Number: 43759

Receipt Details:

Referance ID:	6455	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	200.00	Charge Amount:	200.00
Job ID: Job ID: 2012-05-3957-ALTCOMM - Remodel office space for 3 total offices			
Additional Comments: 1 Canal Plaza; Key Bank			

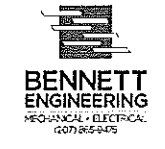
Thank You for your Payment!



ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

SYMBOL LEGEND

- TEL/DATA POLE - TWO CAT 5E CABLES BACK TO DATA ROOM AND TERMINATE.
- POWER POLE, 2 DUPLEX RECEPTACLES WITH LOW VOLTAGE DATA COMPARTMENT.
- LIGHT SWITCH, 20A, 125V, SPEC GRADE GROUNDING TYPE WITH STAINLESS STEEL PLATE, MOUNT AT 48" AFF UNLESS NOTED OTHERWISE ON DRAWING. 3 DENOTES 3-WAY AND MS DENOTES MOTION SENSOR.
- E B U
- LED EXIT SIGN WITH BATTERY BACK UP
- 2' x 4' PARABOLIC LIGHT
E DENOTES EXISTING FIXTURE RELOCATED
N DENOTES NEW FIXTURE TO MATCH EXISTING
- FLOOR FLUSH MOUNTED DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, WITH COVER.
- FLOOR MOUNTED DATA BOX TWO CAT 5E CABLES BACK TO DATA ROOM
- DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF WITH STAINLESS STEEL PLATE, MOUNT AT 18"



PROFESSIONAL SEAL:

PROPOSED TENANT IMPROVEMENTS FOR:
KeyCenter
ONE CANEL PLAZA
FLOOR 4
PORTLAND, ME 04101

DRAWING RELEASE

No.	Date	Description

DRAWN BY: twg
CHECKED BY: WSBJR
JOB NUMBER: 0000.00

DRAWINGS ISSUED FOR:
ISSUE DATE:

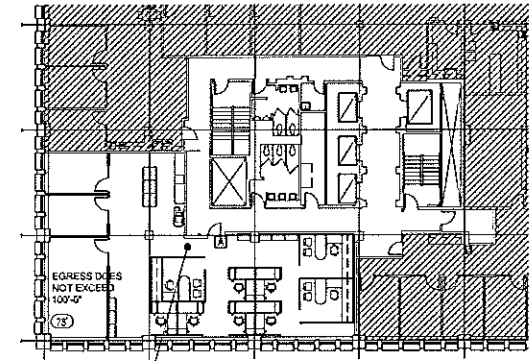
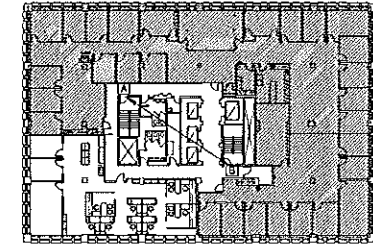
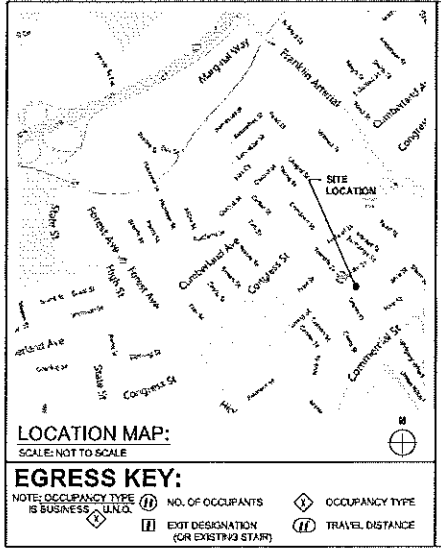
SHEET TITLE:
ELECTRICAL PLAN

PROJECT TEAM CONTACT LISTING: SITE / LOCATION MAP:

BUILDING KEY PLANS: INDEX OF DRAWINGS:

CLIENT
KeyBank
17 CORPORATE WOODS
ALBANY, NY 12211
(P): 518.436-2572
CONTACT: GABRIEL GIAMBRONI
gabriel_a_giambroni@keybank.com

GENERAL CONTRACTOR
BENCHMARK CONSTRUCTION
34 THOMAS DRIVE
WESTBROOK, MAINE 04092
(P): 207.591.7600
CONTACT: KEVIN REILLEY
kreilley@benchmarkconstruction.org



GENERAL INFORMATION DRAWINGS:
G1.1 TITLE SHEET: GENERAL INFORMATION, CODE INFORMATION AND DRAWING INDEX
G1.2 LEGENDS AND NOTES

ARCHITECTURAL DRAWINGS:
A1.1 DEMOLITION, CONSTRUCTION & REFLECTED CEILING, POWER AND FINISH PLAN
A1.2 DOOR SCHEDULE AND DETAILS
A1.3 ELEVATION AND MILLWORK DETAILS

ARCHITECT / INTERIOR TEAM

WORKLEY Architects, Inc.
3142 PROSPECT AVENUE
CLEVELAND, OHIO 44115
(P): 216-588-0800
(F): 216-588-0801
CONTACT: John C Workley
President, Architect of record
john.workley@vocon.com

vocon.
3142 PROSPECT AVENUE
CLEVELAND, OHIO 44115
(P): 216-588-0800 x. 296
(F): 216-588-0801
Contact: Erin McConnell
(Project Designer)
erin.mcconnell@vocon.com

CODE INFORMATION: FULLY SPRINKLERED BUILDING

SITE INFORMATION:
KEYBANK
ONE CANAL PLAZA
PORTLAND, ME 04101
CONSTRUCTION DOCUMENT CONFORMANCE - GENERAL PROJECT DATA
LATEST CONSTRUCTION CODE REQUIREMENTS:
BUILDING CODE: 2008 Maine Uniform Building and Fire Code (MUBFC)
BASED UPON 2009 IBC 2009 INTERNATIONAL BUILDING CODE
ACCESSIBILITY COMPLIANCE: CHAPTER 11 ICG A117.1
ADA-AG: AMERICANS WITH DISABILITIES ACT OF 1990, TITLE II & III

CHAPTER 3:
USE GROUP CLASSIFICATION: SECTION 302.1
GROUP R: BUSINESS SECTION 304 (UNCHANGED)

CHAPTER 6:
BUILDING CONSTRUCTION CLASSIFICATION: FIRE RESISTANCE RATING TABLE 601
CONSTRUCTION TYPE: I-B
NON-COMBUSTIBLE, UNPROTECTED
BLDG IS FULLY SPRINKLERED

SECTION 106.1.1.1: CERTIFIED SUBMITTAL OF THE FOLLOWING DOCUMENTS:
FIRE PROTECTION COMPONENTS (provided by a STATE LICENSED DESIGNER - SUB CONTRACTOR)
SPRINKLER SYSTEM PER NFPA 13 SECTION 8.3.3.1.1 & 8.07 FIRE ALARM SYSTEMS
PORTABLE FIRE EXTINGUISHERS PER SECTION 8.05.1, and 8.05.1 NFPA 10.
IFC A: verify locations per LOCAL FIRE OFFICIAL

CHAPTER 4:
SPECIAL REQUIREMENTS BASED UPON USE AND OCCUPANCY
SPECIAL BUILDING: HIGH RISE SECTION 403
PROVISIONS OF SECTION 403 MUST BE MET FOR TENANT SPACE, SPRINKLER SYS., FIRE ALARM, DETECTION, ETC. COORDINATE ALL REQUIREMENTS WITH LOCAL FIRE OFFICIAL.

CHAPTER 5: BUILDING HEIGHT AND AREA:
ACTUAL HEIGHT AND AREA: Based upon EXISTING CONDITIONS (UNCHANGED)
ACTUAL BUILDING HEIGHT: 19 STORY BLDG. (122'-0")
ACTUAL BUILDING FOOTPRINT: BLDG. FOOTPRINT AREA = 14,545 SQFT.
GROSS BUILDING - SQUARE FOOTAGE: ALL FLOORS OF BUILDING = 139,800 (+/-)

PROPOSED PROJECT:
INTERIOR ALTERATION = 2,454 U.S.F.

B-3 Downtown Business Zone
ALLOWABLE HEIGHT AND AREA: Based upon TABLE 603 (UNCHANGED)
ALLOWABLE BUILDING HEIGHT: B = 4 STORIES
ALLOWABLE SQUARE FOOTAGE: B = 23,000 Sq Ft per floor

(See Table 601) FIRE RESISTANCE RATING FOR BUILDING ELEMENTS:
BASED ON CONSTRUCTION TYPE TYPE I-B
STRUCTURAL FRAME: 2
* BEARING - EXTERIOR WALLS: 2
* BEARING - INTERIOR WALLS: 2
NON-BEARING - EXIT WALLS & PARTITIONS: TABLE 602
NON-BEARING - INT WALLS & PARTITIONS: 0
FLOOR CONSTRUCTION: 2
ROOF CONSTRUCTION: 1
FIRE PARTITIONS: 703
EXIT ACCESS CORRIDOR WALLS
TABLE 1017.1 @ OCCUPANCY 0 WITH SPRINKLER SYSTEM PER 603
CORRIDOR DAMPERS - NOT REQUIRED 716.5.2 PER EXCEPTION

* THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM THEREFORE THE ASSEMBLY RATING BETWEEN USE GROUPS CAN BE REDUCED BY BUT NOT LESS THAN (1) HOUR, PER SECTION 403.3.1, table 4-07

ALL CONCEALED WOOD FLOORING TO BE FIRE RETARDANT, unless per uses in Section 717.5
CONCEALED SPACES - SECTION 717
PROVIDE FIREBLOCKING AND DRAFTSTOPS AT ALL WALLS AND OPENINGS NOT EXTENDING TO THE STRUCTURE ABOVE, ETC.

CHAPTER 8: FINISH REFORMATION:
FINAL FINISH SUBMITTALS TO BE PROVIDED BY CONTRACTOR FOR COMPLIANCE TO:
INTERIOR FINISH & TRIM SHALL BE AS NOTED PER SECTION 803, TABLE 803.5.
WALL AND CEILING FINISHES:
WITH SPRINKLERS
CLASS B - VERTICAL EXITS AND EXIT PASSAGEWAYS
CLASS C - EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS
CLASS G - ROOMS AND ENCLOSED SPACES
AND 804.2 FLOOR FINISHES FOR (G-2) BUSINESS USE
CLASS B - NFPA 253 0.22 up to 2 1/2 in EXITS, ACCESS, AND UNUSUAL SPACES.
ALL TENANT AREAS MUST MEET DOC FF-1 per IBC

ALL FLOOR COVERINGS - FIBERS CARPET TO MEET RADON FLUX LIMITS BY NFPA - 253.

A COPY OF TEST REPORTS SHALL IDENTIFY CARPET MFG. STYLE, NAME & REPRESENTATIVE OF CARPET AND SHALL BE PROVIDED TO APPROPRIATE BUILDING CODE OFFICIAL UPON REQUEST OF THE GENERAL CONTRACTOR

PLUMBING REQUIREMENTS: CHAPTER 29
REQUIRED FIXTURES PER USE:
PER APPENDIX B, Minimum Plumbing Facilities per 23B STATE OF MAINE INTERNAL PLUMBING RULES
EXISTING UNCHANGED BUILDING CORE AREA:
OFFICE - BUSINESS 11,644 USF = 110 occupants (REQUIRED) (PROVIDED)
WATER CLOSETS: 17, 15, 21 16-35 4/35-55 3/30r 5 2 up to 150
LAVATORIES: 1/40 each 5
DRINKING FOUNTAINS: 1 PER 100 1 (SEE NOTE 1*)
SERVICE SINK: 1 REQUIRED 1

(2002.4.1 SECTION ALLOWS FACILITIES TO BE SOFT OR ONE STORY FROM TENANT SPACE)

MEANS OF EGRESS: CHAPTER 10
MAXIMUM OCCUPANT LOAD: TOTAL NUMBER ALLOWABLE BY TABLE 1004.1.1
BUSINESS AREAS = 100 GSF/OCCUPANT
TENANT FLOOR TOTAL: BUSINESS 2,434 U.S.F. / 100 S.F. PER OCC = 24 OCCUPANTS
ALLOWABLE OCCUPANT LOAD: BUSINESS 2,434 U.S.F. / 100 S.F. PER OCC = 24 OCCUPANTS
OCCUPANTS BY ACTUAL NUMBER: SECTION 1004.1.1 (MAY BE USED WITH APPROVAL)
ACTUAL OCCUPANT LOAD: (ACTUAL EMPLOYEES & VISITORS) = 24 OCCUPANTS
OCCUPANT LOAD USED FOR DESIGN AND POSTING: DESIGN OCCUPANT LOAD: 24 OCCUPANTS

ASSEMBLY SPACES, POSTING BY OWNER: Section 1004.3
Business shall be posted by the owner according to Section 1004 and Section 110.

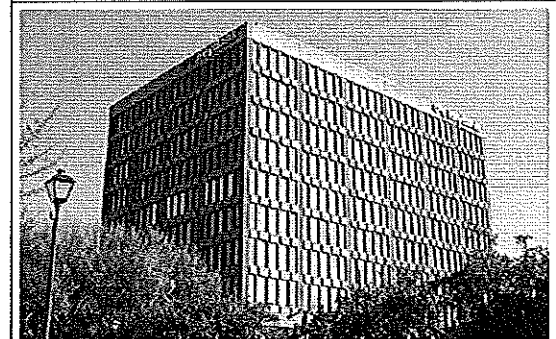
EGRESS WIDTH PER OCCUPANT: SECTION 1005 AND TABLE 1005.1
WITH SPRINKLER SYSTEM STAIRWAYS = 0.2 OTHER EGRESS = 0.15
CALCULATED NUMBER OF EXITS EGRESS WIDTH PER SECTION 1004
WIDTH REQUIRED FOR EXITING = 24 OCCUPANTS X 0.2 = 4.8'

ACTUAL NUMBER OF EXITS = (1)
ACTUAL WIDTH OF EXITS = (1) X 3'4" = 3'4" > 4.8'
ALLOWABLE MIN. NUMBER OF EXITS REQ'D = 2 SECTION 1015.1 OR EXCEED TABLE 1015.1
WHERE OCCUPANCY EXCEEDS 50, ACCESS TO 2 OR MORE EXITS MUST BE PROVIDED PER TABLE 1015.1 AND SECTION 1014 AND (SECTION 1019 > 500 OCCUPANTS.)

LENGTH OF EXIT ACCESS TRAVEL: 300 FT. W/ BLDG. AUTOMATIC SPRINKLER SYSTEM (TABLE 1016.1) (FROM MOST REMOTE POINT OF FLOOR TO THE NEAREST EXIT)
MINIMUM WIDTH OF EACH DOOR OPENING SHALL PROVIDE A CLEAR WIDTH OF AT LEAST 32". DOOR OPENINGS TO STORAGE CLOSETS OF LESS THAN 10 SF ARE NOT LIMITED BY MIN. WIDTH. (100% EXEMPTION #3)
ALL DOORS SHALL SWING IN DIRECTION OF EGRESS WHERE OCCUPANT LOAD IS 50 OR GREATER. (SECTION 1006.1.2)
4" MINIMUM EGRESS CORRIDORS, HALLWAY, PASSAGEWAY WIDTH REQUIRED PER SECTION 1017.2 AND 1005
EXCEPTION: 30" MINIMUM CORRIDOR WIDTH IF LESS THAN 50 OCCUPANTS.
DEAD ENDS PER SECTION 1017.3
EXCEPTION NO. 2 (BUS) = 50 FEET W/ SPRINKLERED BLDG.
COMMON PATH OF TRAVEL: PER SECTION 1014.3
(SPRINKLERED) (BUS) EXCEPTION NO. 1; = 100 FEET
(BUS) UNDER 200 OCCUPANTS = 100 FEET

Arrangement or REMOTE NEARNESS OF EXITS: RELOCATE LOCATION OF EXITS: (Section 1015.2.1)
The minimum SEPARATION DISTANCE shall be 1/3 of a LENGTH OF THE MAXIMUM OVERALL DIAGONAL OF THE (1) Building (all floor levels) or (2) Tenant space:
(single means of egress provided space is under 3,000 sqft and only require one exit)

BUILDING Photo:



ADA-AG NOTES:

1. THIS BUILDING SHALL COMPLY WITH THE PROVISIONS OF THE ADAAG. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DOOR SIZES, THRESHOLDS, DOOR PULLS, DOOR HARDWARE, GRAB BARS, RESTROOM FIXTURES, TOILET PARTITIONS, ETC. THE FOLLOWING EXCEPTS FROM THE ADAAG SHALL BE APPLIED TO THIS BUILDING BUT IN NO WAY LIMIT THE APPLICABILITY OF THOSE SECTIONS NOT LISTED.
2. THIS BUILDING SHALL BE ACCESSIBLE AT ALL PRIMARY ENTRANCES AND SUCH ACCESSIBLE ROUTE SHALL CONNECT ALL ACCESSIBLE SPACES AND ELEMENTS WITHIN THE BUILDING. ALL OBJECTS WHICH OVERHANG OR PROTRUDE INTO CIRCULATION PATHS SHALL COMPLY WITH SECTION 4.4 OF THE ADAAG. GROUND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES SHALL COMPLY WITH 4.05 OF THE ADAAG. (ADAAG 4.1.3 ACCESSIBLE BUILDINGS: NEW CONSTRUCTION) ACCESSIBLE ROUTE SHALL INCLUDE ACCESS FROM ACCESSIBLE PARKING SPACES TO THE ACCESSIBLE ENTRY OF THE BUILDING AND INTERIOR ACCESSIBLE AREAS.
3. GROUND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP-RESISTANT, AND SHALL COMPLY WITH 4.0. (ADAAG 4.1.1)
4. CHANGES IN LEVEL UP TO 1/4 INCH VERTICAL MAY BE WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE REVEALED WITH SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP THAT COMPLES WITH ADAAG 4.7 OR 4.8. (ADAAG 4.5.2)
5. IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED, HAVE A FIRM CUSHION PAD, OR BACKING, OR NO CUSHION OR PAD, AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PALE, OR LEVEL CUT/IN CUT PALE TEXTURE. THE MAXIMUM PILE THICKNESS SHALL BE 1/2 INCH. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY. (ADAAG 4.5.2)
6. PER ADAAG, THE HEIGHT OF ALL ELECTRICAL OUTLETS, SWITCHES, AND CONTROLS SHALL BE MAX. 48" AFF. MIN. 15" 4.2.5, 4.2.7.3 MAXIMUM CARPET PILE HEIGHT IS TO BE 1/2" PER ADAAG 4.5.3

KEY PLAN
SCALE: 1/8" = 1'-0"

DRAWING RELEASE

No.	Date	Description
03.05.12		ISSUED FOR 90% REVIEW
05.05.12		ISSUED FOR PERMIT

DRAWN BY: EM
CHECKED BY: JCW
JOB NUMBER: 9506.60

DRAWINGS ISSUED FOR:
ISSUE DATE:

SHEET TITLE:
TITLE SHEET

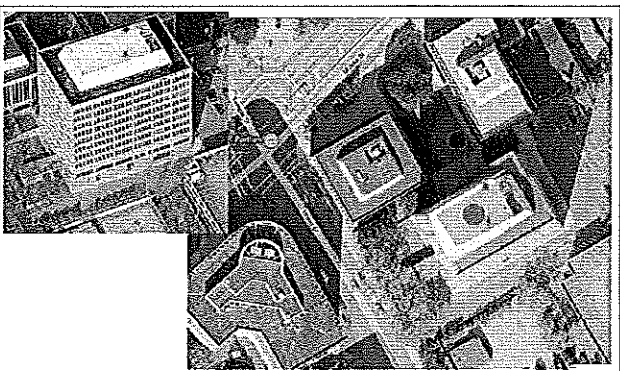
SHEET NUMBER:
G1.1

CONTRACTOR NOTES:

1. DO NOT SCALE THE DRAWINGS. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. COORDINATE ALL SITE REQUIREMENTS, ISSUES AND UTILITIES. NOTIFY ARCHITECT OF ANY DISCREPANCIES, INCLUDING ALL ADA ISSUES.
2. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT IN WRITING FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION. PROCEEDING BEYOND STANDARD ACCREDITED CONSTRUCTION PROCEDURE WITH OUT CLARIFICATION FROM MANAGEMENT AND NOT CONFORMING TO CONSTRUCTION DOCUMENTS IS ON CONTRACTORS RISK TO PROCEED.
3. ALL EXISTING UNUSED ELECTRICAL WIRE, CONDUIT AND EQUIPMENT SHALL BE REMOVED FROM SITE.
4. SUPPORT FOR LIGHT FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF SUSPENDED CEILING OR THE SUSPENDED CEILING GRID SHALL BE SUPPORTED WITHIN SIX (6) INCHES OF EACH CORNER OF THE FIXTURE IN ACCORDANCE WITH ASTM C-876 (LATEST REVISION).
5. FIRE STOPPING SHALL BE PROVIDED FOR PENETRATIONS THROUGH RATED WALLS AND FLOORS SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASSES WHEN SUBJECT TO REQUIREMENTS OF THE TEST STANDARD SPECIFIED FOR FIRE STOPS ASTM - E-814.
6. WOOD PRODUCTS USED FOR FLOORING, ETC. THAT ARE NOT CLASSIFIED AS "INTERIOR FINISH MATERIALS" ACCORDING TO CODE SHALL BE FIRE PRESSURE TREATED LUMBER.
7. DUCT SMOKE DETECTORS INSTALLED IN BUILDING AS REQUIRED - (DUCT SMOKE DETECTORS) PROVIDED SHALL BE LISTED FOR USE WITH CONTROL UNIT. REFERENCE NFPA 72 SECTION 9.2.3.1
8. IF BUILDING IS PROVIDED WITH A FIRE ALARM SYSTEM:
 - A. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING FIRE PROTECTIVE SIGNALING SYSTEM IN ACCORDANCE WITH NFPA 72. REFERENCE MECHANICAL CODE SECTION 606.4.1
 - B. ALL FIRE ALARM (DUCT SMOKE DETECTORS) PROVIDED SHALL BE LISTED FOR USE WITH FIRE ALARM CONTROL UNIT. REFERENCE NFPA 72 SECTION 9.2.3.1

ABBREVIATIONS:

ACT - ACUSTIC TILE	EIFS - EXT. INSUL. & FINISH SYS	LD - INSIDE DIAMETER.	PL - PLATE
APP.F - ABOVE FINISHED FLOOR	ELEC. - ELECTRICAL	INSUL. - INSULATION/INSULATING	PLAS. - PLASTER
ALT. - ALTERNATE	ELEV. - ELEVATION	INT. - INTERIOR	PLGB - PLUMBING PLUMBER
APP. - APPROXIMATELY	ETC. - ALL RELATED ITEMS	JT - JOINT	PLYW - PLYWOOD
ARCH - ARCHITECT	EXIST'G EXISTING	LAV - LAVATORY	POL - POLISHED
BLDG - BUILDING	EX - EXTERIOR	L.P.P. - LOW POINT	PTD - PAINTED PTD
BLDGGS - BUILDINGS	F.D. - FLOOR DRAIN	MAS. - MASONRY	R.D. - ROOF DRAIN
B.M. - BENCH MARK	F.E. - FIRE EXTINGUISHER	MAX. - MAXIMUM	RENF - REINFORCEMENT
BTM - BOTTOM	FIN.FL - FINISH FLOOR	MECH. - MECHANICAL	RECD. - REQUIRED
C.B. - CATCH BASIN	FDN - FOUNDATION	MET. - METAL	RM - ROOM
CEM. - CEMENT	FUR. - FURRING	MFG. - MANUFACTURER	R.O. - ROUGH OPENING
CT - CERAMIC TILE	G.C. - GENERAL CONTRACTOR	M.H. - MANHOLE	SHT - SHEET
C.J. - CONTROL JOINT	GA. - GALVANIZED	MIN. - MINIMUM	S.M. - SHEET METAL
CLR. - CLEAR	GEN. - GENERAL	MISC. - MISCELLANEOUS	SPM - SINGLE PLY MEMBRANE
CLD. - CEILING	GLAZ. - GLASS GLAZING	MLO. - MASONRY OPENING	S.ST. - STAINLESS STEEL
CONJ. - CONCRETE MASONRY UN.	GYPS. - GYPSUM BOARD	MTL. TRES. - METAL THRESHOLD	SID. - STANDARD
CONC. - CONCRETE	H.M. - HOLLOW METAL	NOT IN CONTRACT	SUSP. - SUSPENDED
CONT. - CONTINUOUS	HORIZ. - HORIZONTAL	O.C. - ON CENTER	TERR. - TERRAZZO
CONTR. - CONTRACTOR	H.P.P. - HIGH POINT	OD. - OUTSIDE DIAMETER	TYP. - TYPICAL
CTR. - CENTER	HTG. - HEATING	OH - OVERHEAD	VOT - VINYL COMPOSITION TILE
DET. - DETAIL		ODD. - OUT TO OUT	W.C. - WATER CLOSET
D.F. - DRINKING FOUNTAIN		OPNG - OPENING	W.D. - WOOD
DIA. - DIAMETER			W.W.F. - WELDED WIRE FABRIC
DM. - DIMENSION			
D.O. - DOOR OPENING			
DS - DOWN SPOUT			
DWG. - DRAWING DWG			



AERIAL MAP:

EXISTING TO BE DEMOLISHED

NOTE: REFER TO FLOOR PLAN FOR WALL TYPES & DETAILS FOR NEW CONSTRUCTION

SYMBOLS LEGEND

- INDICATES MILLWORK ITEMS (SEE DWGS. A1.1 AND A3.1)
- 100 INDICATES DOOR NUMBER (SEE DWG. A3.1)
- 1111 INDICATES ROOM NUMBER
- X/A5.1 INDICATES ELEVATION NUMBER
- INDICATES DWG. SHEET NUMBER
- 10/A7.0 INDICATES DETAIL OR PLAN NUMBER
- INDICATES DWG. SHEET NUMBER
- 1/A5.0 INDICATES SECTION NUMBER
- INDICATES DWG. SHEET NUMBER
- INDICATES NON-RATED ASSEMBLY WALL TYPE NUMBER (SEE WALL TYPE LEGEND THIS SHEET)
- INDICATES KEY NOTES NUMBER (SEE KEY NOTES LEGEND THIS SHEET)
- INDICATES WINDOW TYPE (SEE SHEET A1.2)
- INDICATES EXISTING TO REMAIN
- INDICATES NEW CONSTRUCTION
- INDICATES NEW CONSTRUCTION, PARTIAL HT.

WALL TYPE LEGEND

TYPE	DESCRIPTION
1	NON-RATED WALL TO UNDERSIDE OF GRID. SEE DETAIL 3/A6.1. ALL WALLS TYPE 2 UO/L.
2	NON-RATED WALL TO UNDERSIDE OF GRID. PROVIDE 2" BATT INSULATION EACH SIDE OF WALL ABOVE CEILING. SEE DETAIL 3/A1.2
3	DEMISING WALL - NON-RATED WALL TO UNDERSIDE OF DECK. SEE DETAIL 3/A6.1.

CEILING LEGEND

- NEW FLUORESCENT FIXTURE TO MATCH EXISTING
- EXISTING FLUORESCENT FIXTURE
- RELOCATED FLUORESCENT FIXTURE
- FLUORESCENT FIXTURE TO BE REMOVED AND RELOCATED
- EXISTING CEILING AND GRID TO REMAIN. PATCH AND REPAIR AS NECESSARY WHERE AFFECTED BY DEMOLITION AND CONSTRUCTION.

FINISH LEGEND:

FLOORING:

CPT-1 TYPE: CARPET TILE
 MANUF: BENTLEY PRINCE STREET
 STYLE: MIL CITY 55832053UR
 COLOR: NESMITH 655931
 CONTACT: CHRIS CLARK 330.391.4514

WALLS:

PK-1 TYPE: PAINT
 MANUF: SHERWIN WILLIAMS
 COLOR: POPULAR GRAY SW6071
 FINISH: EGGSHELL

PK-2 TYPE: PAINT
 MANUF: SHERWIN WILLIAMS
 COLOR: GARRET GRAY SW6075
 FINISH: EGGSHELL

PK-3 TYPE: PAINT
 MANUF: SHERWIN WILLIAMS
 COLOR: UNUSUAL GRAY SW 7059
 FINISH: EGGSHELL

AS-1 TYPE: ACOUSTICAL PANELS
 MANUF: KINETICS HI-TACK PANELS WITH ACOUSTICAL PERFORATED CORE BOARD AND SQUARE EDGE

SIZE: 3/4" THICK
 FABRIC: DESIGNTEX TITAN/UM 2842-106
 COLOR: ZIRCON
 CONTACT: 1.877.457.2655
 NOTE: SEE ELEVATION 2/A1.3 FOR PANEL LOCATION AND INSTALLATION

BASE

RS-1 TYPE: RUBBER BASE
 MANUF: JOHNSONITE
 STYLE: COLORMATCH
 COLOR: XXX
 NOTE: RB-1 AT ALL PT-1 LOCATIONS

RS-2 TYPE: RUBBER BASE
 MANUF: JOHNSONITE
 STYLE: COLORMATCH
 COLOR: XXX
 NOTE: RB-2 AT ALL PT-2 LOCATIONS

RS-3 TYPE: RUBBER BASE
 MANUF: JOHNSONITE
 STYLE: COLORMATCH
 COLOR: XXX
 NOTE: RB-3 AT ALL PT-3 LOCATIONS

LAMINATE, STONE & MISC. :

PL-1 TYPE: PLASTIC LAMINATE
 MANUF: NEVAMAR
 COLOR: CORDIAL GRAY S6024T TEXTURED

PL-2 TYPE: PLASTIC LAMINATE
 MANUF: FORMICA
 COLOR: DOGBOE WHITE 5281-58 MATTE FINISH

1. MATCH AND REPAIR CEILING AS REQUIRED AT DEMOLITION AND CONSTRUCTION.

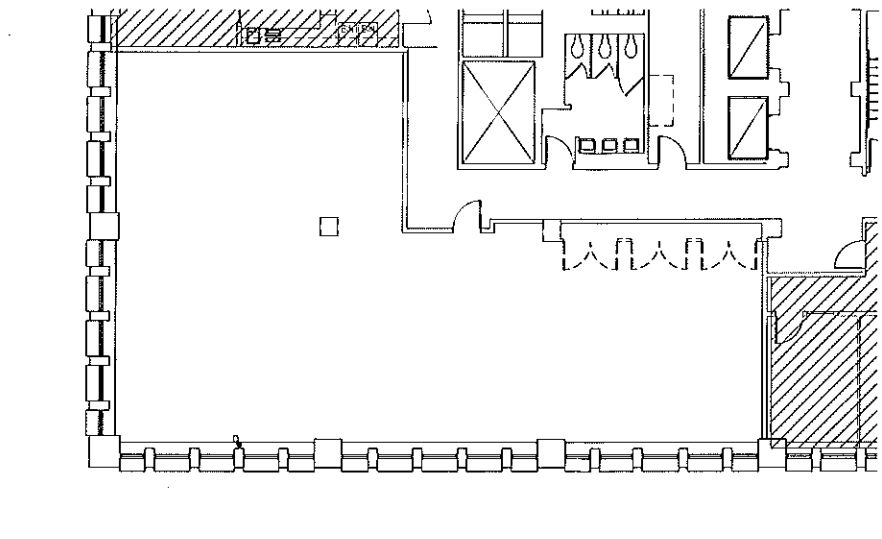
2. SIG TO COORDINATE FINAL LOCATION OF FURNITURE POWER AND DATA FEED LOCATIONS WITH OWNER'S FURNITURE AND CABLING VENDOR.

3. COORDINATE ALL NECESSARY ELECTRICAL AND DATA REQUIREMENTS WITH OWNER'S SECURITY VENDOR.

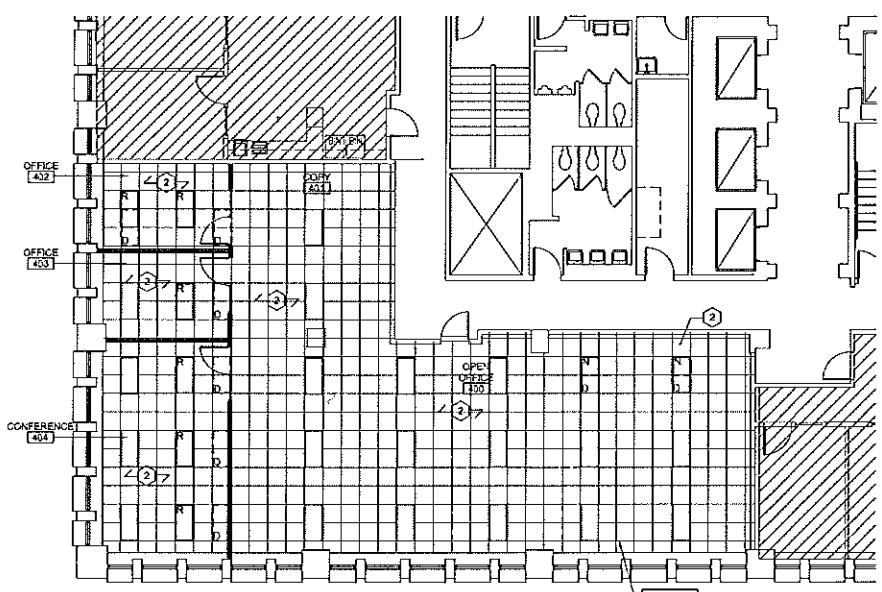
4. COORDINATE LOCATION OF FEED WITH OWNER'S FURNITURE VENDOR.

TYPICAL MOUNTING HEIGHTS - U.O/L. NOT TO SCALE

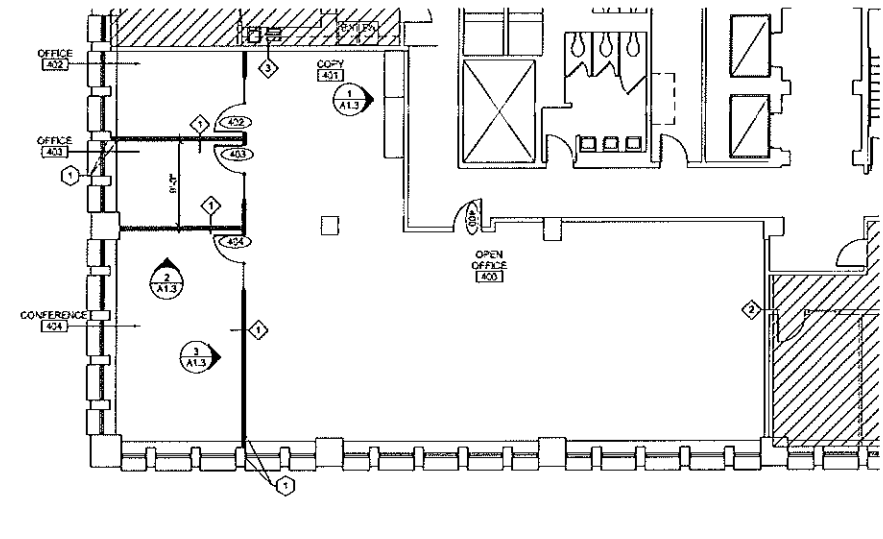
LATCH SIDE OF DOOR
 SWITCH PLATE (GANG MULTIPLES UNDER ONE PLATE)
 ELEC. OUTLET
 TELE. DATA OUTLET



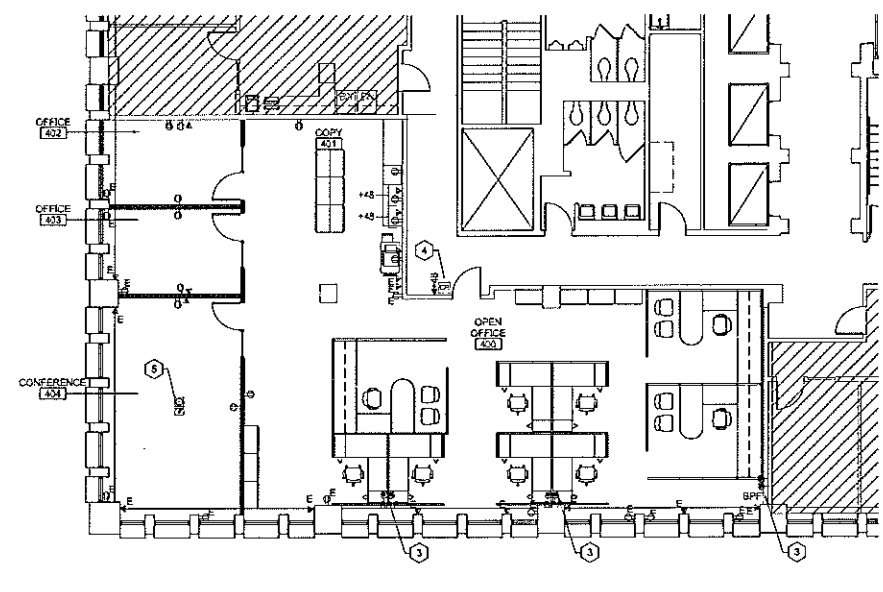
1 DEMOLITION PLAN
 SCALE: 1/8"=1'-0"



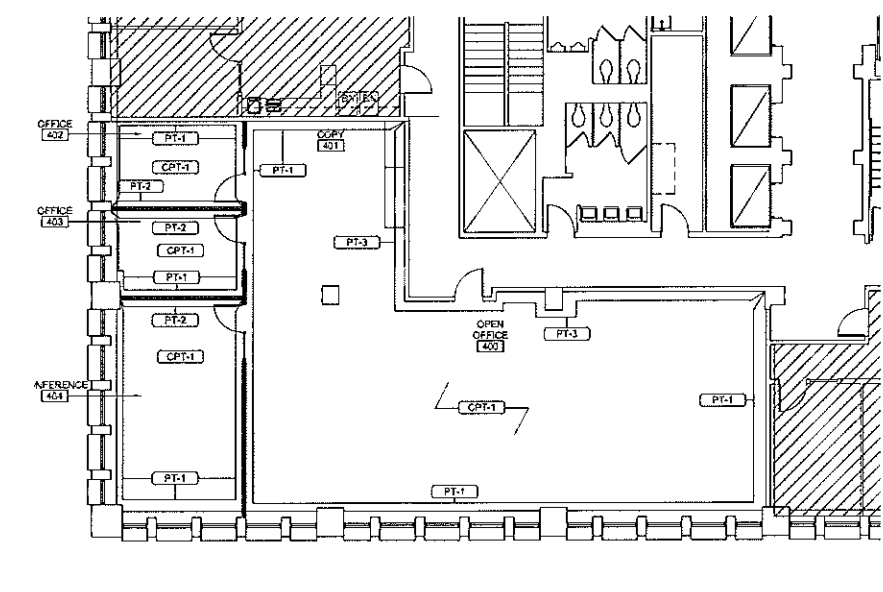
3 REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"



2 CONSTRUCTION PLAN
 SCALE: 1/8"=1'-0"



4 OUTLET LOCATION PLAN
 SCALE: 1/8"=1'-0"



5 FINISH PLAN
 SCALE: 1/8"=1'-0"

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 11 penn plaza
 floor 21, suite D
 New York, NY 10001
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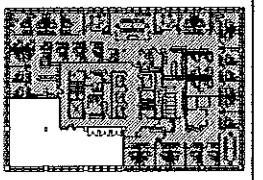
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KEY PLAN
 SCALE: N.T.S.

DRAWING RELEASE

No.	Date	Description
	03.05.12	ISSUED FOR 90% REVIEW
	05.05.12	ISSUED FOR PERMIT

DRAWN BY: EM
 CHECKED BY: JCW
 JOB NUMBER: 906.00

DRAWINGS ISSUED FOR:
 ISSUE DATE:

SHEET TITLE:
FLOOR PLANS

SHEET NUMBER:
A1.1

		TYPE	THCI	MATE	FNIS	MATE	FNIS	HEAD	JAMB	HABC	FINR	FINL		
400	ENTRY	EX	-	-	-	-	-	-	-	-	-	-	1	B, C, F
402	OFFICE	D1	ME	ME	ME	ME	ME	4,5/A1.2	6,7/A1.2	2			2	A,D,E
403	OFFICE	D1	ME	ME	ME	ME	ME	4,5/A1.2	6,7/A1.2	2			2	A,D,E
404	CONFERENCE	D1	ME	ME	ME	ME	ME	4,5/A1.2	6,7/A1.2	2			2	A,D,E

HARDWARE SPECIFICATIONS:

NOTE: GC TO VERIFY HARDWARE SPECIFIED TO BE RELOCATED WHEN NOT AVAILABLE GC TO MATCH EXISTING.

SET #1: CONTROLLED ACCESS UPDATE ON EXIST. DOOR

ITEM	DESCRIPTION	MANUF.	EXISTING
4 HINGES	EXISTING (NO WORK)	EXISTING	
1 LOCK/STRIKE	73-114370 LNL US260 24VDC LOCKSET IS FAIL SAFE POWER SUPPLY BY E.C. SWITCH SENSOR ON TENANT EXIT SIDE TO CONNECT TO FIRE ALARM SYSTEM DOOR POSITION SWITCH BY SECURITY CONTRACTOR	SARGENT	

1 CLOSER	EXISTING (NO WORK)
1 FLOOR STOP	EXISTING (NO WORK)

SET #2: PASSAGE FUNCTION

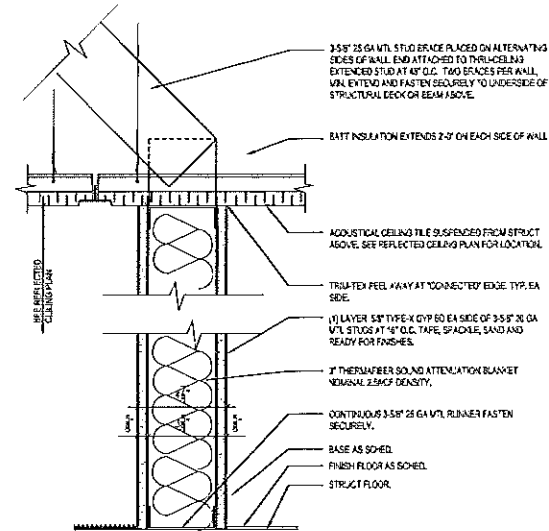
ITEM	DESCRIPTION	MANUF.	EXISTING
4 HINGES	MATCH EXISTING	MATCH EXISTING	
1 PASSAGE	MATCH EXISTING	MATCH EXISTING	
1 FLOOR STOP	MATCH EXISTING	MATCH EXISTING	

REMARKS

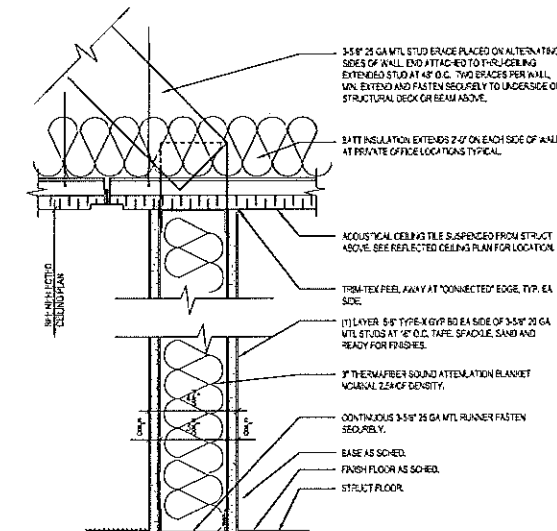
- A) PRIVATE OFFICE COAT HOOKS TO BE WALL MOUNTED BEHIND DOOR TYP.
- B) DOORS REQUIRING ELECTRIC STRIKES SHALL HAVE A KEY CARD ACCESS PAD AT ENTRY SIDE AND A PUSH PAD AT EXIT SIDE. CONNECT TO BUILDING FIRE ALARM SYSTEM. COORDINATE WITH TENANT ON ANY EXISTING CONDITIONS OR MANUFACTURERS TO BE DUPLICATED.
- C) COORDINATE CONTROLLED ACCESS ENTRY SYSTEM WITH KEYBANK AND SECURITY CONSULTANT
- D) MATCH EXISTING FRAME, HEAD AND JAMB DETAILS
- E) SOUND SEAL AROUND FRAME
- F) TOUCH UP DOOR AND FRAME FINISH AS REQUIRED.

DOOR, FRAME & GENERAL NOTES:

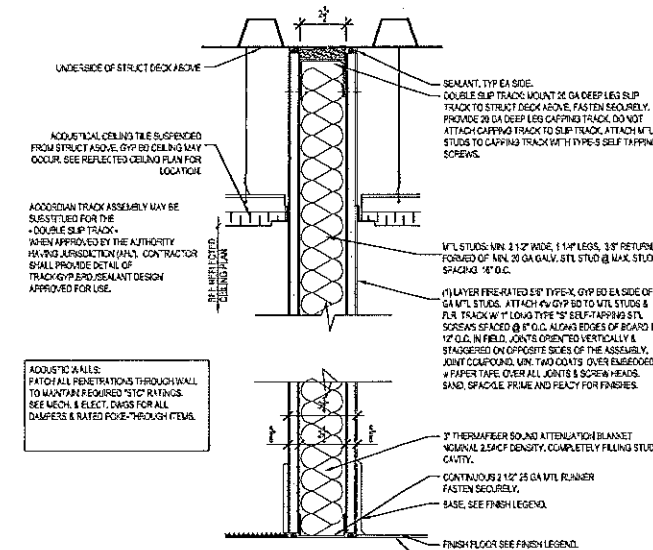
1. ALL HARDWARE BY DOOR SUPPLIER & TENANT'S SECURITY CONTRACTOR.
2. ALL WOOD DOORS TO BE FACTORY FINISHED FLUSH SOLID CORE WOOD UNITS MANUFACTURED BY 'EGGERS INDUSTRIES' OR EQUIVALENT.
4. ALL EXIT DOOR HARDWARE ALLOWS DOOR TO BE OPENED DIRECTLY IN THE DIRECTION OF EXIT WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (BOCA 1017.4.1)
6. ALLOWABLE CLOSER PRESSURE SHALL BE 5 POUNDS FOR INTERIOR DOORS.
7. ALL DOOR ASSEMBLY TO HAVE 'ADAAG - LEVER STYLE' HANDLES.
8. ALL DOOR HANDLES, PUSH/PULLS, ETC. SHALL BE CENTERED AT 30" MIN. TO 44" MAX. ABOVE FINISH FLOOR.



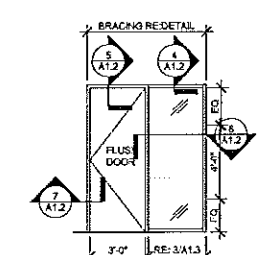
1 WALL TYPE 1
PARTITION TYPE 1
SCALE: 3" = 1'-0"



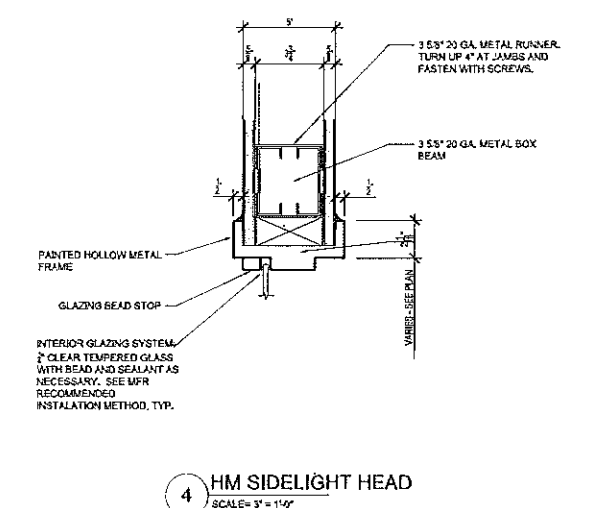
2 WALL TYPE 2
DEMISING PARTITION TYPE 2
SCALE: 3" = 1'-0"



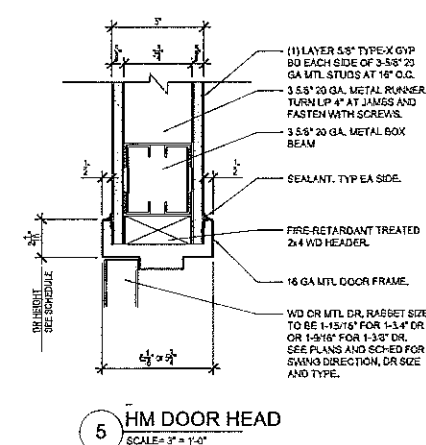
3 WALL TYPE 3
DEMISING PARTITION TYPE 3
SCALE: 3" = 1'-0"



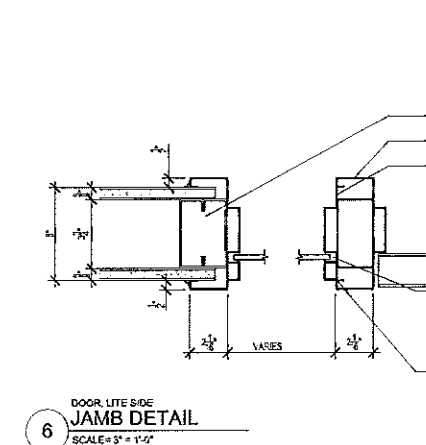
D1 WOOD DOOR WITH 1/4" FRAME
DOOR DETAIL
SCALE: 1/4" = 1'-0"



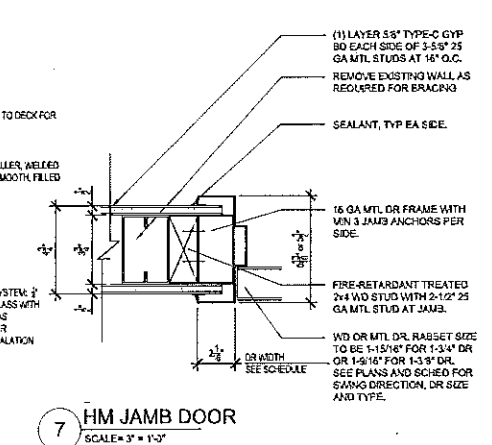
4 HM SIDELIGHT HEAD
SCALE: 3" = 1'-0"



5 HM DOOR HEAD
SCALE: 3" = 1'-0"



6 DOOR LITE SIDE JAMB DETAIL
SCALE: 3" = 1'-0"



7 HM JAMB DOOR
SCALE: 3" = 1'-0"

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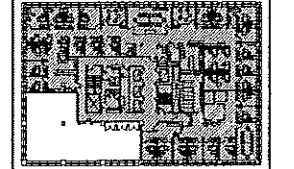
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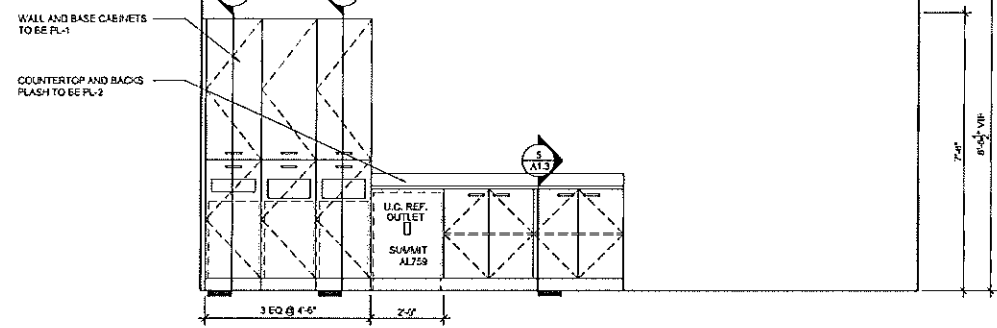
DRAWN BY: EM
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JOB NUMBER: 5606.00

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ISSUE DATE:

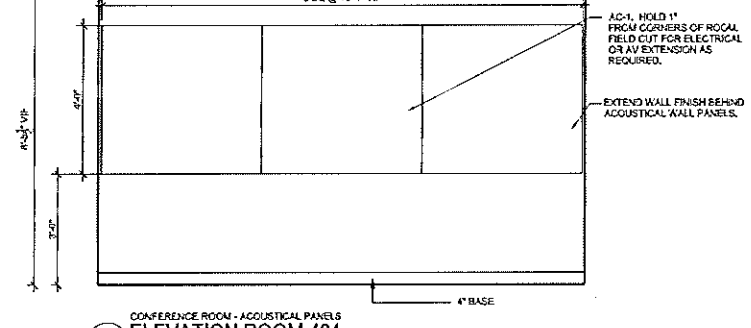
SHEET TITLE:

DOOR SCHEDULE AND DETAILS

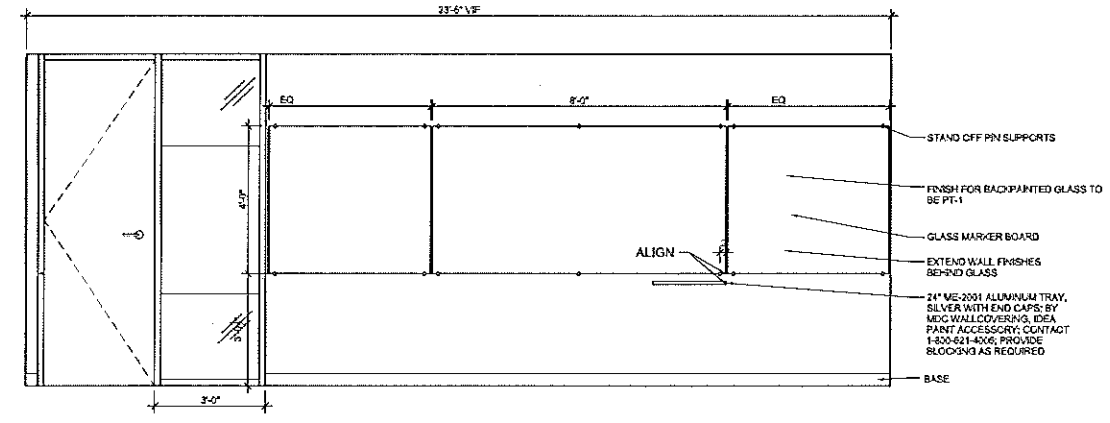
SHEET NUMBER:
A1.2



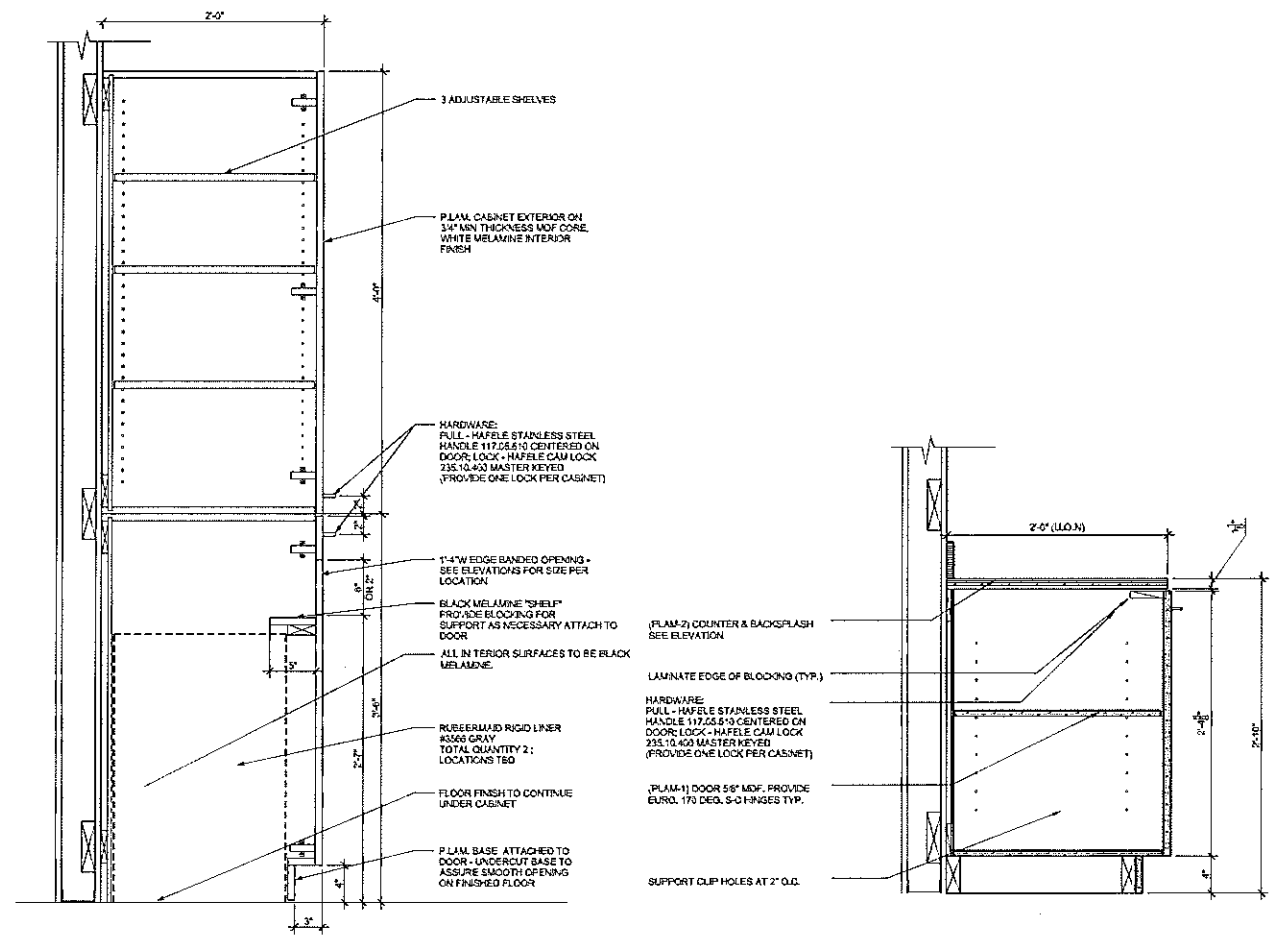
1 COPY AREA
ELEVATION ROOM 401
SCALE: 1/2" = 1'-0"



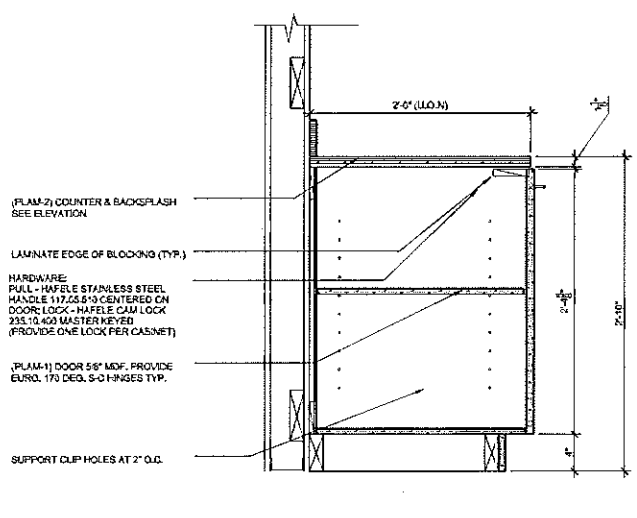
2 CONFERENCE ROOM - ACOUSTICAL PANELS
ELEVATION ROOM 404
SCALE: 1/2" = 1'-0"



3 ELEVATION ROOM 404
SCALE: 1/2" = 1'-0"



4 TRASH RECYCLE CABINET
MILLWORK DETAIL
SCALE: 1 1/2" = 1'-0"



5 LOWER WALL CABINET W/ ADJ. SHELVING
MILLWORK DETAIL
SCALE: 1 1/2" = 1'-0"

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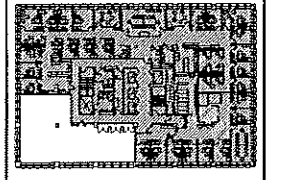
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New York, NY 10001
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KEY PLAN
SCALE: 1" = 10'

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DRAWN BY: EM
CHECKED BY: JCW
JOB NUMBER: 6606.00

DRAWINGS ISSUED FOR:
ISSUE DATE:


SHEET TITLE:
INTERIOR ELEVATIONS, & DETAILS

SHEET NUMBER:
A1.3

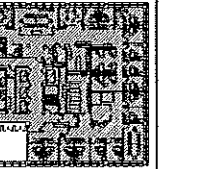
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KEY PLAN
SCALE: N.T.S.

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DRAWN BY: EM JCW
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JOB NUMBER: 600A.00
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SHEET TITLE:

GENERAL NOTES AND LEGENDS

20) TELEPHONE AND DATA CASHING AND TERMINATION PLATES BY CABLEING VENDOR. PRIOR TO CABLEING VENDOR CABLEING AND TERMINATING ALL BACK BOXES SHALL BE INSTALLED BY THE FURNITURE PANEL BY ELECTRICAL CONTRACTOR.
21) AT WORKSTATION ALL POWER AND DATA RECEPTACLES TO BE LOCATED IN BASE RACEWAY UNDER U.O.N. AT LOCATIONS WHERE THE POWER AND DATA ARE AT THE WORKSTATION POWER DATA MODULE IS COMPLIANT WITH CHICAGO ELECTRICAL CODE AND IS HARDWIRED TO THE FURNITURE PANEL.

G1.2

GENERAL ELECTRICAL NOTES

- 1) ANY DISCREPANCIES OR CONFLICTS BETWEEN PARTITION TYPE PLANS, TELEPHONE/ELECTRICAL PLANS, ENGINEERING DOCUMENTS, ARCHITECTURAL ELEVATIONS, MILLWORK, AND/OR FIELD CONDITIONS SHALL BE CLARIFIED BY UO.N. PRIOR TO BEGINNING WORK.
- 2) REFER TO ARCHITECTURAL DOCUMENTS FOR EXACT LOCATION OF ALL OUTLETS, VERTICALLY AND HORIZONTALLY.
- 3) REFER TO ENGINEERING DOCUMENTS FOR TYPES, SPECIFICATIONS, CUTTING, FIRE ALARM STROBE LIGHT & AUDIBLE FIRE ALARM LOCATIONS AS NOTED.
- 4) ALL OUTLETS OF NON-STANDARD HEIGHTS SHALL BE INSTALLED FROM THE FLOOR SLAB TO THE DESIGNATED HEIGHT. ALL OTHER OUTLETS ARE TO BE MOUNTED AT STANDARD HEIGHT FROM THE FLOOR SLAB TO THE CENTERLINE OF THE OUTLET. COORDINATE CLEARANCE REQUIRED WITH SCHEDULED FLOOR FINISHES AND SLAB LEVELS REQUIREMENTS.
- 5) VERIFY THE TYPE OF OUTLET REQUIRED FOR TENANT COPIERS BY TENANT PRIOR TO INSTALLATION OF OUTLETS.
- 6) ALL FLOOR OUTLET LOCATIONS ARE TO BE "MARKED" AND APPROVED BY MECHANICAL AND/OR CLIENT'S FURNITURE VENDOR IN THE FIELD PRIOR TO INSTALLATION.
- 7) VERIFY AND COORDINATE W/ WOODWORK PRIOR TO INSTALL OF ALL OUTLET LOCATIONS WITH MILLWORK. PROVIDE CUT-OUT MOUNTED OUTLETS IN MILLWORK.
- 8) PROVIDE GROMMETS IN MILLWORK ABOVE EACH OUTLET U.O.N. VERIFY TYPE, SIZE AND COLOR W/ WOODWORK.
- 9) ALL OUTLETS ARE DIMENSIONED FROM FINISHED FACE OF WALL FOR PARTITION TO CENTERLINE OF OUTLET. ALL OUTLETS SHOWN ARE TO BE GROUPED TOGETHER AND SHALL NOT BE MORE THAN 8" AWAY FROM EITHER SIDE OF GROUP CENTERLINE.
- 10) ALL OUTLETS ON COLUMNS SHALL BE INSTALLED ON COLUMN CENTERLINE U.O.N.
- 11) OUTLET INDICATED ON BOTH SIDES OF A PARTITION SHALL BE STAGGERED 6" U.O.N.
- 12) OUTLETS ADJACENT TO "WET" AREAS ARE TO BE GROUND FAULT INTERLOCK (GFI) TYPE ONLY.
- 13) ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS, OR SHAFTS SHALL BE SEALED W/ APPROVED RATED FIRESTOPPING MATERIAL.
- 14) ALL QUADPLEX OUTLETS (OR 2 DUPLEX TOGETHER) ARE TO BE A SINGLE QUAD BOX WITH A MATCHING FACE PLATE.
- 15) ALL WALL SWITCHES ADJACENT TO ONE ANOTHER ARE TO BE GANGED WITH A COMMON PLATE.
- 16) THE ROUTING OF ALL SURFACE MOUNTED EXPOSED CONDUIT IN UNFINISHED AREAS (OR WHERE NOTED ON DRAWING) SHALL BE COORDINATED WITH AND SHALL BE APPROVED BY WOODWORK PRIOR TO INSTALLATION.
- 17) ALL EXISTING AND NEW OUTLET COVERPLATE COLOR(S) MUST BE VERIFIED BY VOCON PRIOR TO ORDERING. IF NOT ALREADY SPECIFIED ON DRAWINGS.
- 18) THIS DRAWING IS TO PROVIDE THE ELECTRICAL DESIGN INTENT OF THE SPACE TO THE ELECTRICAL ENGINEER. IT IS NOT MEANT TO BE A COMPREHENSIVE ELECTRICAL POWER OR PHONE DATA PLAN. THE ELECTRICAL ENGINEER'S DRAWING(S) THAT PERTAIN TO THIS TYPE OF INFORMATION ABSOLUTELY SUPERSEDES THIS SHEET.
- 19) CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF MECHANICAL EQUIPMENT WITH THE MECHANICAL CONTRACTORS. EXACT ELECTRICAL REQUIREMENTS SHALL BE VERIFIED IN THE FIELD WITH THE EQUIPMENT'S NAMEPLATE DATA. THE CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS TO WIRE AND FUSE SIZES IN ACCORDANCE WITH THE NAMEPLATE DATA.
- 20) THE ELECTRICAL WIRING, CONNECTION AND PROTECTION REQUIREMENTS FOR OWNER FURNISHED EQUIPMENT SHALL BE VERIFIED IN THE FIELD WITH THE OWNER'S EQUIPMENT SUPPLIER, AND WITH THE NAMEPLATE DATA. CONTRACTOR SHALL FURNISH THE PROPER NECA RECEIPTED CONFIGURATIONS, CONNECTIONS, AND CIRCUITS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 21) CONTRACTOR TO PROVIDE PRICE FOR TRIMMING AND PULL STRINGTIED OFF ABOVE CEILING AT ALL ADDITIONAL VISUAL OUTLETS INDICATED ON PLANS. REFER TO TELECOMMUNICATIONS DRAWINGS FOR TELEPHONE DATA OUTLET CABLEING AND TERMINATION. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT PLACEMENT (HORIZONTAL AND VERTICAL).
- 22) PROVIDE DIRECT ELECTRICAL CONNECTIONS TO EQUIPMENT, AND FURNITURE SYSTEMS, AS REQUIRED BY ELECTRICAL CODE, AND MANUFACTURER'S SPECIFICATIONS.
- 23) ALL CONDUIT, JUNCTION BOXES, WIRING AND OUTLETS AT SYSTEMS FURNITURE TO BE PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. PURCHASE ANY PROPRIETARY ELECTRICAL COMPONENTS REQUIRED FOR A CHICAGO ELECTRICAL CODE COMPLIANT INSTALLATION FROM THE FURNITURE DEALER OR FURNITURE MANUFACTURER. PURCHASE ANY PROPRIETARY OUTLET DEVICES AND OUTLET COVER PLATES REQUIRED FOR A COMPLETE AND WORKMANLIKE INSTALLATION FROM THE FURNITURE DEALER OR FURNITURE MANUFACTURER.

MECHANICAL AND DATA CASHING AND TERMINATION PLATES BY CABLEING VENDOR.

1. PARTITION TYPES ABOVE DOORS ARE TO BE SAME AS THE ADJACENT PARTITIONS (U.O.N).
 2. VERIFY DOOR UNDERCUTS WITH ARCHITECT PRIOR TO INSTALLATION.
- ADA (AMERICANS WITH DISABILITIES) ITEMS:**
1. PROVIDE A MINIMUM DIMENSION OF 18" CLEAR ON THE PULL SIDE AND 12" CLEAR ON THE PUSH SIDE OF ALL H.C. ACCESSIBLE DOORS (TYPICAL). NOTIFY THE ARCHITECT OF CONFLICTS FOR CLARIFICATION.
- SCHEDULED ITEMS:**
1. ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- BUILDING REQUIREMENTS AND TENANT ITEMS:**
1. REVIEW THE BASE BUILDING CONTRACT DOCUMENTS AND SHALL COMPLY WITH ALL BASE BUILDING REQUIREMENTS AND DESIGN CRITERIA.
 2. THE BUILDING OWNER IS RESPONSIBLE FOR BUILDING CODE COMPLIANCE AT PUBLIC COMMON AREAS: ELEVATORS, RESTROOMS AND ELEVATORS OUTSIDE OF TENANT SPACES.
 3. ALL PARTITIONS MEETING THE BASE BUILDING PERIMETER SHALL BE TO INTERSECT AT THE CENTERLINE OF THE MILLION, PLASTER OR GYPSUM UNLESS OTHERWISE NOTED.
 4. MAKE ALL NECESSARY PROVISIONS FOR ITEMS AS INDICATED ON THE DRAWINGS TO BE FURNISHED OR INSTALLED BY TENANT. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. COORDINATE PROVISIONS FOR N.L.C. ITEMS WITH APPROPRIATE TRADES.
- BLOCKING AND BRACING:**
1. COORDINATE AND PROVIDE BLOCKING/BRACING IN PARTITIONS OR CEILINGS BEHIND ALL MOUNTED ITEMS. ALL CONCEALED WOOD TO BE FIRE TREATED. WALLS TO RECEIVE TILE PROVIDE CENTER LINE BOARD FOR SECURE MOUNTING. PROVIDE BLOCKING AT ALL SIDES OF RECESSED ITEMS THAT REQUIRE SECURE ATTACHMENT.
 2. ALL PARTITIONS MEETING THE BASE BUILDING PERIMETER SHALL BE TO INTERSECT AT THE CENTERLINE OF THE MILLION, PLASTER OR GYPSUM UNLESS OTHERWISE NOTED.
 3. ALL PARTITIONS TO STRUCTURE ARE FOR ACoustICAL SEPARATION AND/OR SECURITY, NOT FOR FIRE RATING, UNLESS OTHERWISE NOTED (U.O.N).
 4. PROVIDE AND INSTALL FIRE RETARDANT WOOD BLOCKING AS REQUIRED AT ALL WALL HANG SHELVING, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES, ETC. U.O.N. VERIFY SHOP STANDARD WITH MILLWORK SUBCONTRACTOR AND REVIEW WITH ARCHITECT FOR ACCEPTANCE.
- MEP COORDINATION ITEMS:**
1. ALL TELEPHONE AND DATA WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH TENANT'S REPRESENTATIVE.
 2. PROVIDE RETURN AIR OPENINGS ABOVE CEILING IN PLENUM TO ROOMS WITH SLAB THROUGH PENETRATIONS. VERIFY ALL CONFLICTS ON ENGINEERING DRAWINGS. REPORT ANY CONFLICTS OR DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING. IF THE SIZE OF THE OPENING IS NOT CALLED OUT ON THE ENGINEERING DRAWINGS PROVIDE A MINIMUM OPENING SIZE OF ONE (1) SQUARE INCH TO EACH 13 SQUARE FEET OF SPACE IN THE ROOM.
 3. COORDINATE AND REVIEW WITH ARCHITECT THE SIZE AND LOCATION OF ALL SLAB PENETRATIONS PRIOR TO BEGINNING ANY WORK. SEAL OPENINGS AS DETAILED ON MECHANICAL DRAWINGS AND AS REQUIRED TO MEET ALL APPLICABLE RATINGS AND CODES.
 4. PROVIDE AND INSTALL FIRE RATED WOOD SHEATHING OVER 5" DRYWALL IN EQUIPMENT ROOM.
- SUBMITTALS AND SHOP DRAWING QUALITY:**
1. MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION SYSTEMS, SHOP DRAWINGS AND LAYOUTS SHALL BE SUBMITTED AS SOON AS POSSIBLE AFTER THE WORK HAS STARTED. CLARIFICATION HAS BEEN COMPLETED WITH THE ARCHITECT, OR CONTRACTOR ASSUMES RESPONSIBILITY FOR MODIFICATION OF ALL ASSOCIATED WORK INSTALLED INCORPORATED AS DETERMINED BY ARCHITECT.
 2. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCES WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AS WELL SCRUBBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
 3. NOTIFY THE ARCHITECT IN WRITING OF ANY DEFICIENCIES IN THE BUILDING SCOPE OF WORK AREAS PRIOR TO THE COMMENCEMENT OF WORK. ANY UNRECORDED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
 4. NEW PARTITIONS SHOWN ARE TO ALIGN WITH THE FACE OF ADJACENT EXISTING CONSTRUCTION (ALIGN FINISHED FACE TO FINISHED FACE). PROVIDE AN ADDITIONAL LAYER OF GYP. BR. FROM NEW PARTITION LOCATIONS TO THE EXISTING CONSTRUCTION AS REQUIRED TO PRODUCE A FLUSH APPEARANCE WITH NO VISIBLE JOINTS, IF STUD ALIGNMENT IS NOT OBTAINABLE.
 5. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DRAWINGS AND THE SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION; NOR WILL PRESENCE OF OTHER PARTIES ON SITE, BELIEVE CONTRACTORS FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN REQUIRED TIME GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL, SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK OR OF IMPROPER MATERIALS.
 6. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL, TO TITLE OF A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATION, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENTAL THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS NOTED HEREIN, SHALL HAVE FORCE AND EFFECTS AS THOUGH PROVIDED IN CONTRACT DOCUMENTS.
 7. REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE WHEN MADE ACCORDING TO PROCEDURES FOR SUBSTITUTIONS.
 8. CUSTOM MILLWORK, UNLESS OTHERWISE NOTED, ARCHITECTURAL MILLWORK SHALL COMPLY WITH ARCHITECTURAL WOODWORK INSTITUTE (AWI) QUALITY STANDARDS PREMIUM GRADE. SEAL ALL WOOD SURFACES NOT RECEIVING PAINT OR PLASTIC LAMINATE, TO PREVENT MOISTURE PENETRATION.

GENERAL FINISH NOTES:

- 1) SUBMIT THREE SAMPLES OF EACH FINISH FOR FINAL APPROVAL.
- 2) TYP. CARPET TRANSITION TO BE AT DOOR LINE; SEAMLESS, STRAIGHT EDGE CUT.
- 3) ALL SEALANT WORK MUST MATCH ADJACENT FIELD COLOR OR MUST BE PAINTABLE.
- 4) FLOORING CONTRACTOR RESPONSIBLE FOR ALL FLOOR PREPARATION PRIOR TO FLOORING INSTALLATION.

GENERAL COORDINATION OF DRAWINGS:

1. VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF PROPOSED WALLS. COORDINATE ALL TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT TO BE REMOVED, RELOCATED OR INSTALLED (ITEMS TO INCLUDE ARE ALL PIPING, DUCT WORK, STRUCTURAL MEMBERS AND GROUT, AND EXISTING CONDITIONS). VERIFY THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED ON CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT PRIOR TO CONSTRUCTION PROCEEDING.
2. COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ACCESSORIES, ELECTRICAL TELEPHONE OUTLETS AND LIGHT SWITCHES WITH ARCHITECTURAL DRAWINGS IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
3. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF LARGER SCOPE. SHOULD THE CONTRACTORS AT ANY TIME DISCOVER A HAZARDOUS MATERIAL OR SPECIFICATIONAL OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY. CLARIFICATION HAS BEEN COMPLETED WITH THE ARCHITECT, OR CONTRACTOR ASSUMES RESPONSIBILITY FOR MODIFICATION OF ALL ASSOCIATED WORK INSTALLED INCORPORATED AS DETERMINED BY ARCHITECT.
4. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCES WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AS WELL SCRUBBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
5. NOTIFY THE ARCHITECT IN WRITING OF ANY DEFICIENCIES IN THE BUILDING SCOPE OF WORK AREAS PRIOR TO THE COMMENCEMENT OF WORK. ANY UNRECORDED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
6. NEW PARTITIONS SHOWN ARE TO ALIGN WITH THE FACE OF ADJACENT EXISTING CONSTRUCTION (ALIGN FINISHED FACE TO FINISHED FACE). PROVIDE AN ADDITIONAL LAYER OF GYP. BR. FROM NEW PARTITION LOCATIONS TO THE EXISTING CONSTRUCTION AS REQUIRED TO PRODUCE A FLUSH APPEARANCE WITH NO VISIBLE JOINTS, IF STUD ALIGNMENT IS NOT OBTAINABLE.
7. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEM ACCORDINGLY AND TO THESE CONDITIONS. DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY DETAILED CONNECTION.
8. VERIFY THE DIMENSIONS AND ELEVATIONS OF EXISTING CONDITIONS AT THE SITE. THE CONTRACTORS AND SUBS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL ITEMS IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
9. COORDINATE AND SCHEDULE ALL DELIVERIES AND DISPOSAL COORDINATION WITH THE ARCHITECT AND SECURITY PERSONAL.
10. CUSTOM MILLWORK, DOTTED LINE INDICATES TO BE PAINTABLE. SEE ELEVATIONS FOR MORE INFORMATION.
11. CHECK AND VERIFY ALL DIMENSIONS AT THE JOB AND BE RESPONSIBLE FOR THE PROPER FITTING OF HISHER WORK THERE TO.
12. ALL EXISTING MATERIALS, EQUIPMENT, AND CONSTRUCTION ARE IDENTIFIED ON DRAWINGS BY THE WORD "EXISTING" OR "EXIST". UNLESS STATED OTHERWISE, ALL NOTES REFERS TO NEW MATERIALS, EQUIPMENT, AND CONSTRUCTION INSTALLED UNDER EACH CONTRACT.
13. MATERIAL INDICATIONS, NOTES, AND ETC. ARE TYPICAL FOR EACH CONTRACT DRAWING UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALIGN MEANS SIMILAR COMPONENTS OF CONSTRUCTION, I.E., WALLS, JAMBS, ETC., SHALL BE IN LINE ACROSS VOIDS.
15. DOTTED LINE INDICATES GYP. BR. SOFFIT ABOVE. SEE REFLECTIVE CEILING PLAN AND/OR DETAILS NOTED FOR EXACT HEIGHT.
16. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD U.O.N.
17. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING FOUR (4) INCHES FROM THE ADJACENT WALL UNLESS OTHERWISE INDICATED. ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED FROM NEAREST ADJACENT WALL INTERSECTIONS, UNLESS OTHERWISE DIMENSIONED IN SET.

GENERAL COORDINATION OF DRAWINGS:

1. VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF PROPOSED WALLS. COORDINATE ALL TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT TO BE REMOVED, RELOCATED OR INSTALLED (ITEMS TO INCLUDE ARE ALL PIPING, DUCT WORK, STRUCTURAL MEMBERS AND GROUT, AND EXISTING CONDITIONS). VERIFY THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED ON CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT PRIOR TO CONSTRUCTION PROCEEDING.
2. COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ACCESSORIES, ELECTRICAL TELEPHONE OUTLETS AND LIGHT SWITCHES WITH ARCHITECTURAL DRAWINGS IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
3. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF LARGER SCOPE. SHOULD THE CONTRACTORS AT ANY TIME DISCOVER A HAZARDOUS MATERIAL OR SPECIFICATIONAL OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY. CLARIFICATION HAS BEEN COMPLETED WITH THE ARCHITECT, OR CONTRACTOR ASSUMES RESPONSIBILITY FOR MODIFICATION OF ALL ASSOCIATED WORK INSTALLED INCORPORATED AS DETERMINED BY ARCHITECT.
4. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCES WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AS WELL SCRUBBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
5. NOTIFY THE ARCHITECT IN WRITING OF ANY DEFICIENCIES IN THE BUILDING SCOPE OF WORK AREAS PRIOR TO THE COMMENCEMENT OF WORK. ANY UNRECORDED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
6. NEW PARTITIONS SHOWN ARE TO ALIGN WITH THE FACE OF ADJACENT EXISTING CONSTRUCTION (ALIGN FINISHED FACE TO FINISHED FACE). PROVIDE AN ADDITIONAL LAYER OF GYP. BR. FROM NEW PARTITION LOCATIONS TO THE EXISTING CONSTRUCTION AS REQUIRED TO PRODUCE A FLUSH APPEARANCE WITH NO VISIBLE JOINTS, IF STUD ALIGNMENT IS NOT OBTAINABLE.
7. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEM ACCORDINGLY AND TO THESE CONDITIONS. DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY DETAILED CONNECTION.
8. VERIFY THE DIMENSIONS AND ELEVATIONS OF EXISTING CONDITIONS AT THE SITE. THE CONTRACTORS AND SUBS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL ITEMS IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
9. COORDINATE AND SCHEDULE ALL DELIVERIES AND DISPOSAL COORDINATION WITH THE ARCHITECT AND SECURITY PERSONAL.
10. CUSTOM MILLWORK, DOTTED LINE INDICATES TO BE PAINTABLE. SEE ELEVATIONS FOR MORE INFORMATION.
11. CHECK AND VERIFY ALL DIMENSIONS AT THE JOB AND BE RESPONSIBLE FOR THE PROPER FITTING OF HISHER WORK THERE TO.
12. ALL EXISTING MATERIALS, EQUIPMENT, AND CONSTRUCTION ARE IDENTIFIED ON DRAWINGS BY THE WORD "EXISTING" OR "EXIST". UNLESS STATED OTHERWISE, ALL NOTES REFERS TO NEW MATERIALS, EQUIPMENT, AND CONSTRUCTION INSTALLED UNDER EACH CONTRACT.
13. MATERIAL INDICATIONS, NOTES, AND ETC. ARE TYPICAL FOR EACH CONTRACT DRAWING UNLESS SPECIFICALLY NOTED OTHERWISE.
14. ALIGN MEANS SIMILAR COMPONENTS OF CONSTRUCTION, I.E., WALLS, JAMBS, ETC., SHALL BE IN LINE ACROSS VOIDS.
15. DOTTED LINE INDICATES GYP. BR. SOFFIT ABOVE. SEE REFLECTIVE CEILING PLAN AND/OR DETAILS NOTED FOR EXACT HEIGHT.
16. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE OF GYPSUM BOARD TO FINISH FACE OF GYPSUM BOARD U.O.N.
17. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING FOUR (4) INCHES FROM THE ADJACENT WALL UNLESS OTHERWISE INDICATED. ALL OTHER DOORS AND CASED OPENINGS SHALL BE CENTERED FROM NEAREST ADJACENT WALL INTERSECTIONS, UNLESS OTHERWISE DIMENSIONED IN SET.

DIMENSIONAL COORDINATION OF DRAWINGS:

1. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
2. HORIZONTAL DIMENSIONS INDICATED ARE TO FROM FINISHED FACE OF CONSTRUCTION, EXCEPT AS NOTED.
3. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (A.F.F.).
4. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS OTHERWISE NOTED ON DRAWINGS.
5. CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTORS NEGLIGENCE TO FORSEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES OR PROPOSED CONSTRUCTION ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ITEMS THAT MAY CAUSE A CHANGE FROM THE DIMENSIONS OUTLINED IN THE CONSTRUCTION DOCUMENTS FOR HIS INSTRUCTIONS TO CLARIFY OR MODIFY OF THE AREA.
6. FLOOR TOLERANCE: FINISHED FLOOR STAYS TO BE LEVELED TO A TOLERANCE OF +/- 1/8" SLOPE IN 6 FEET. IMMEDIATELY VERIFY SLOPE AND REPORT ANY DEVIATIONS FROM ABOVE STATED TOLERANCE TO THE ARCHITECT PRIOR TO COMMENCING THE WORK. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANES. LEVEL FLOOR TO MEET ACCEPTABLE TOLERANCES REQUIRED.
7. LAYOUT ALL PARTITIONS IN CHECK ON FLOOR SLAB FOR APPROVAL BEFORE BEGINNING CONSTRUCTION.
8. ANY DIMENSION NOTED "VERIFY" OR "VERIFY IN FIELD (V/F)" MUST BE REVIEWED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION.
9. DIMENSIONS INDICATED TO BE "CLEAR" SHALL BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS SHALL BE REVIEWED WITH THE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE QUESTIONABLE AREA.

CONSTRUCTION OF THE FLOOR PLAN. REFER TO THE WORK SHOWN ON ALL OTHER DRAWINGS IN THE SET FOR THE EXTENT OF DEMOLITION REQUIRED TO PREPARE WORK INTENT. (I.E., Mechanical, Electrical, plumbing, etc.)

GENERAL CONDITIONS:

- 1) VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT BY FAX (RECORD) AS SOON AS POSSIBLE OF ANY DISCREPANCIES FOR RESOLUTION OF THE ISSUES) PRIOR TO THE BEGINNING OF ANY WORK.
- 2) TYPICAL: REMOVE ALL ITEMS SHOWN ON DEMO-PLANS, INCLUDING BUT NOT LIMITED TO ALL NOTED ITEMS INCLUDING ALL ITEMS SHOWN ON MECHANICAL, PLUMBING, FIRE PROTECTION, & ELECTRICAL DEMO- DRAWINGS IN THE SET, UNLESS OTHERWISE NOTED TO REMAIN OR TO BE RE-USED (SEE ALL TRADES DEMOLITION DRAWINGS AND NOTES).
 - A. ITEMS FOUND WITHIN WALLS AND CEILING THAT RUN THROUGH THE SPACE BEHIND AND/OR CONNECTING AN ADJACENT AREA(S) ARE REQUIRED TO REMAIN UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 3. FOR QUESTIONABLE ITEMS INCLUDING, BUT NOT LIMITED TO FOUND UNKNOWN CONDITIONS AND ITEMS NOT SHOWN LISTED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS WILL BE COORDINATE WITH THE ARCHITECT BEFORE REMOVING THE ABOVE MENTIONED ITEM.
 4. REMOVE ALL ABANDONED CONDUIT, DUCTWORK, HANGERS, CEILING TILE, GRID, FRAMING, PIPING, ETC. THROUGHOUT WORK AREA.
 5. RELOCATE ANY EXISTING J-BOXES, SWITCHES, ETC. THAT ARE BEING RE-USED AND REQUIRED TO BE MOVED TO ACCOMMODATE NEW WALL CONSTRUCTION OR NEW FURNISH.
- 3) COORDINATE ALL DEMOLITION FOR OTHER TRADES AS NOTED IN THE MECHANICAL, PLUMBING, FIRE PROTECTION, & ELECTRICAL DEMO-DRAWINGS & NOTES.

BUILDING CONDITIONS:

- 1) PATCH ALL SURFACES OF EXISTING INTERIOR PARTITIONS THAT ARE NOT BEING DEMOLISHED OR WERE DAMAGED DUE TO THE DEMOLITION PROCEEDINGS.
 - A. FOR TENANT SPACES: PATCH ALL EXTERIOR WINDOW WALLS, BUILDING EXISTING STAIRS, AND RESTROOM CABE WALL SURFACES ADJACENT TO DEMOLISHED ITEMS THAT ARE TO BE READY FOR NEW FINISHES. COORDINATE BEFORE JOB STARTS WITH LANDLORD AS POSSIBLE.
- 2) REMOVE ALL EXISTING FLOOR FINISHES, ADHESIVE, ETC. AS SHOWN ON THE DRAWINGS (PATCH & REPAIR) TO ACCOMMODATE NEW FLOOR FINISHES. PREPARE FLOOR SURFACE PER MANUFACTURER'S RECOMMENDATIONS. LEVEL AREAS AND FEATHER TO NEW AND DIFFERENT FINISHES TO AVOID TRIP HAZARDS > 1/2". (FEATHER OR SLOPE 1:12)
- 3) REMOVE ALL INDICATED WALLS, WALL FURRING, DOOR, FRAMES, ETC. THROUGHOUT THE AREA TO FACILITATE NEW CONSTRUCTION AS SHOWN IN THE CONSTRUCTION DOCUMENTS.
- 4) REMOVE ALL EXISTING DRYWALL CEILING(S), SUSPENDED CEILING TILES, AND GRIDS. PROVIDE AND INSTALL NEW CEILING AS SHOWN IN SET. COORDINATE BRACING & SUPPORTS FOR LIGHT FIXTURES, ETC.
 - A. WHERE SMALL AREAS OF CEILING ARE AFFECTED BY DEMO AND/OR ARE ADJACENT TO EXISTING CEILING; REPAIR ADJOINING GUELINGS AND PAINT AND/OR INSTALL NEW TILE TO MATCH EXISTING ROOM OR AREA SHOULD BE CONSISTENT WITH NEW CONSTRUCTION.
- 5) EXERCISE CARE SO THAT ONLY THE CONSTRUCTION INDICATED OR REASONABLY IMPLIED TO BE REMOVED SHALL BE DEMOLISHED. THE EXISTING CONSTRUCTION TO REMAIN SHALL BE LEFT INTACT AND UNDAUNAGED. TYPICAL, ANY DAMAGES WILL BE REQUIRED TO BE REPAIRED BY THE CONTRACTORS AT NO COST TO THE PROJECT, INCLUDING AREAS OUTSIDE THE EXTENTS OF WORK.

HEALTH, SAFETY, & WELFARE:

- 1) TAKE ALL NECESSARY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION TO PROTECT AND MAINTAIN THE INTEGRITY AND OPERATION OF EXISTING OR TEMPORARY LIFE SAFETY AND EMERGENCY EGRESS AREAS AND SYSTEMS AS REQUIRED BY LOCAL BUILDING CODES.
- 2) VERIFY WITH THE ARCHITECT ANY EXISTING SECURITY ITEMS TO BE REMOVED AND RE-USED, RE-INSTALL AS DIRECTED.
- 3) THE CONTRACTORS ARE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS GENERATED FROM WORK, TAKING CARE TO PREVENT OVERLOADING OF FLOOR ASSEMBLY AND PROTECTION OF ADJACENT EXISTING CONSTRUCTION.
- 4) DURING DEMOLITION, TAKE ALL PRECAUTIONS NECESSARY TO PREVENT STRUCTURAL AND OTHER DAMAGE TO THE BUILDING'S EXISTING WALLS AND FINISHES.
- 5) ALL ITEMS INDICATED TO BE REMOVED AND ITEMS NOT INDICATED TO BE REMOVED SHALL BE DISPOSED OF PROPERLY AS AGREED UPON AND DIRECTED BY THE OWNER OR THEIR AGENT.

CONSTRUCTION WASTE MANAGEMENT:

- IF REQUESTED BY OWNER PROVIDE PRICING FOR TRANSPORTATION & STORAGE OF RECYCLED CONSTRUCTION & DEMOLITION MATERIAL.
- 1) ESTABLISH GOALS FOR DIVERSION OF CONSTRUCTION MATERIAL FROM DISPOSAL IN LANDFILLS AND INCINERATORS AND ADOPT A CONSTRUCTION WASTE MANAGEMENT PLAN TO ACHIEVE THESE GOALS.
 - A) CONSIDER RECYCLING CARDBOARD, METAL, BRICK, ACOUSTICAL TILE, CONCRETE, PLASTIC, CLEAN WOOD, GLASS, GYP., CARPET AND INSULATION.
 - B) DESIGNATE A SPECIFIC AREA(S) ON THE CONSTRUCTION SITE FOR SEGREGATED OR COMMINGLED COLLECTION OF RECYCLED MATERIAL, AND TRACK RECYCLING EFFORTS THROUGHOUT THE CONSTRUCTION PROCESS.
 - C) IDENTIFY CONSTRUCTION HAULERS AND RECYCLERS TO HANDLE THE DESIGNATED MATERIALS. DIVERSION MAY INCLUDE DONATION OF MATERIAL TO CHARITABLE ORGANIZATIONS AND SALVAGE OF MATERIALS ON SITE.